



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2015.255

DATE: 6 January 2016

ADDRESS OF PROPERTY: 415 Kingston Avenue

HISTORIC DISTRICT: DILWORTH

TAX PARCEL NUMBER: 123.082.206

OWNER(S): David Rudolph and Sonya Pfeifer APPLICANT: Architect, John Fryday

DETAILS OF APPROVED PROJECT: Rear Addition. Existing gabled roof over stoop will be removed. A new one story shed roof will be added across the rear and tie back to house just below the second floor windows. A new secondary gabled second floor addition will tuck into side of existing primary rear facing gable and tertiary gable will tuck into the added secondary gable. Two new gables match roof slope of existing. Materials (including siding, trim, roofing, foundation, etc.) and details (including trim, soffit/fascia treatment, overhang, cornerboards, brackets, etc.) will match existing. New screened porch will be below upper addition. See exhibit labeled 'Rear Elevation January 2016'. See exhibit labeled 'Site Plan January 2016'.

Applicable *Policy & Design Guidelines Additions* page 36

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.

Projects Eligible for Administrative Approval page 23

- **Work in Rear Yards including:**
 - Additions to the rear of buildings that are neither taller nor wider than the existing structure.**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

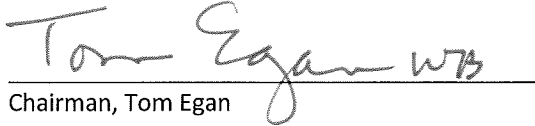
This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a

COA# HDC 2015.255

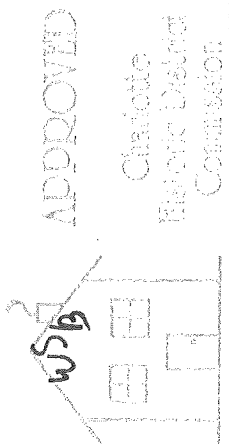
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Date 6 January 2016

building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.


Chairman, Tom Egan

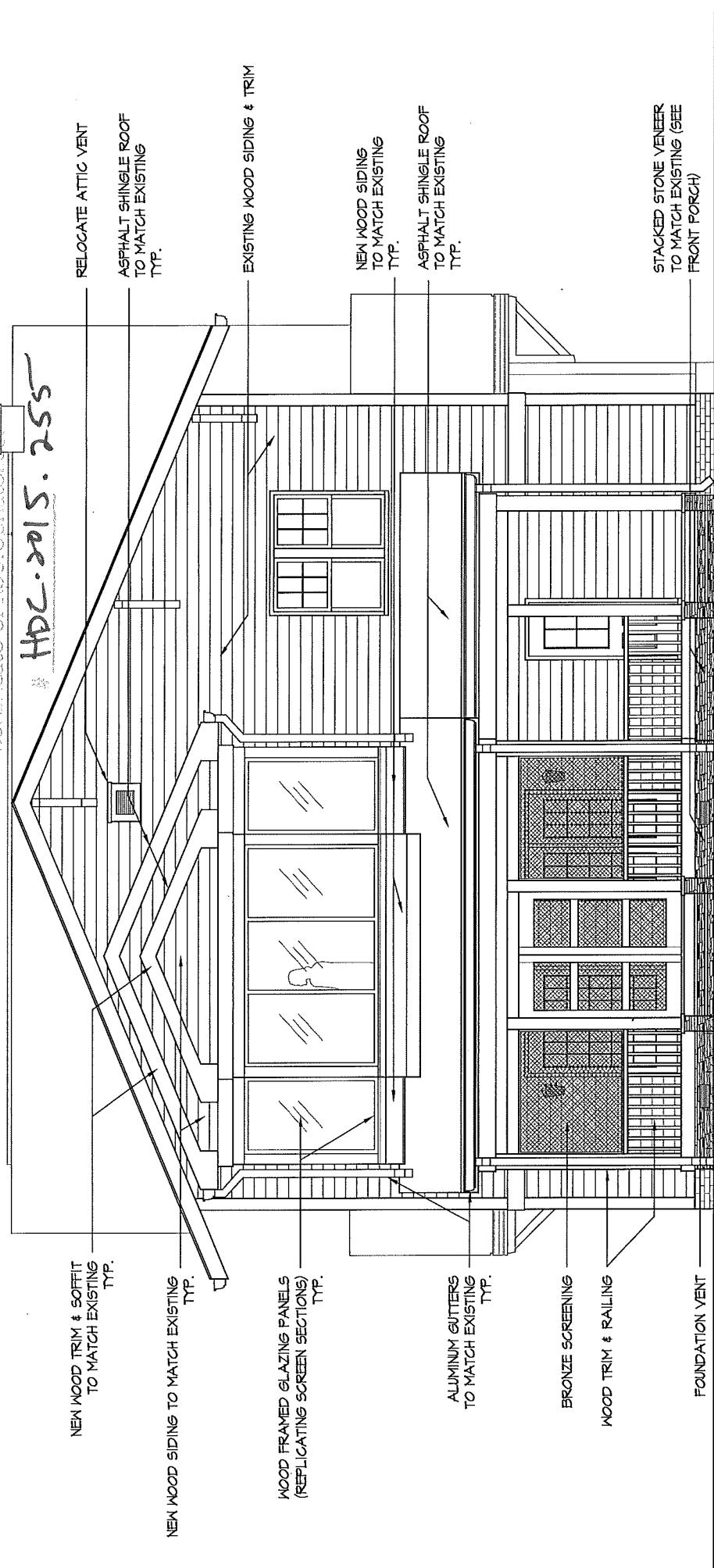

Staff, Wanda Birmingham



Charlotte
Historic District
Commission

HDC-2015-255

Certificate of Appropriateness



NEW WOOD TRIM & SOFFIT
TO MATCH EXISTING
TYP.

