



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2015-253

DATE: March 10, 2016

ADDRESS OF PROPERTY: 1335 Lafayette Ave.

TAX PARCEL NUMBER: 12305106

HISTORIC DISTRICT: Dilworth

OWNER(S): Kenneth and Meredith Doty

DETAILS OF APPROVED PROJECT: The project is a two story addition on the left side and new rear porch. Project details include a side chimney, slate roof, wood lap siding and wood windows. The rear porch includes round columns, wood trim and a standing seam metal roof.

The project was approved by the HDC December 9, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff

Doty Residence

Charlotte, NC

JOSH ALLISON
ARCHITECTURE

JOSH ALLISON ARCHITECTURE PLLC
2031 Euclid Avenue
Charlotte NC 28203

704 996 4949
www.joshallisonarchitecture.com

Project Status

HDC Submittal
11.24.15

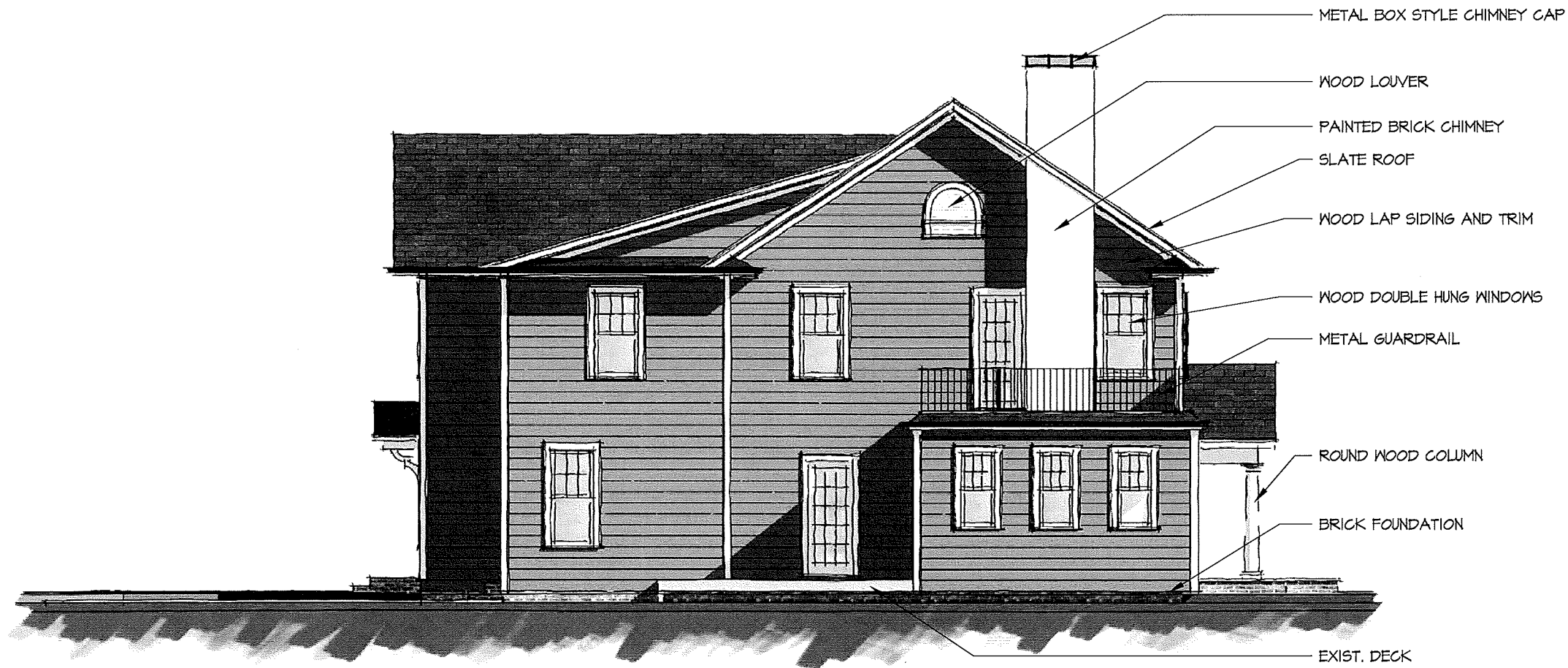
Project Data

Owner:
Ken and Meredith Doty
Site Address:
1335 Lafayette Ave
Charlotte, NC 28203

Drawings

EX-1	Existing Streetscape
EX-2	Existing Photos
EX-3	Existing Photos
EX-4	Existing Floor Plans
EX-5	Existing Elevations
EX-6	Existing Elevations
A1.0	Site Plan
A1.1	Proposed First Floor Plan
A1.2	Proposed Second Floor Plan
A1.3	Proposed Roof Plan
A2.1	Proposed Elevations
A2.2	Proposed Elevations
A2.3	Perspectives
A2.4	Perspectives





