



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2015-263

DATE: March 1, 2016

ADDRESS OF PROPERTY: 429 East Tremont Ave.

TAX PARCEL NUMBER: 12105708

HISTORIC DISTRICT: Dilworth

OWNER(S): Robert and Brandon Mayo

DETAILS OF APPROVED PROJECT: The proposal is a second floor addition, one story addition on the right side, and rear covered patio. The second floor addition raises the existing ridge line approximately 3'-8" and adds new dormers on the front and sides. The one story addition on the right side extends the wall approximately 2'-4". Project details of the addition include shingle siding, wood brackets and clad wood Simulated True Divided Light (STD L) windows. The front dormer will have a True Divided Light (TDL) window. A previous addition will be removed.

The project was approved by the HDC December 9, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff

MAYO
ADDITION /
RENOVATION

425 East Tremont Avenue
Charlotte, NC 28203

DATES:

Existing
01 July 2015
Schematic
05 October 2015
Progress Drawings
22 October 2015
19 November 2015
HDC Submission
30 November 2015
Progress Drawings
05 December 2015
Preliminary Pricing
NOT FOR CONSTRUCTION
18 January 2016
Progress Drawings
04 February 2016
Structural Underlay
10 February 2016
Final Structural
19 February 2016
Final Pricing
25 February 2016
Revisions
-

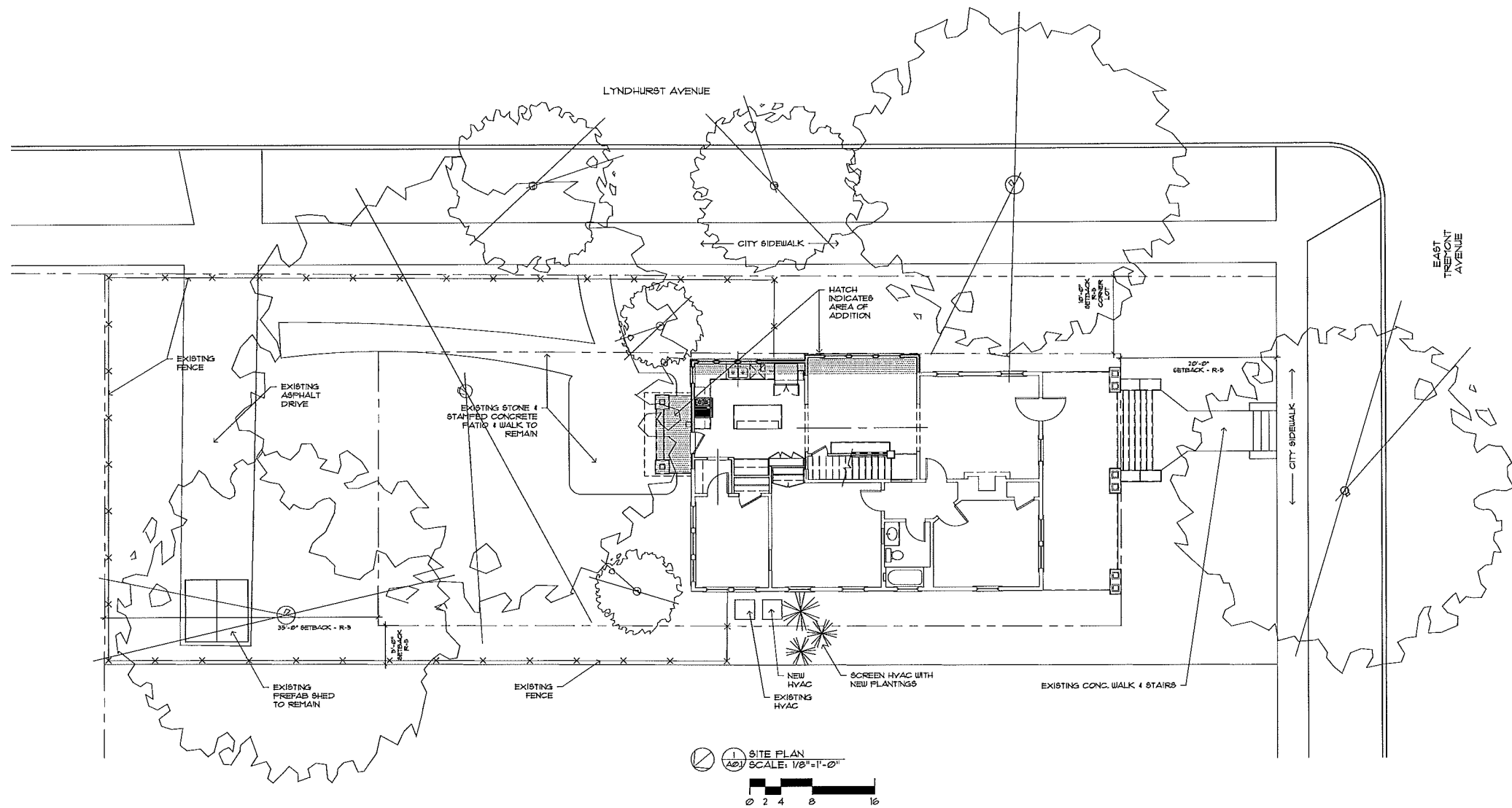
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COVER SHEET
& SITE PLAN

A0.1



GENERAL NOTES:

1. It is the responsibility of the Contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect construction activities and/or construction scheduling prior to submitting a bid.
2. Contractor shall verify all dimensions and conditions at the jobsite including soil conditions, foundation conditions, and conditions related to the location of existing utilities and services before commencing work. All discrepancies shall be reported to the Designer.
3. Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans.
4. The drawings indicate general details of construction - where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the Designer and, if required, structural engineer.
5. Building systems and components not specifically detailed shall be installed, as per minimum manufacturer's recommendations. Notify the Designer of any resulting conflicts.
6. All work shall conform to applicable building codes and ordinances. In case of any conflict herein the methods or standards or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Designer of all conflicts immediately.
7. Coordinate all operations with the Building Owner or Representative including, but not limited to, access used for material storage, access to and from work, timing of work, interruption of plumbing, residential and electrical services, etc.
8. It is the responsibility of the Contractor to install proper dust barriers and other protection as required to protect both existing and new building finishes and facilities.
9. Contractor shall provide temporary bracing for structure and structural components until all final connections have been completed in accordance with the plans.
10. Contractor shall provide certificates of insurance, including, but not limited to, Workmen's Comp and General Liability. Owner shall notify Contractor of any additional insurance requirements.
11. It is the responsibility of the Owner to review all drawings and associated contract documents.

OWNER:

BRANDON & ROB MAYO
425 EAST TREMONT AVENUE
CHARLOTTE, NC 28203
(P) 704-564-3646
BRANDON.LITTLE.MAYO@GMAIL.COM
ROB.MAYO@GMAIL.COM

DESIGNER:

JESSICA BEIL HINDMAN / DIANA HALSKI
STUDIO H DESIGN
720 E. TREMONT AVENUE
CHARLOTTE, NC 28203
(P) 704-995-3605
MAIL@STUDIOH-DESIGN.COM

STRUCTURAL ENGINEER:

CHAD RITTER, P.E.
INTELLIGENT DESIGN ENGINEERING
1949 J.N. FEESE FL 1204
CHARLOTTE, NC 28262
(P) 704-335-1200
CHAD@IDECHARLOTTE.COM

CONTRACTOR:

BURN GREENE
CONCEPT BUILDING & RESTORATION
2523 SOUTH TRYON STREET 930
CHARLOTTE, NC 28203
(P) 704-507-1534
BURN@CONCEPTBUILDING.NET

PROJECT DATA:

The project consists of a renovation and addition to a one-story residence in historic Dilworth in Charlotte, North Carolina to convert it to a one-and-a-half-story residence with living spaces built into the roof.

CONDITIONED RENOVATION - LEVEL ONE	440 SF.	UNCONDITIONED BACK PORCH	50 SF.
CONDITIONED ADDITION - LEVEL ONE	45 SF.		
CONDITIONED ADDITION - LEVEL TWO PHASE ONE	595 SF.		
CONDITIONED ADDITION - LEVEL TWO PHASE TWO	515 SF.		