NEW WOOD SIDING TO MATCH EXISTING
TYP.

WOOD FRAMED GLAZING PANELS
(REPLICATING SCREEN SECTIONS)
TYP.

ALUMINUM GUTTERS
TO MATCH EXISTING
TYP.

BRONZE SCREENING

WOOD TRIM & RAILING

FOUNDATION VENT

RELOCATE ATTIC VENT

ASPHALT SHINGLE ROOF
TO MATCH EXISTING
TYP.

EXISTING WOOD SIDING & TRIM

NEW WOOD SIDING
TO MATCH EXISTING
TYP.

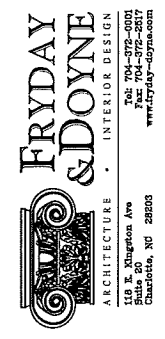
ASPHALT SHINGLE ROOF
TO MATCH EXISTING
TYP.

STACKED STONE VENEER
TO MATCH EXISTING (SEE
FRONT PORCH)

NEW ELEVATION

SCALE: 1/4" = 1'-0"

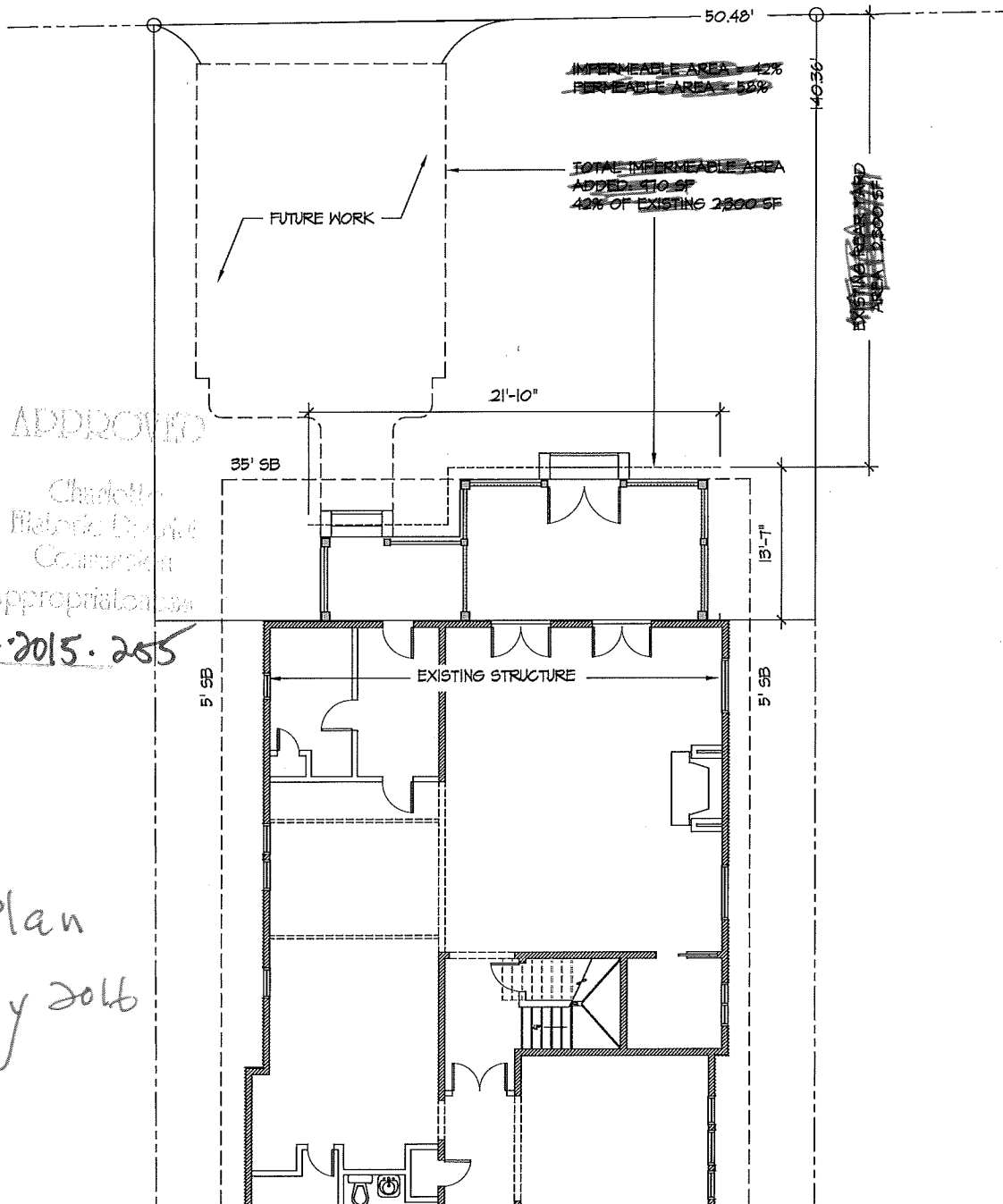
415 EAST KINGSTON AVENUE RENOVATION | 12-01-15



Rear Elevation January 2016

LOT 18
BLOCK 40
MB.230 PG.60
DILWORTH

0.16 ACRES



APPROVED
Charlotte-Mecklenburg
Historic District
Commission
Certificate of Appropriateness
#HDC-2015-255

Site Plan
January 2016

SCALE: 1/8" = 1'-0"

SITE PLAN - PORCH ADDITION

415 EAST KINGSTON AVENUE RENOVATION

12-01-15



FRYDAY & DOYNE
ARCHITECTURE • INTERIOR DESIGN

118 E. Kingston Ave
Suite 20
Charlotte, NC 28203

Tel: 704-372-0001
Fax: 704-372-2617
www.fryday-doyne.com