02 Existing Left Side Elevation

1/8"=1'-0"



01 Existing Front Elevation

1/8"=1'-0"

Doty Residence
Charlotte, NC

Date: 11.24.15

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2015-253

EX-5



02 Existing Right Side Elevation
1/8"=1'-0"



01 Existing Rear Elevation
1/8"=1'-0"

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Charlotte, NC

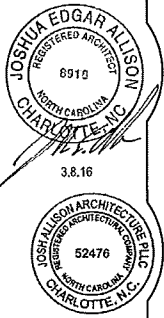
Date: 11.24.15

Project Status:
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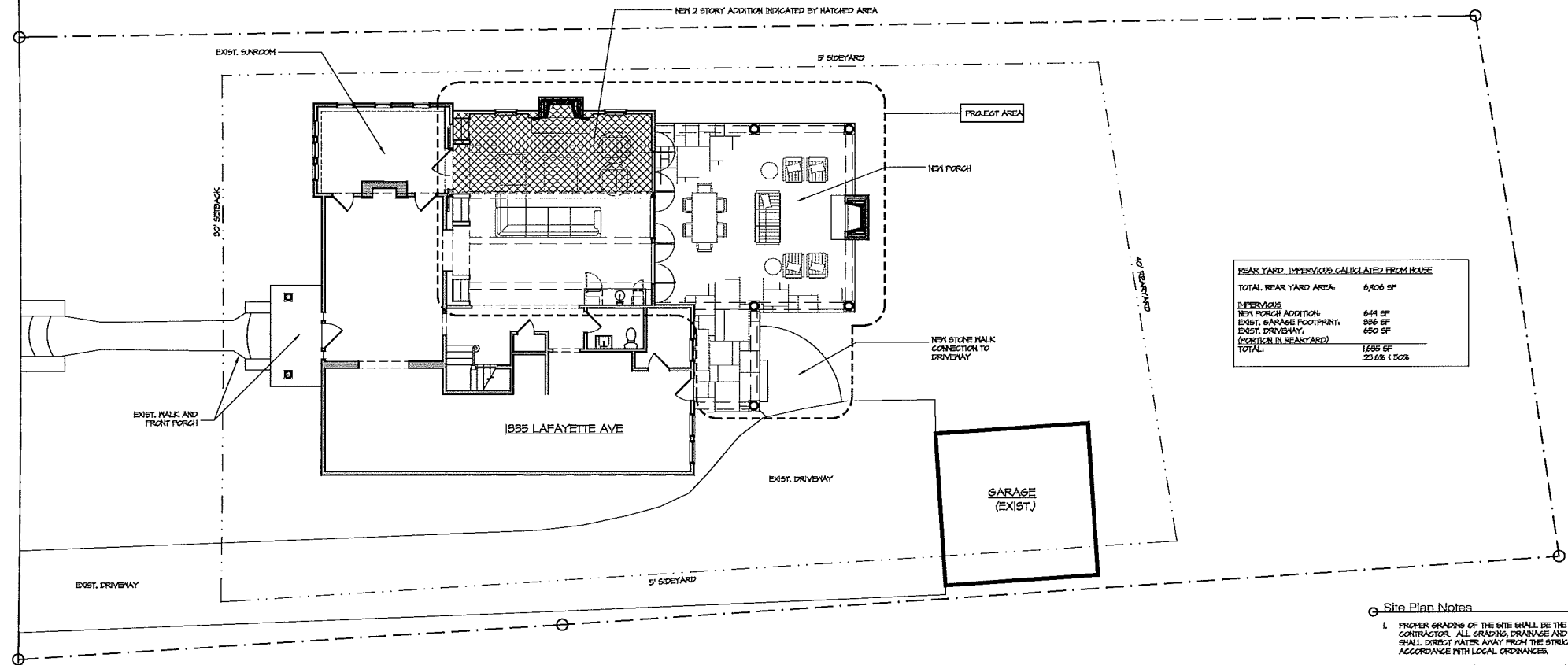
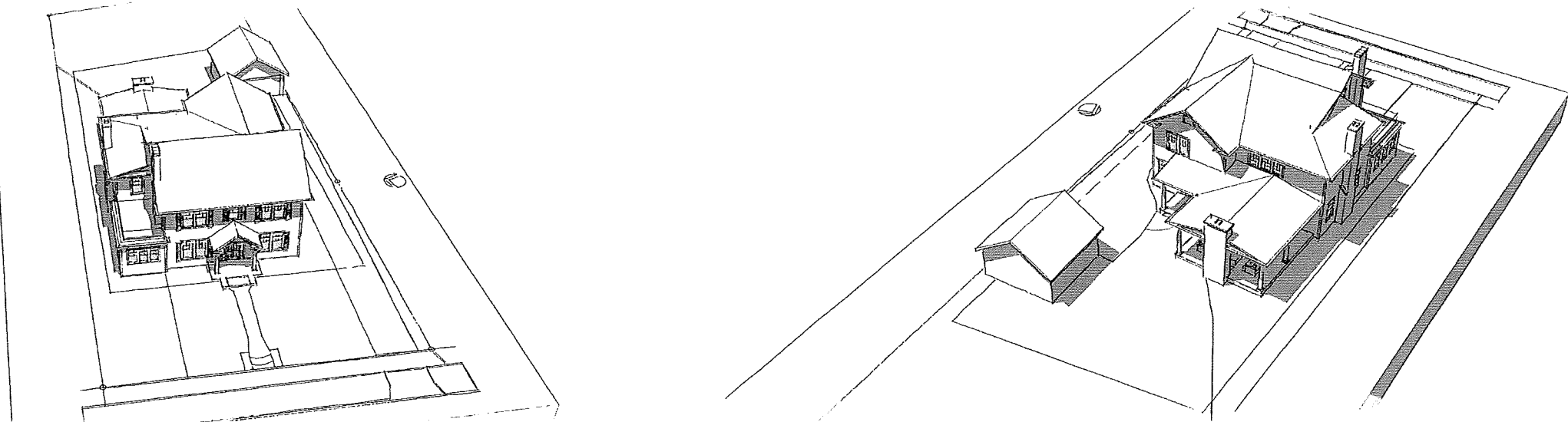
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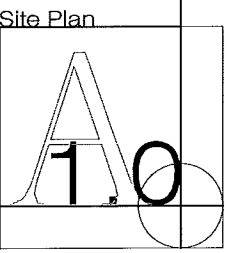
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Charlotte
Historic District
Commission
Certificate of Appropriateness
2015-253