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Final Pricing
25 February 2016
Revisions

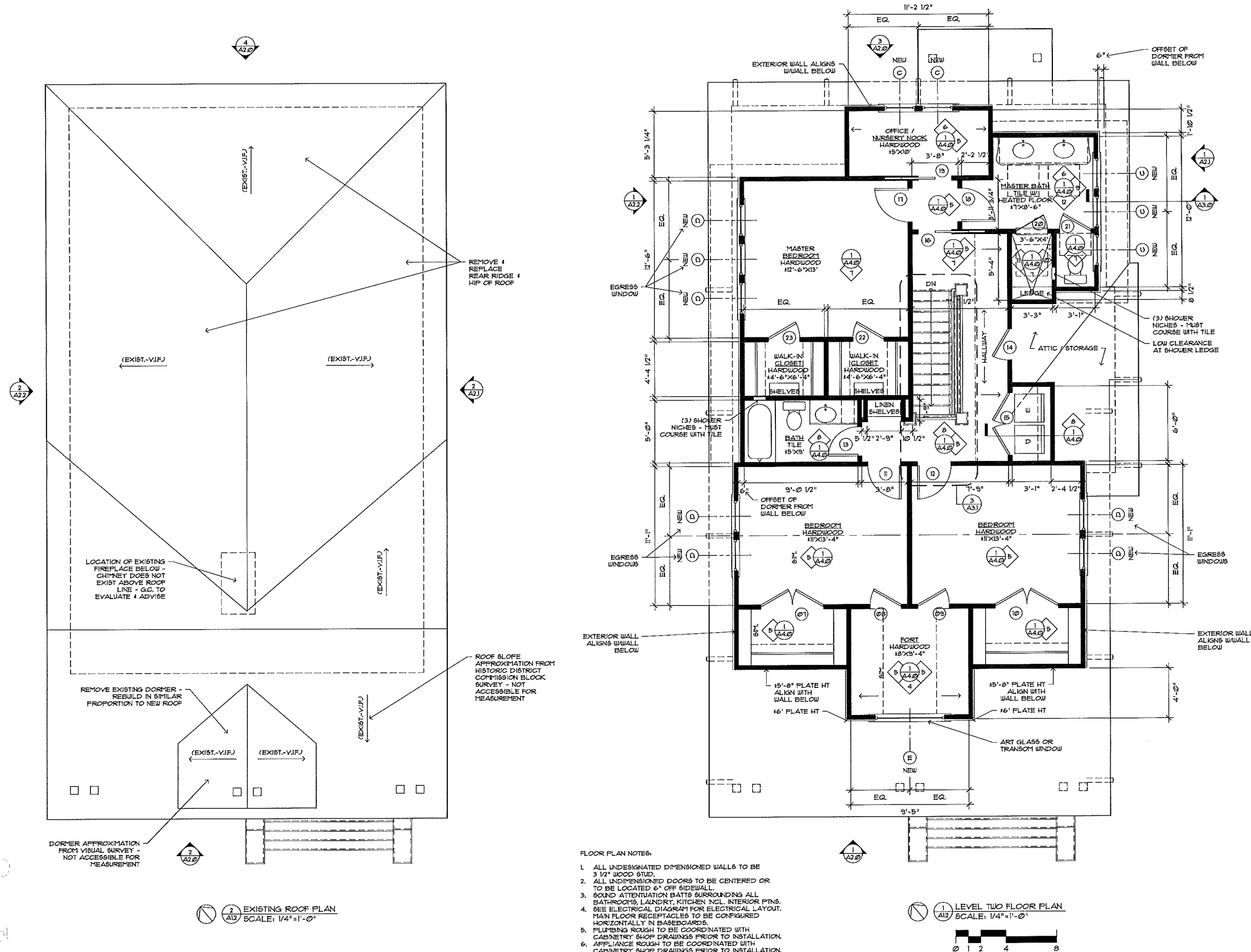
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LEVEL TWO
FLOOR PLANS

A1.2