LAFAYETTE AVE



- Site Plan Notes
1. PROPER GRADING OF THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL GRADING, DRAINAGE AND WATER MANAGEMENT SHALL DIRECT WATER AWAY FROM THE STRUCTURE AND SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCES.
 2. TREES AND LANDSCAPING INTENDED TO REMAIN MAY NOT BE INDICATED ON THIS PLAN. CONFIRM WITH OWNER AND ARCHITECT ALL TREES AND LANDSCAPING TO BE REMOVED PRIOR TO START OF CONSTRUCTION. TREES AND LANDSCAPING TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCING AT DRIP LINE TO PREVENT CONSTRUCTION TRAFFIC AND STORAGE OF MATERIALS ON ROOT ZONES.
 3. FINAL GRADING OF AREAS ADJACENT TO BUILDING TO BE DETERMINED IN FIELD AND COORDINATED WITH LANDSCAPE/HARDSCAPE DESIGN. ALL GRADES SHALL DIRECT WATER AWAY FROM AND AROUND THE STRUCTURE.
 4. LANDSCAPING NOT SHOWN. FINAL DESIGN TO BE DETERMINED BY OWNER AND/OR CONSULTANT DURING CONSTRUCTION.
 5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS INDICATED ON PLANS. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROCEEDING.



Doty Residence

Charlotte, NC

Date: 11.24.15

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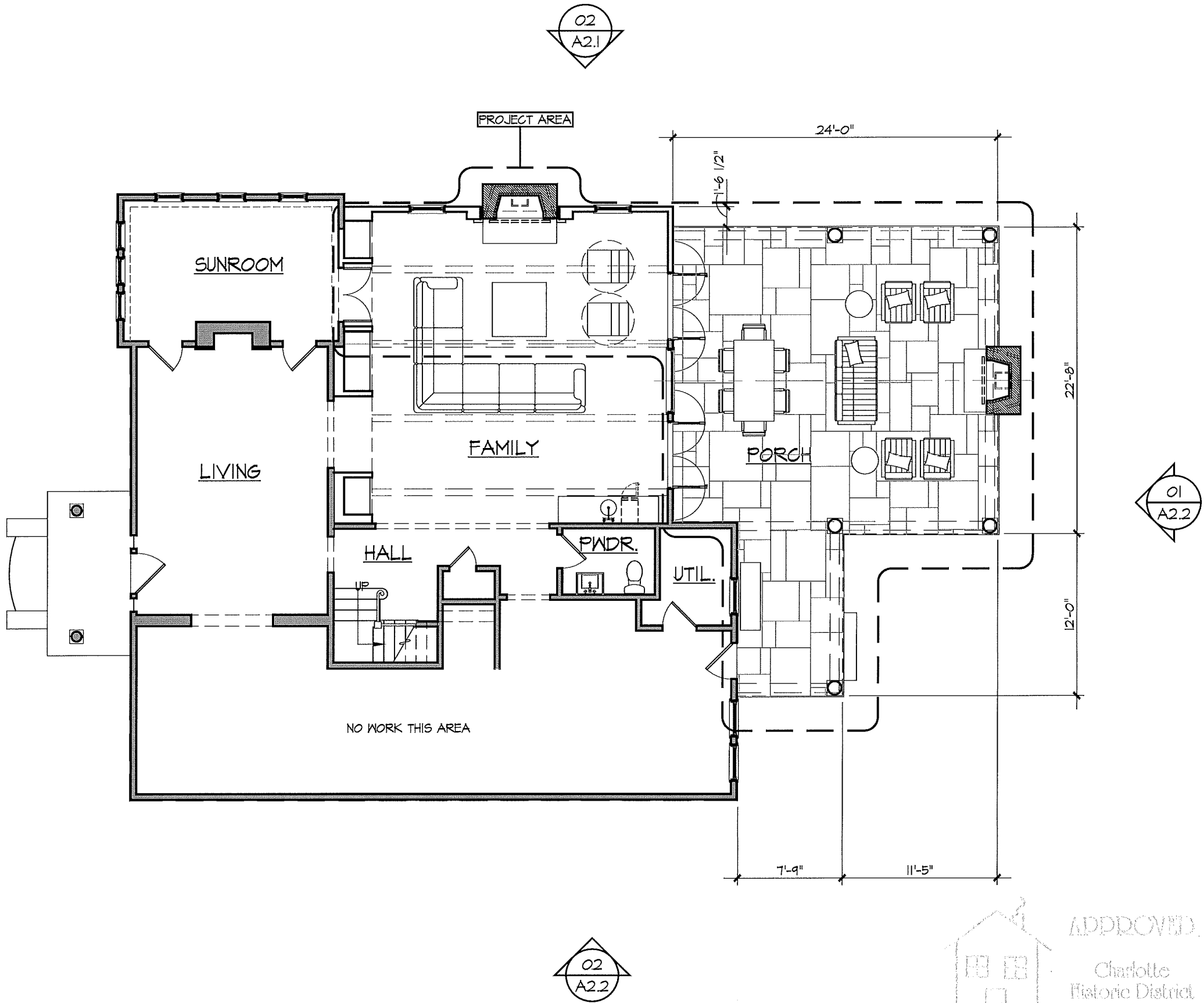
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A1.1

01 Proposed First Floor Plan

1/8"=1'-0"