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20 February 2016
Revisions
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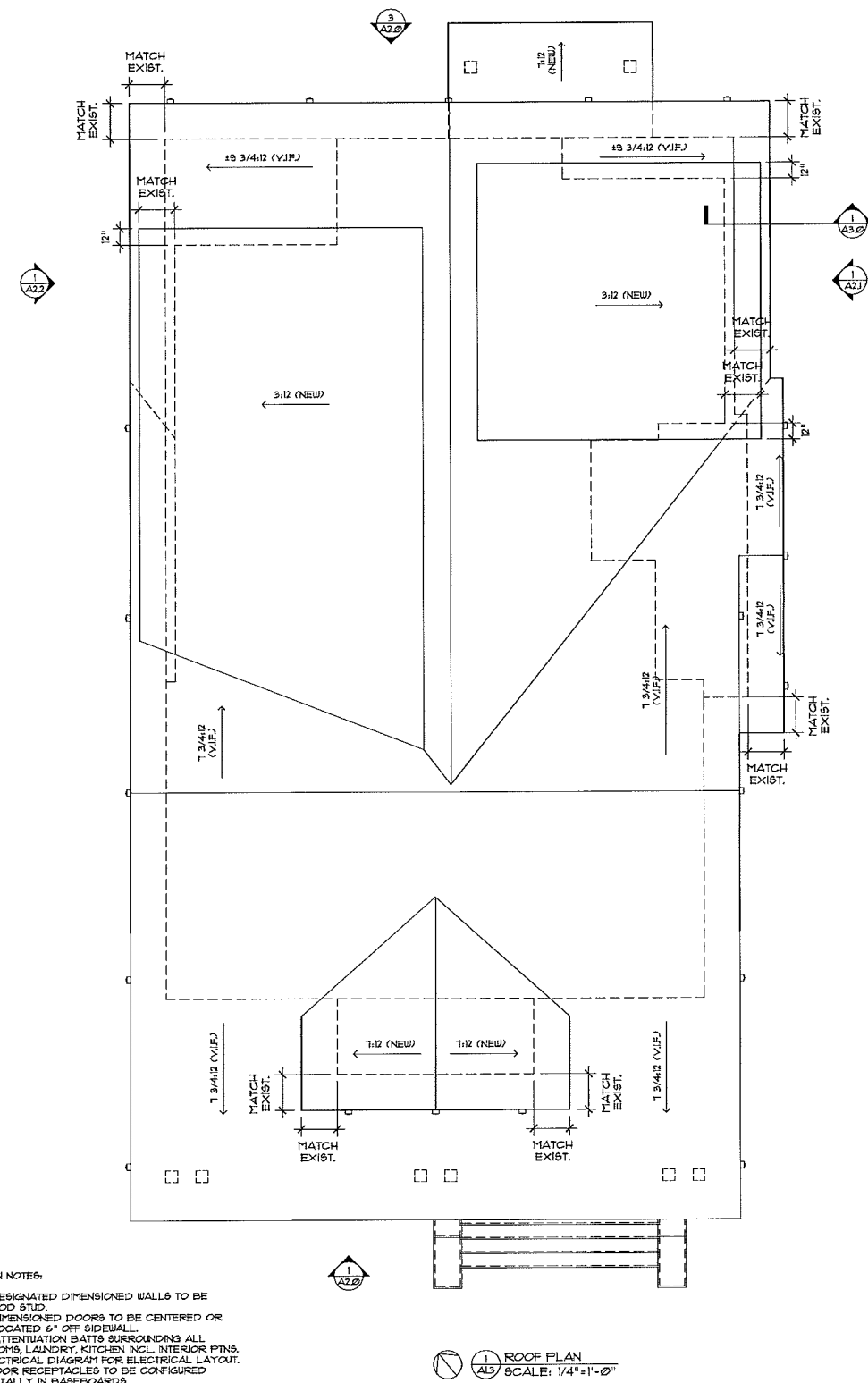
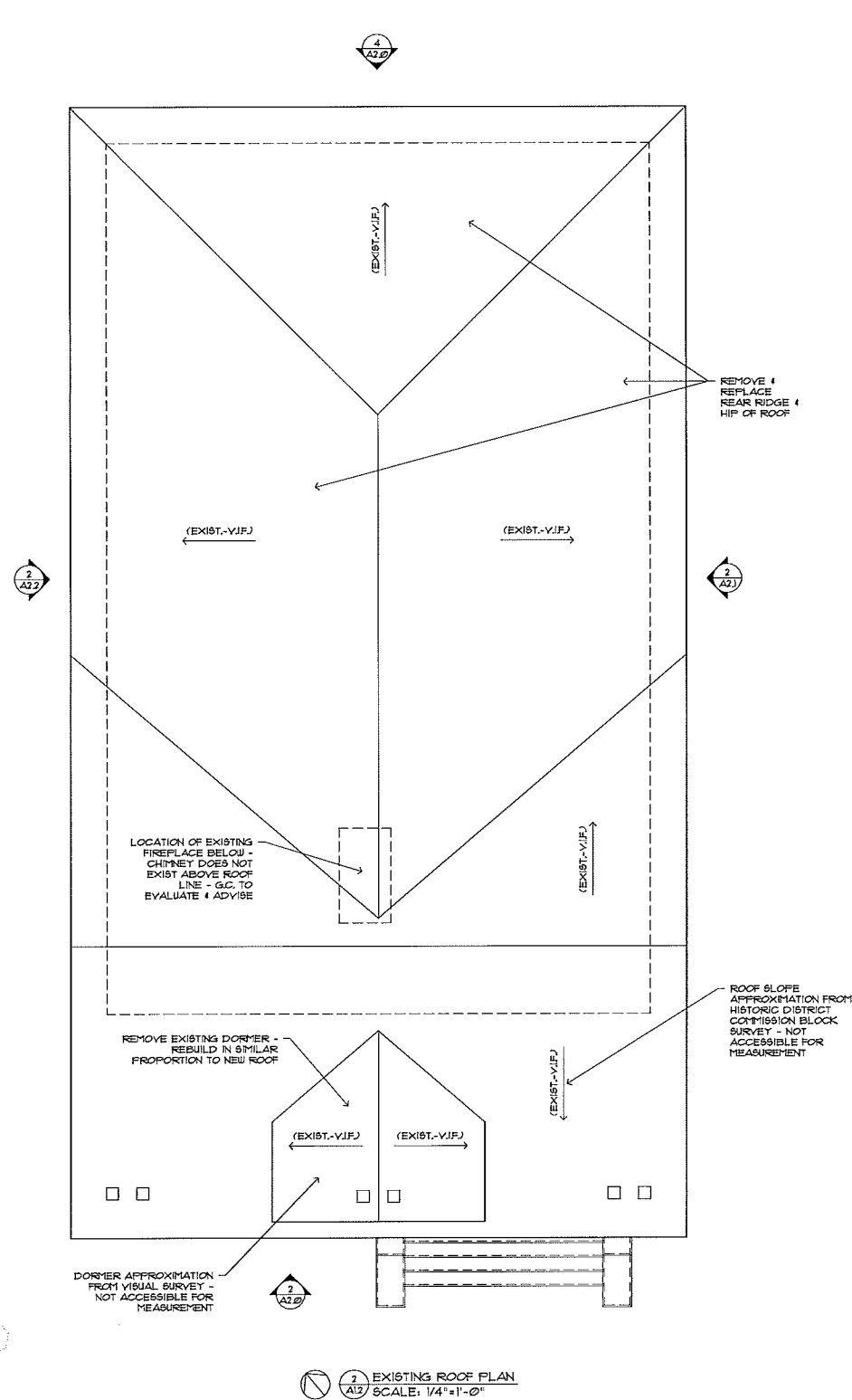
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ROOF PLANS