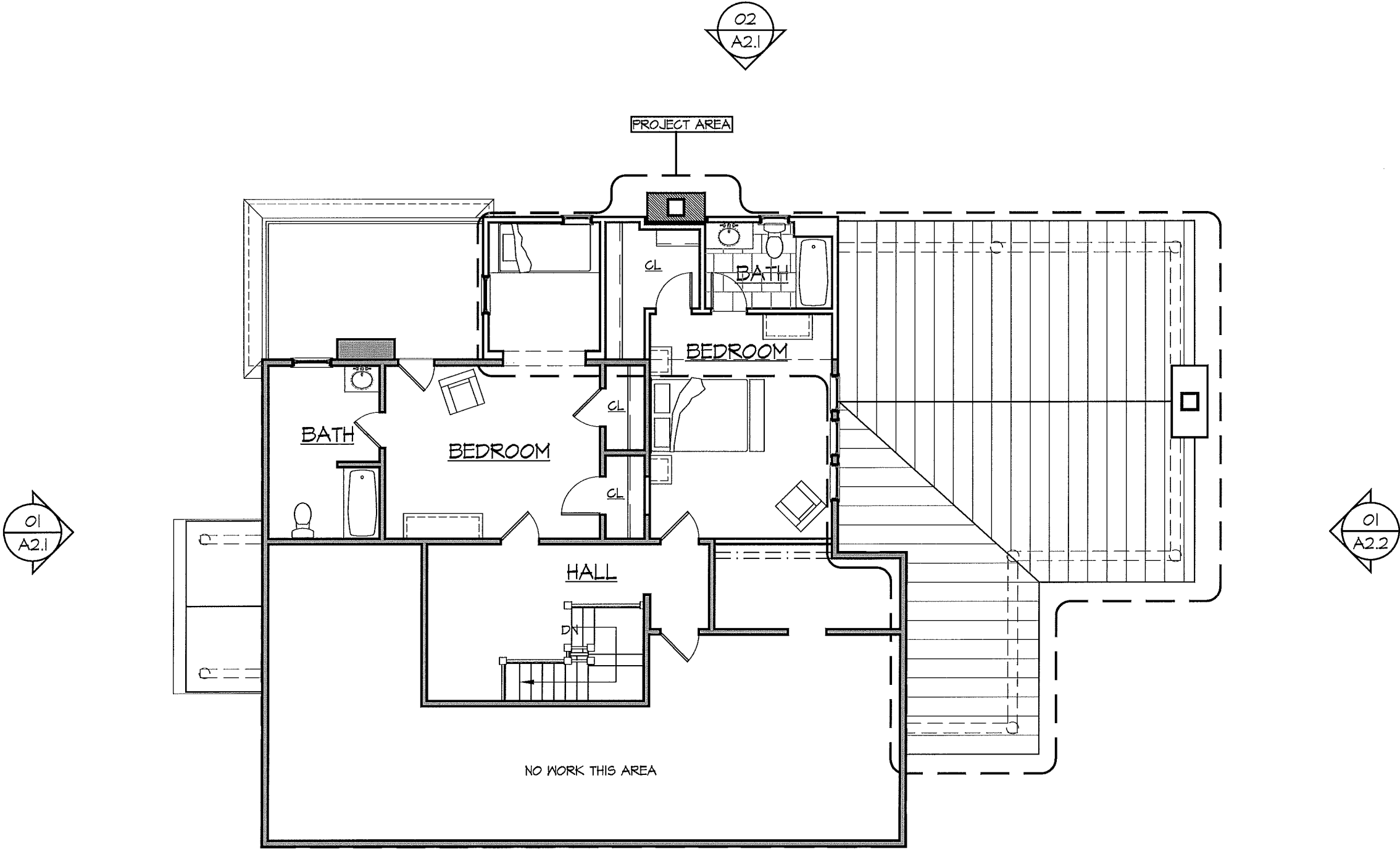


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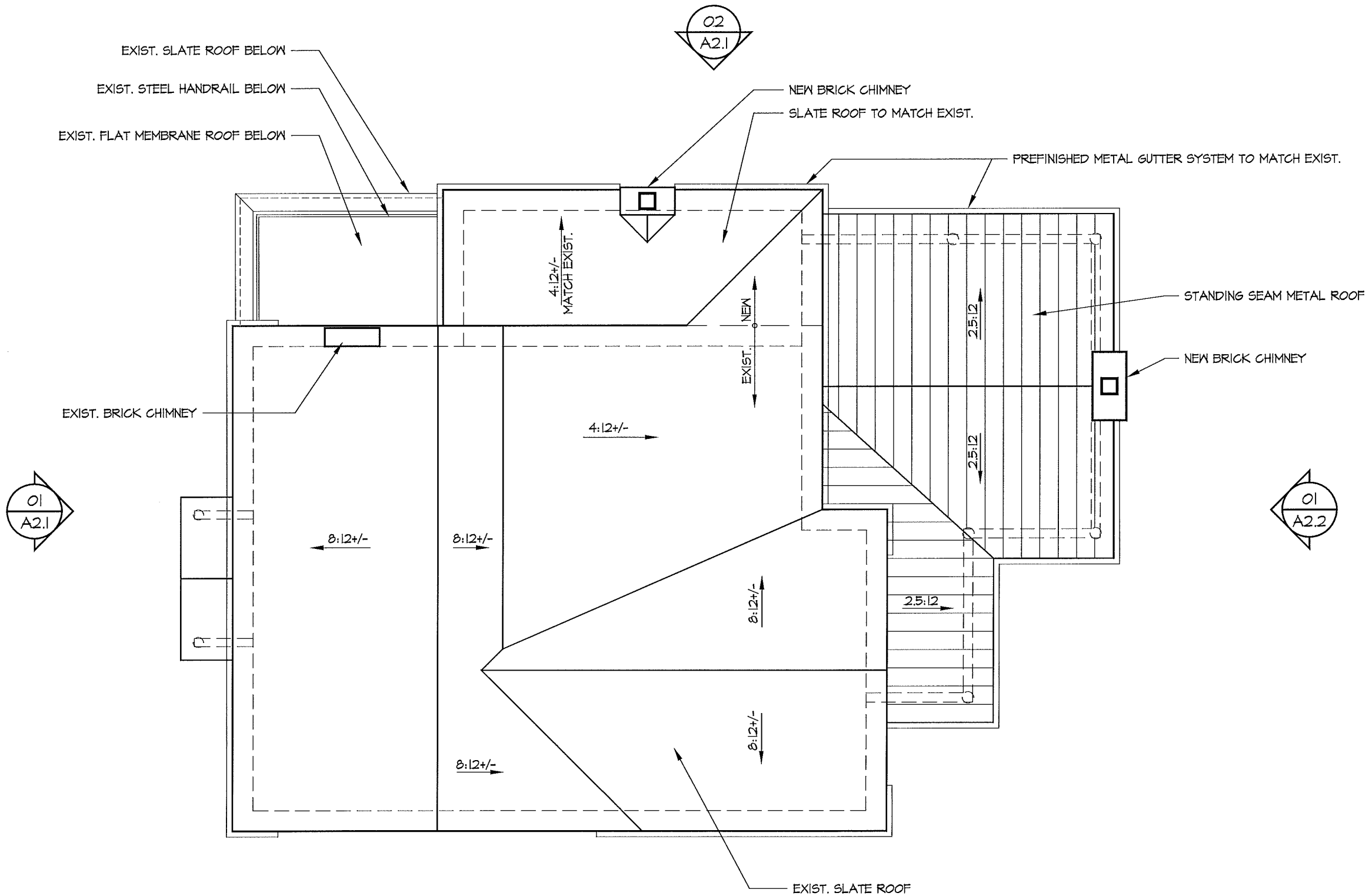
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01 Proposed Second Floor Plan
1/8"=1'-0"