A1.3



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness

20.5-243

DATES:

Existing
01 July 2015
Schematics
05 October 2015
Progress Drawings
27 October 2015
18 November 2015
HDC Submission
30 November 2015
Progress Drawings
05 December 2015
Preliminary Pricing
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Progress Drawings
4 February 2016
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10 February 2016
Final Structural
19 February 2016
Final Pricing
28 February 2016
Revisions
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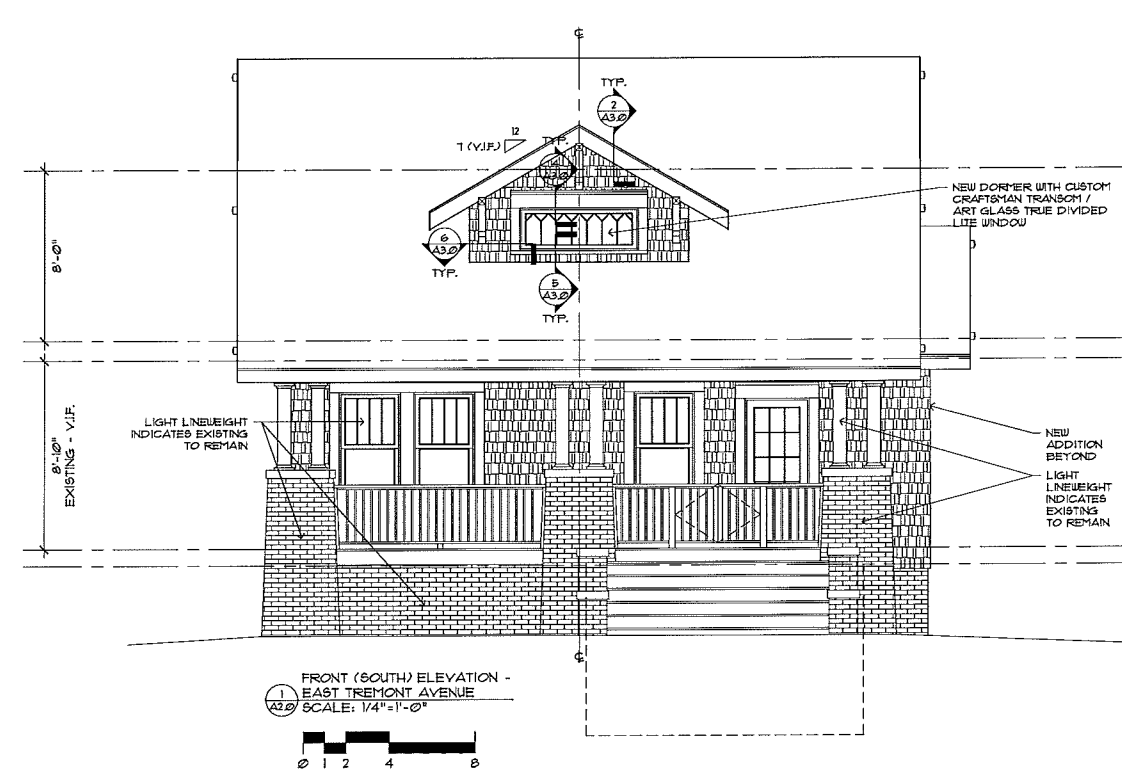
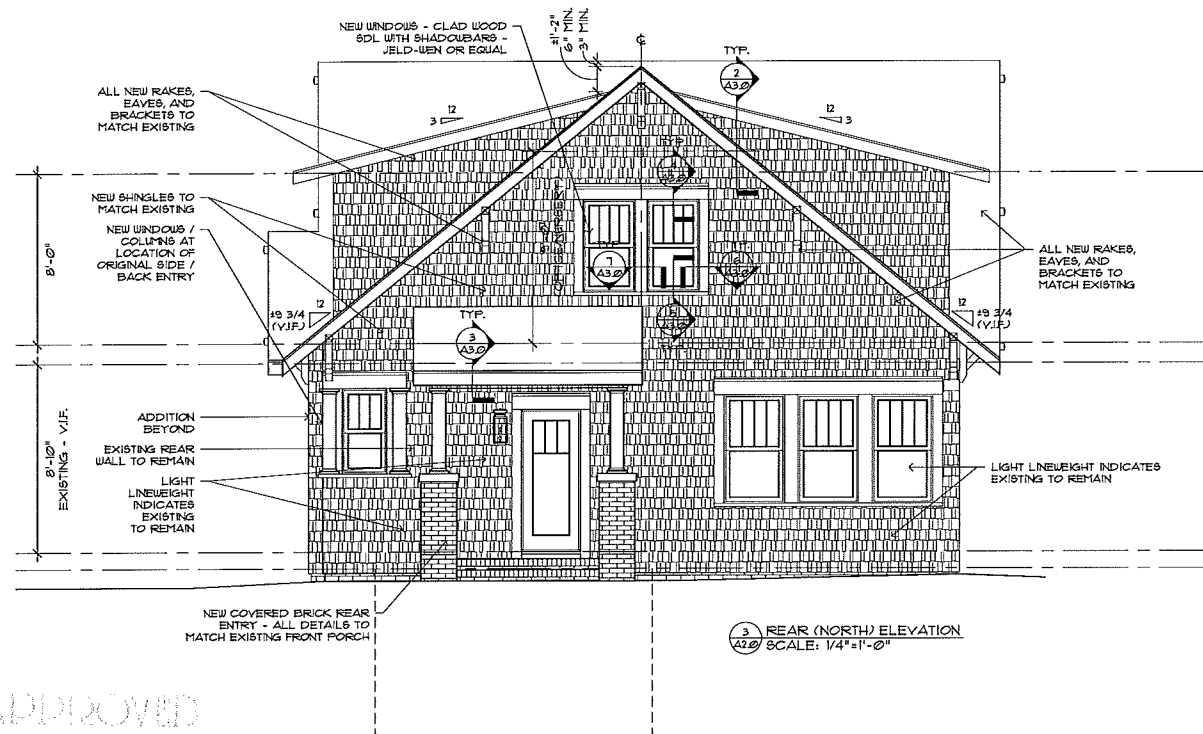
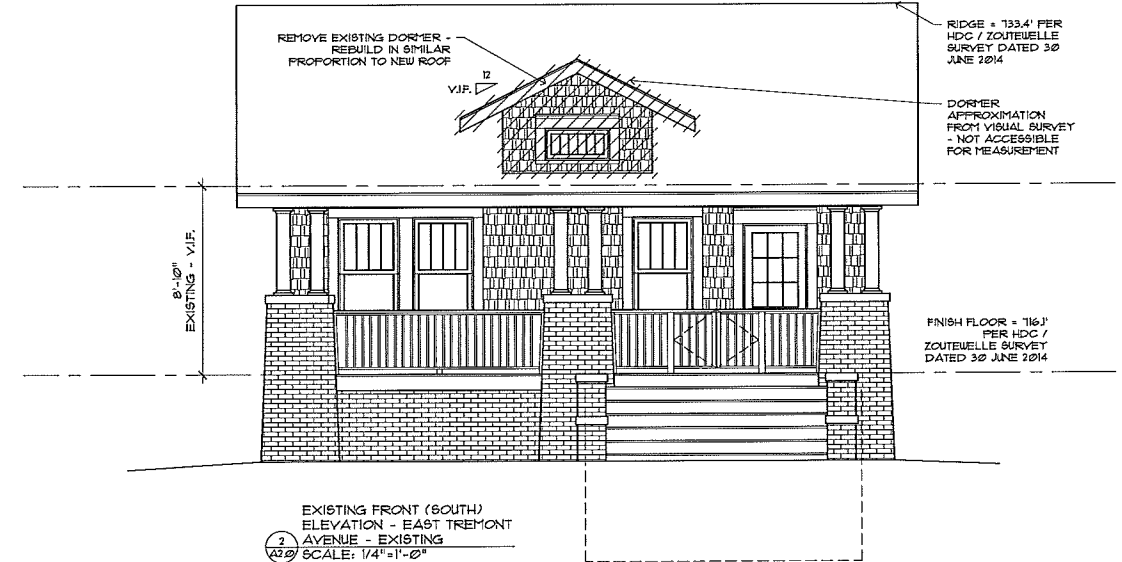
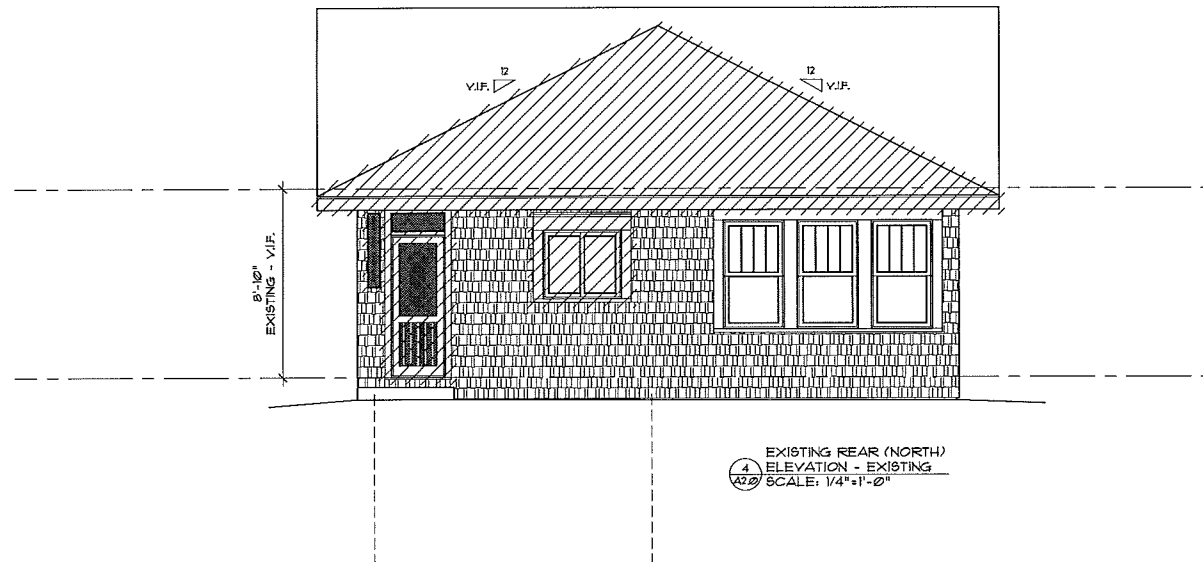
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ELEVATIONS