2015-253

A1.2



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01 Proposed Roof Plan

1/8"=1'-0"



A1.3



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02 Proposed Left Side Elevation

1/8"=1'-0"



01 Proposed Front Elevation

1/8"=1'-0"

Typical Exterior Material Notes

MASONRY

- BRICK FOUNDATION: MATCH EXIST COLOR AND SIZE AS CLOSELY AS POSSIBLE
- BRICK CHIMNEYS: MATCH EXIST. FOUNDATION COLOR AND SIZE AS CLOSELY AS POSSIBLE.
- PORCH FLOOR: BLUE STONE SET IN ASHLAR PATTERN.

WOOD SIDING & TRIM

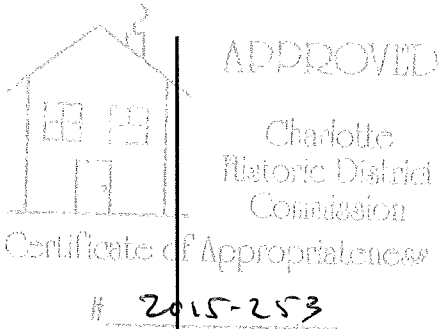
- SIDING: PINE- LAP PROFILE (8" EXPOSURE) TO MATCH EXIST. INSTALLED W/ HAND DRIVEN STAINLESS STEEL FASTENERS
- CORNER BOARDS: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND). FIELD VERIFY TYPICAL DIMENSIONS
- WINDOW TRIM: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND, 2" SILL) FIELD VERIFY TYPICAL DIMENSIONS.
- FASCIA, SHINGLE MOULD, FRIEZE AND SOFFIT: MATCH EXIST- FIELD VERIFY TYPICAL DIMENSIONS.
- ALL EXTERIOR SIDING AND TRIM TO BE PRE-PRIMED

WINDOWS AND DOORS

- WINDOWS AND DOORS: JELD WEN SITELINE-EX WOOD WINDOWS OR EQ. WINDOWS SHALL HAVE 7/8" SDL MUNTIN BARS PERMANENTLY ATTACHED TO INTERIOR AND EXTERIOR FACE OF GLASS WITH INTERNAL SPACER BAR BETWEEN GLASS. SEE ELEVATIONS FOR MUNTIN BAR PATTERN.

ROOFING

- SLATE SHINGLES: MATCH EXIST. SLATE AND INSTALL TO CREATE SEAMLESS TRANSITION BETWEEN NEW AND EXIST. AREAS. INSTALL PER MFR. RECOMMENDATIONS AND CODE REQUIREMENTS
- METAL ROOFING: PREFINISHED METAL PANEL WITH STANDING SEAMS. INSTALL PER MFR. RECOMMENDATIONS AND ALL CODE REQUIREMENTS.
- GUTTERS AND DOWNSPOUTS: INSTALL PREFINISHED METAL GUTTER (OGEE PROFILE) AND DOWNSPOUTS TO MATCH EXIST.



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02 Proposed Right Side Elevation

1/8"=1'-0"



01 Proposed Rear Elevation

1/8"=1'-0"