A2.0



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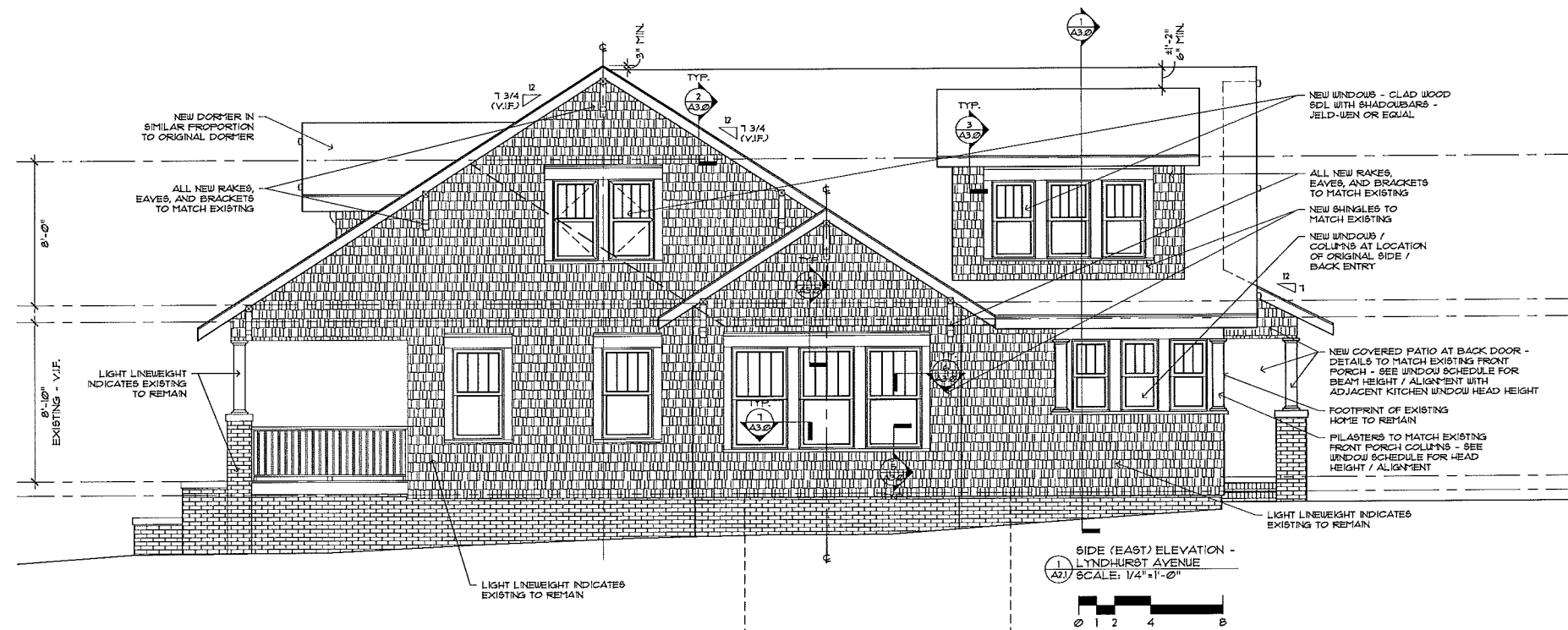
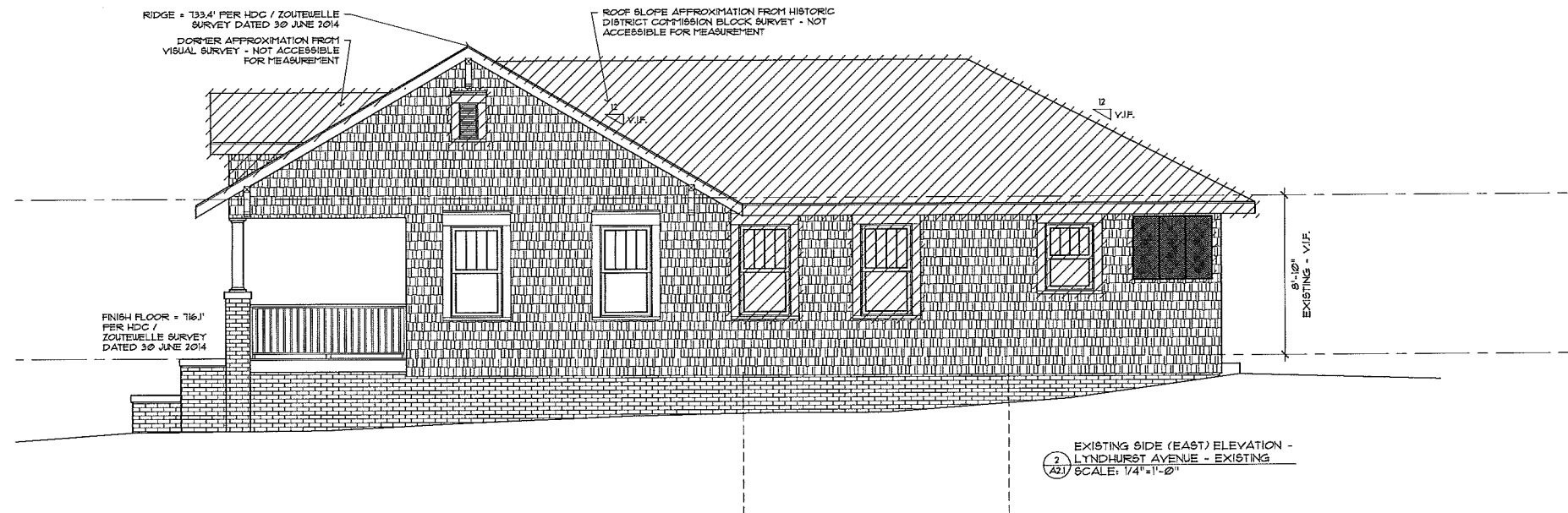
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ELEVATIONS

A2.1



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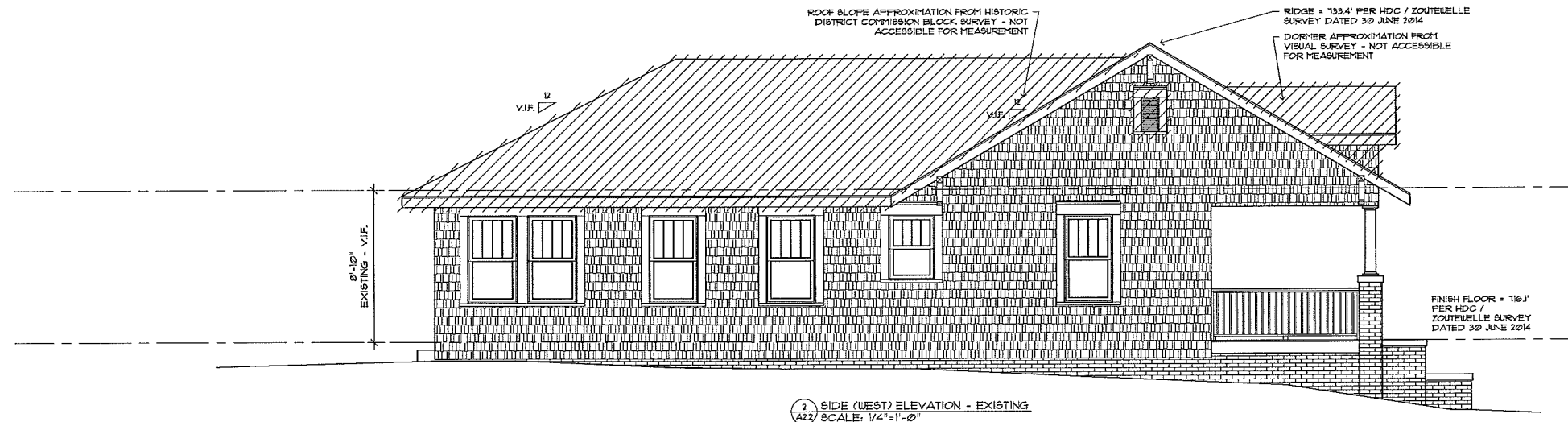
2015-263

MAYO
ADDITION /
RENOVATION

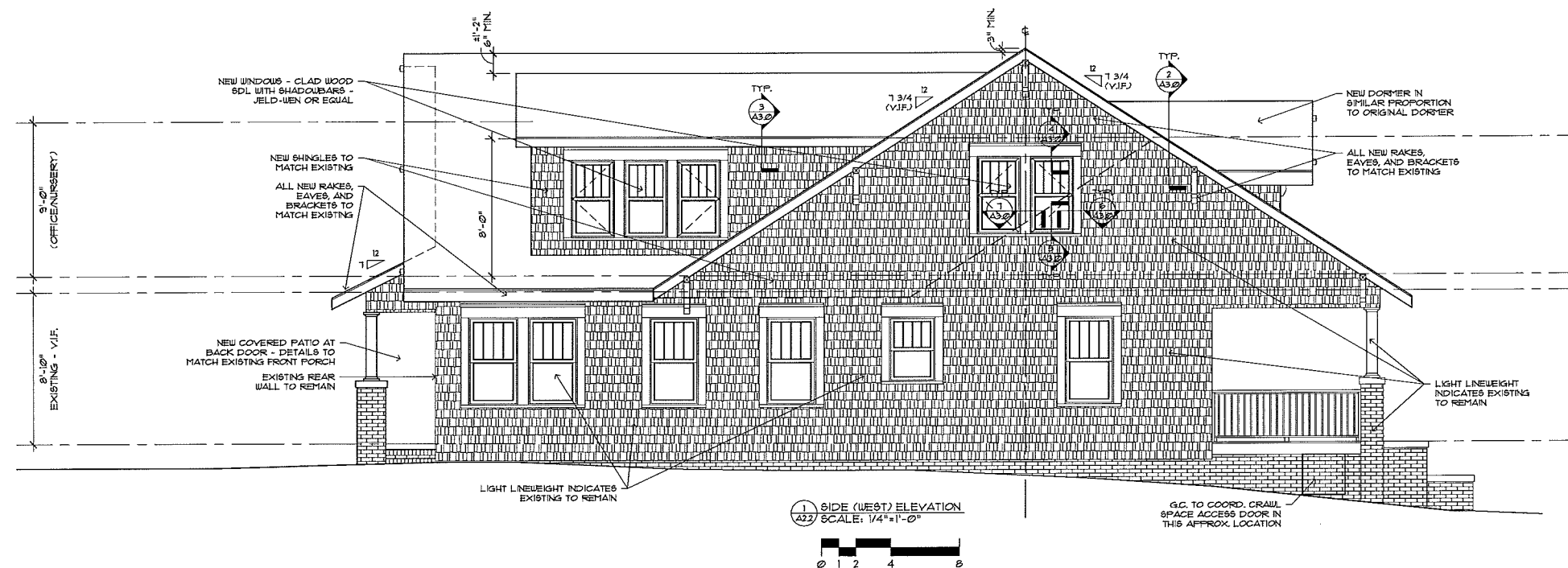
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2 SIDE (WEST) ELEVATION - EXISTING
A2.2 SCALE: 1/4"=1'-0"