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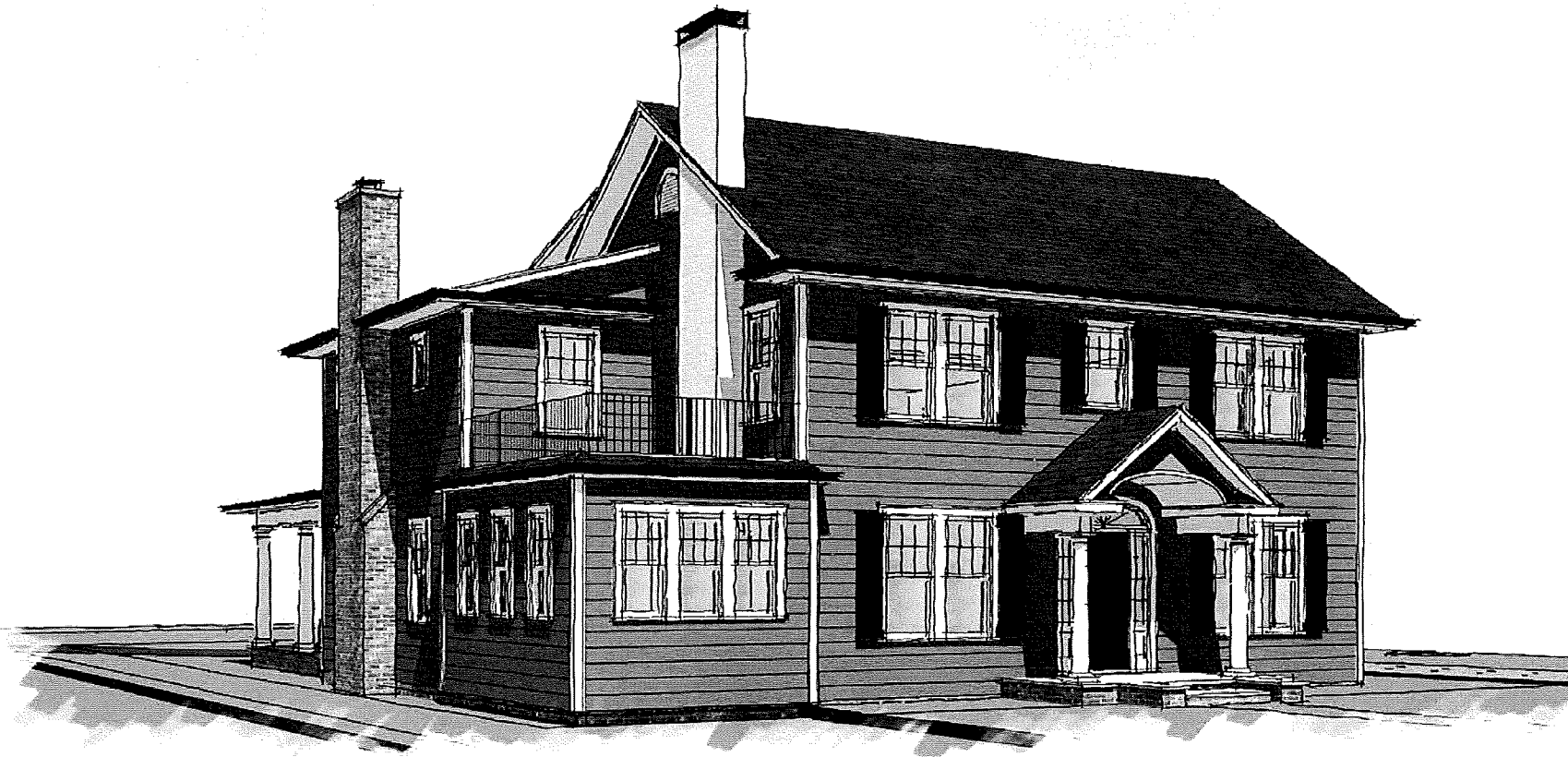
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Commission

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Certificate of Appropriateness

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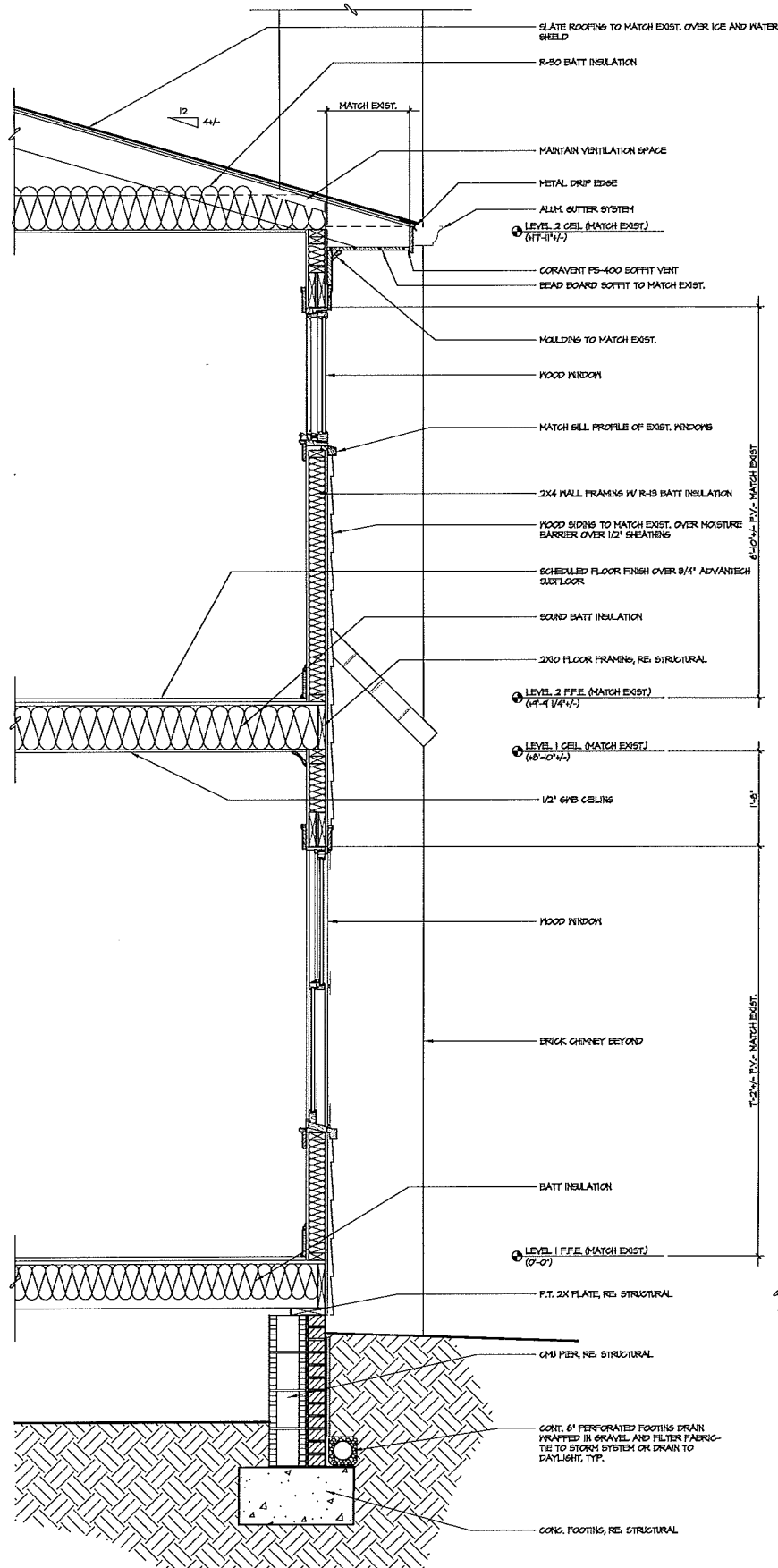
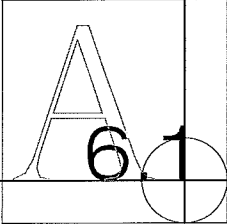