1 SIDE (WEST) ELEVATION
A2.2 SCALE: 1/4"=1'-0"

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ELEVATIONS

A2.2



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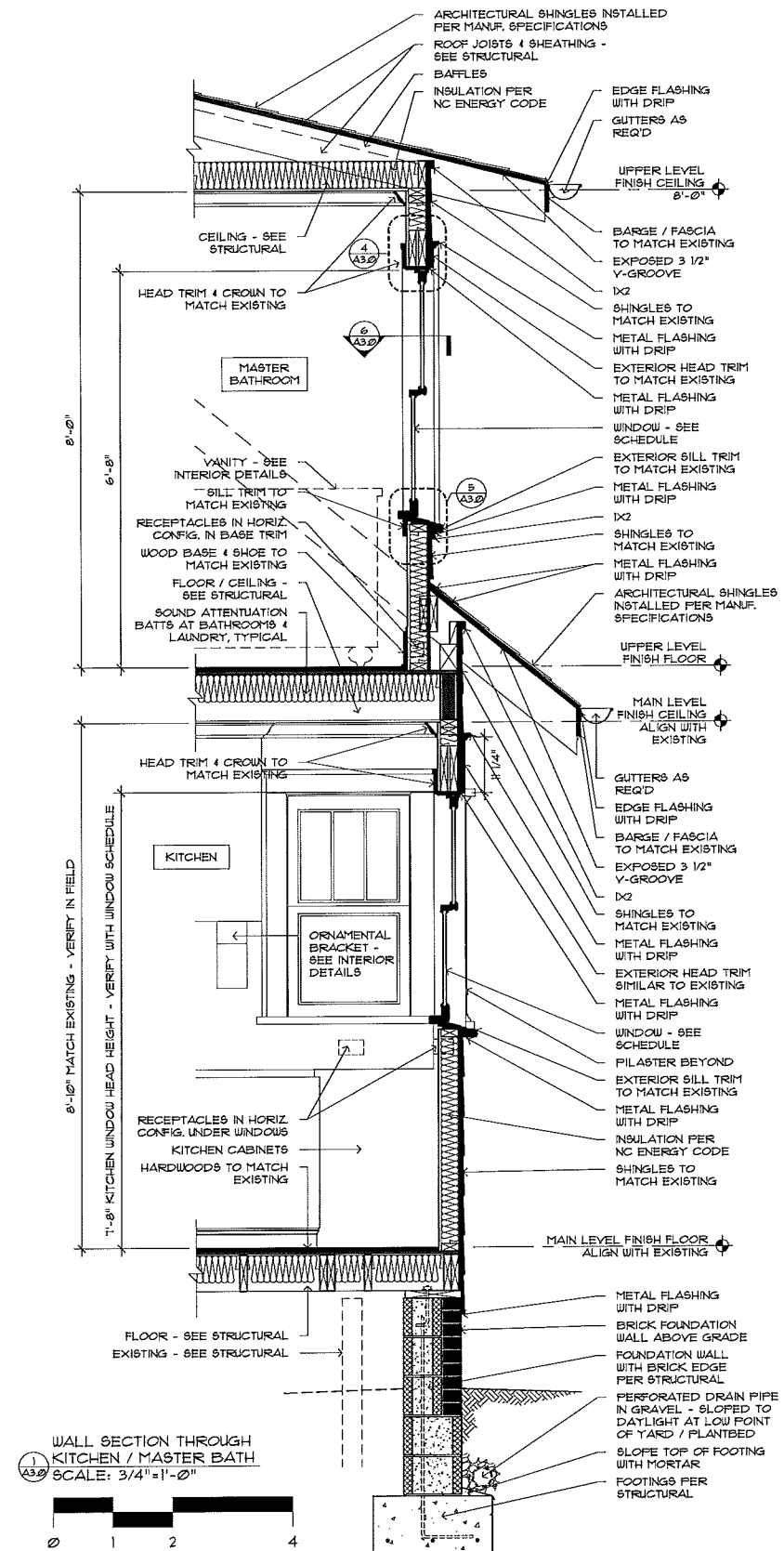
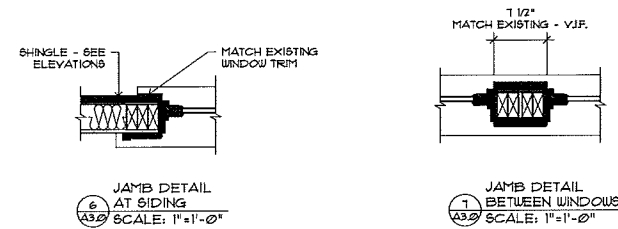
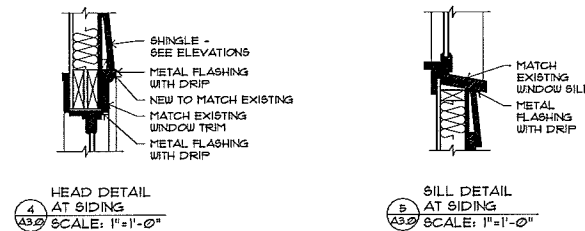
- Bidding 01 July 2015
- Schematics 09 October 2015
- Progress Drawings 12 October 2015
- 10 November 2015
- CDC Submission 20 November 2015
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- Revisions

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WALL SECTIONS & EXTERIOR DETAILS

43.0



- **Technical**
 - **Chemicals**
 - July 2015
 - October 2015
 - **Progress Drawings**
 - 2 October 2015
 - November 2015
 - **EDC Submission**
 - 9 November 2015
 - **Progress Drawings**
 - December 2015
 - **Preliminary Pricing**
 - **NOT FOR CONSTRUCTION**
 - January 2016
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 - **Structural Underlay**
 - February 2016
 - **Final Structural**
 - February 2016
 - **Final Pricing**
 - 13 February 2016
- **Divisions**

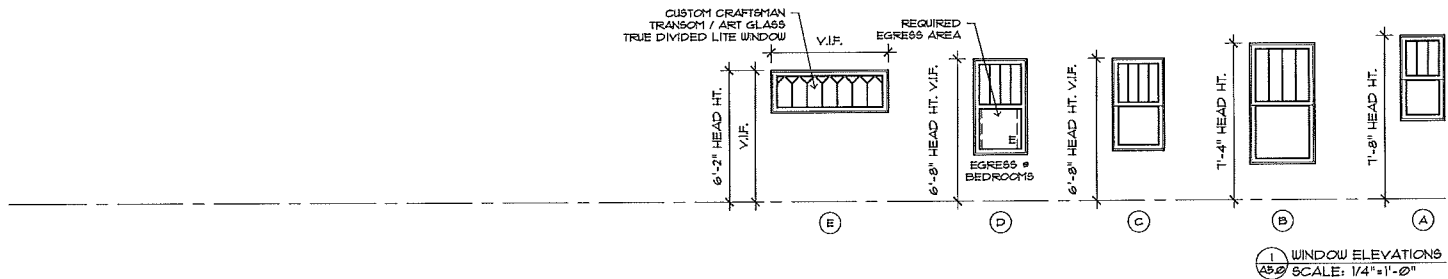


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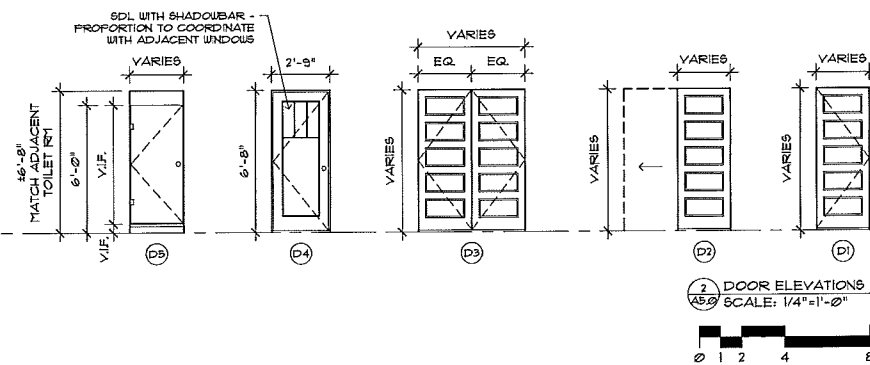
WINDOW SCHEDULE:

SYMBOL	MANUF.	MANUF. #	WIDTH	HEIGHT	HEAD HT. **	CONFIG.	TYPE	REMARKS	SYMBOL
A	JELDUEEN OR EQUAL	ECD2548	2'-11"	4'-0"	1'-8"	SEE VAS.Ø	CLAD*	DOUBLE HUNG	A
B	JELDUEEN OR EQUAL	ECD3168	3'-11"	5'-8"	1'-4"	SEE VAS.Ø	CLAD*	DOUBLE HUNG	B
C	JELDUEEN OR EQUAL	ECD2552	2'-5"	4'-4"	6'-8"	SEE VAS.Ø	CLAD*	DOUBLE HUNG	C
D	JELDUEEN OR EQUAL	ECC3054	2'-6"	4'-6"	6'-8"	SEE VAS.Ø	CLAD*	CASEMENT - MUST MEET EGRESS	D
E	LOCATE SALVAGED	-	V.I.F.	V.I.F.	6'-2" V.I.F.	SEE VAS.Ø	CLAD*	NEW CUSTOM CRAFTSMAN TRANSOM OR ART GLASS TRUE DIVIDED LITE WINDOW SELECTED BY OWNER.	E
-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-

* ALL WINDOWS - INCLUDING REPLACEMENT SASH KITS - TO BE CLAD WOOD SGL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.
** HEAD HEIGHT MAY VARY BY LOCATION - VERIFY WITH ELEVATIONS.
E WINDOWS MUST COMPLY WITH NC, RESIDENTIAL CODE SECTION 310.11. MINIMUM 5.7 SF. TOTAL GLAZING AREA IN UPPER STORY BEDROOM WINDOWS FOR EGRESS.

NOTES:

- COORDINATE ALL DOORS WITH SALVAGED INVENTORY. DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER.
- USE MORTISE SETS AND SALVAGED HARDWARE WHEREVER POSSIBLE.



DOOR SCHEDULE:

#	LOCATION	MANUF.	MANUF. #	WIDTH	HEIGHT	TYPE	HARDWARE	ELEV.	REMARKS	#
MAIN LEVEL										
01	FAMILY RM TO DINING RM	-	-	MATCH EX.	MATCH EX.	CASED OPENING	-	-	MATCH EXISTING LIVING ROOM CASED OPENING	01
02	COAT CLOSET	-	-	2'-0"	6'-8"	SOLID WOOD	PASSAGE	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET - CLIPPED	02
03	KITCHEN TO BACK PORCH	JELDUEEN OR EQUAL	SCHD-2968	2'-5"	6'-8"	WOOD PATIO	KEY/LATCH DEADBOLT	D4	IN-SWING PATIO DOOR	03
04	KITCHEN TO OFFICE	-	-	2'-8"	6'-8"	CASED OPENING	-	-	-	04
05	OFFICE CLOSET	-	-	2'-8"	6'-8"	SOLID WOOD	PASSAGE	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	05
06	NOT USED	-	-	-	-	-	-	-	-	06
UPPER LEVEL										
07	BEDROOM CLOSET	-	-	FR 2'-6"	6'-8"	SOLID WOOD	PASSAGE	D3	PAIR - 5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	07
08	BEDROOM TO PORT	-	-	2'-6"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET - CLIPPED	08
09	BEDROOM TO PORT	-	-	2'-6"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET - CLIPPED	09
10	BEDROOM CLOSET	-	-	FR 2'-6"	6'-8"	SOLID WOOD	PASSAGE	D3	PAIR - 5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	10
11	HALL TO BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	11
12	HALL TO BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	12
13	HALL TO BATH	-	-	2'-4"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	13
14	HALL TO ATTIC	-	-	2'-6"	V.I.F.	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	14
15	LAUNDRY	-	-	FR 2'-6"	V.I.F.	SOLID WOOD	PASSAGE	D3	PAIR - 5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	15
16	HALL TO MASTER SUITE	-	-	2'-8"	6'-8"	SOLID WOOD	POCKET - MED. DUTY	D3	POCKET DOOR - 5 PANEL TO MATCH EXISTING	16
17	MASTER BEDROOM	-	-	2'-8"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	17
18	MASTER BATHROOM	-	-	2'-8"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	18
19	NURSERY NOOK	-	-	2'-8"	6'-8"	SOLID WOOD	POCKET - MED. DUTY	D2	POCKET DOOR - 5 PANEL TO MATCH EXISTING	19
20	MASTER SHOWER	-	-	2'-6"	V.I.F.	FRAMELESS GLASS	-	D5	FRAMELESS GLASS ON CURB - SEE ELEV. - HEAD TRIM TO MATCH ADJACENT	20
21	MASTER TOILET	-	-	2'-6"	6'-8"	SOLID WOOD	PRIVACY	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	21
22	MASTER WALK-IN CLOSET	-	-	2'-6"	6'-8"	SOLID WOOD	PASSAGE	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	22
23	MASTER WALK-IN CLOSET	-	-	2'-6"	6'-8"	SOLID WOOD	PASSAGE	D1	5 PANEL TO MATCH EXISTING WITH MORTISE LOCKSET	23

* ALL NEW EXTERIOR DOORS TO BE CLAD WOOD SGL WITH SHADOBARS AND PUTTY PROFILE. COLOR TO BE SELECTED BY OWNER.
** REUSED SALVAGED DOORS SHALL RETAIN SPECIFIED SIZES UNLESS OTHERWISE APPROVED BY OWNER / DESIGNER. COORDINATE DOOR SIZE CHANGES WITH SALVAGED INVENTORY.



2015 (770)

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Certificate of Appropriateness

2015-263

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WINDOW &
DOOR
SCHEDULES

A5.Ø

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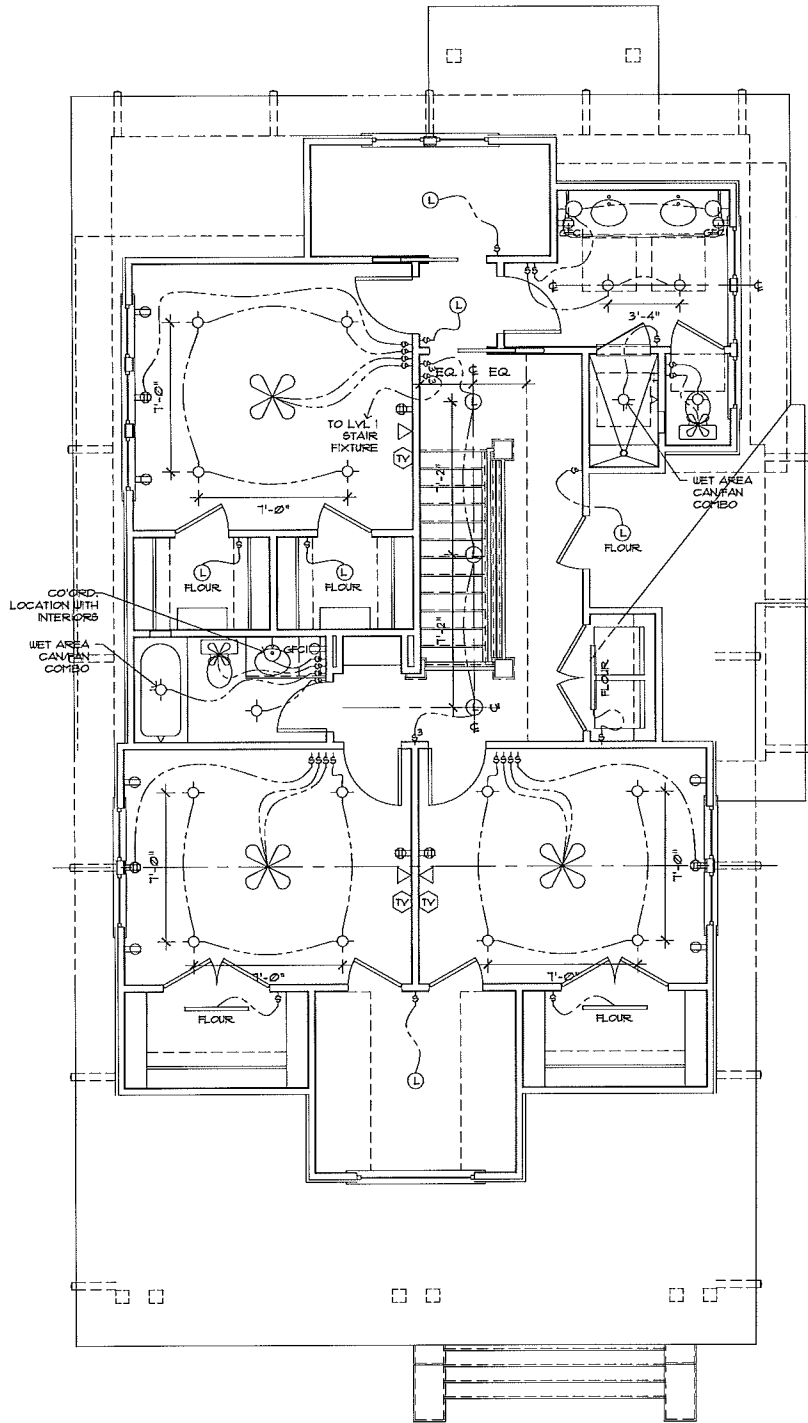
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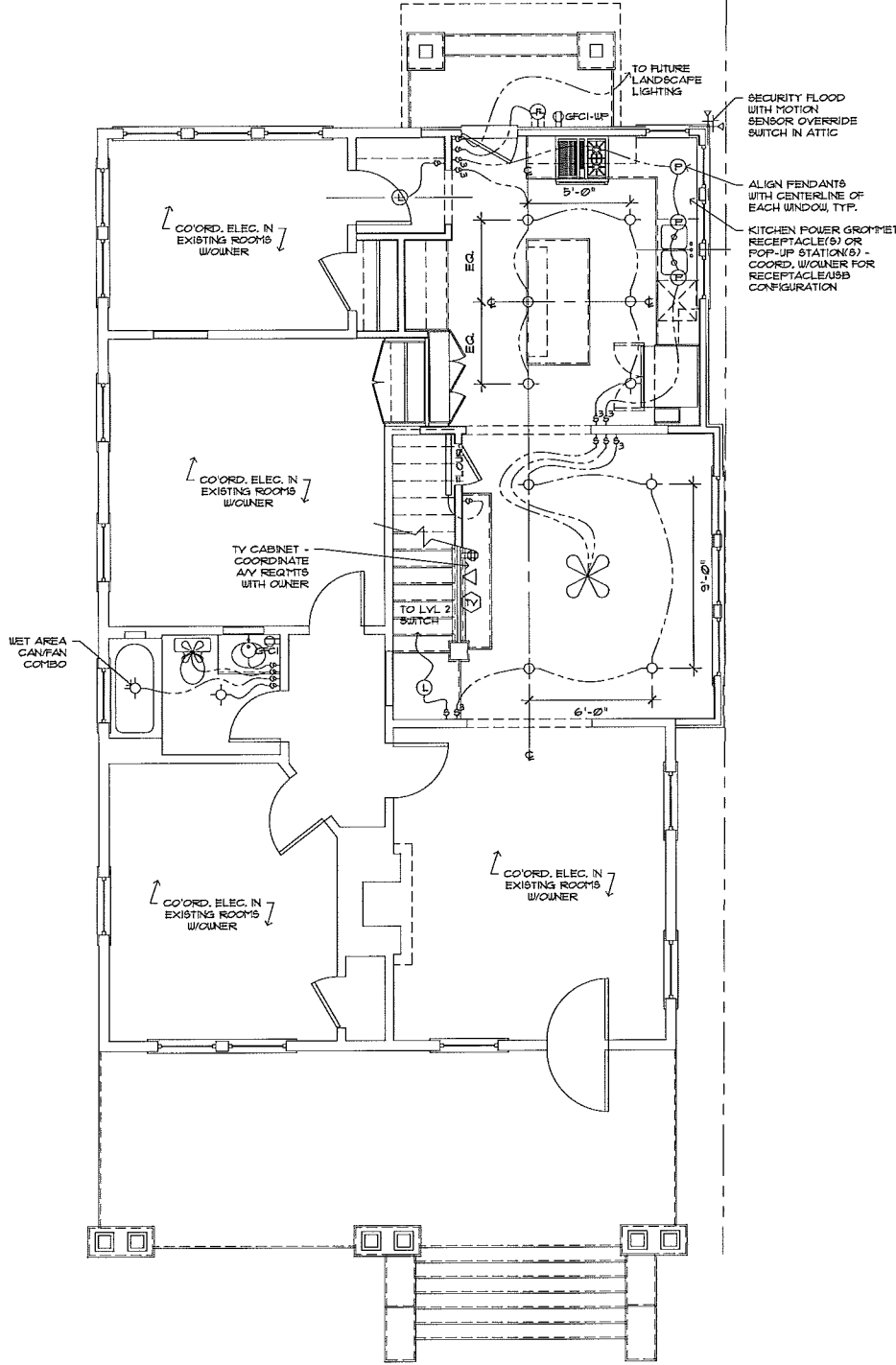
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ELECTRICAL
DIAGRAMS

A6.1



2 LEVEL TWO ELECTRICAL DIAGRAM
SCALE: 1/4"=1'-0"



1 LEVEL ONE ELECTRICAL DIAGRAM
SCALE: 1/4"=1'-0"

LEGEND:

NOTE: ALL ELECTRICAL INFORMATION SHOWN SHALL BE CONSIDERED SUPPLEMENTAL TO MINIMUM CODE REQUIREMENTS.

- FLOOD LIGHT
- CLG. MOUNTED INCANDESCENT
- WALL SCONCE
- INTERIOR CLG. MOUNTED CAN LIGHT
- EYEBALL CAN LIGHT
- FLUORESCENT LIGHT
- DUPLEX RECEPTACLE
- FLOOR RECEPTACLE
- COMPUTER NETWORK RECEPTACLE
- SWITCH
- THREE POLE SWITCH
- FOUR POLE SWITCH
- LOW VOLTAGE HALOGEN LIGHTING
- CLG. MOUNTED TRACK LIGHTING
- EXTERIOR CLG. MOUNTED CAN
- EXTERIOR WALL MOUNTED LIGHT
- GFCI PROTECTED DUPLEX RECEPTACLE
- WEATHERPROOF / GFCI DUPLEX RECEPTACLE
- GFCI-UP
- QUADRUPLEX RECEPTACLE
- TELEPHONE JACK
- CABLE TV RECEPTACLE
- 220V RECEPTACLE
- SMOKE DETECTOR
- WALL MOUNTED INCANDESCENT
- PENDANT INCANDESCENT LIGHT
- EXTERIOR CLG. MOUNTED LIGHT
- CIRCUIT BREAKER PANEL BOX
- FAN
- LIGHT WITH FAN
- VISUAL ALARM
- ALARM BUTTON
- EQUIPMENT DISCONNECT

NOTES:

- ALL ELECTRICAL INFORMATION SHOWN SHALL BE CONSIDERED SUPPLEMENTAL TO MINIMUM CODE REQUIREMENTS.
- COORDINATE ALL LIGHT SWITCH / THERMOSTAT / ETC. LOCATIONS - INCLUDING HEIGHT - WITH OWNER TO AVOID ART WALLS.
- ALL CLOSET / STORAGE FIXTURES TO HAVE LOW-TEMP, FLUORESCENT BULBS.
- ALL CANS 4" OR 5" DIAMETER.
- USE CAN-FAN COMBO IN BATHROOMS WHEREVER POSSIBLE.
- FANS TO HAVE 2 SWITCHES IN OVER-UNDER CONFIGURATION.
- IN HISTORIC HOMES, RECEPTACLES TO BE CONFIGURED HORIZONTALLY IN BASE TRIM.

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