Doty Residence
Charlotte, NC

Date: 03.08.16
Project Status:
Construction Drawings

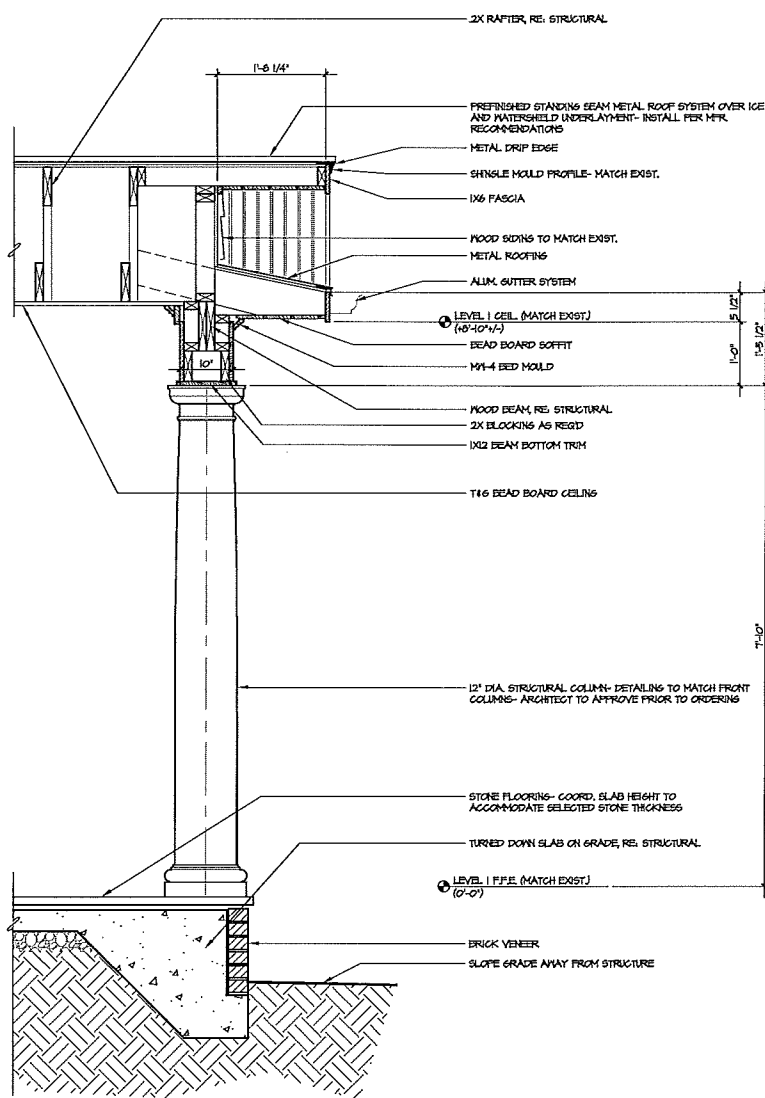
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Wall Sections



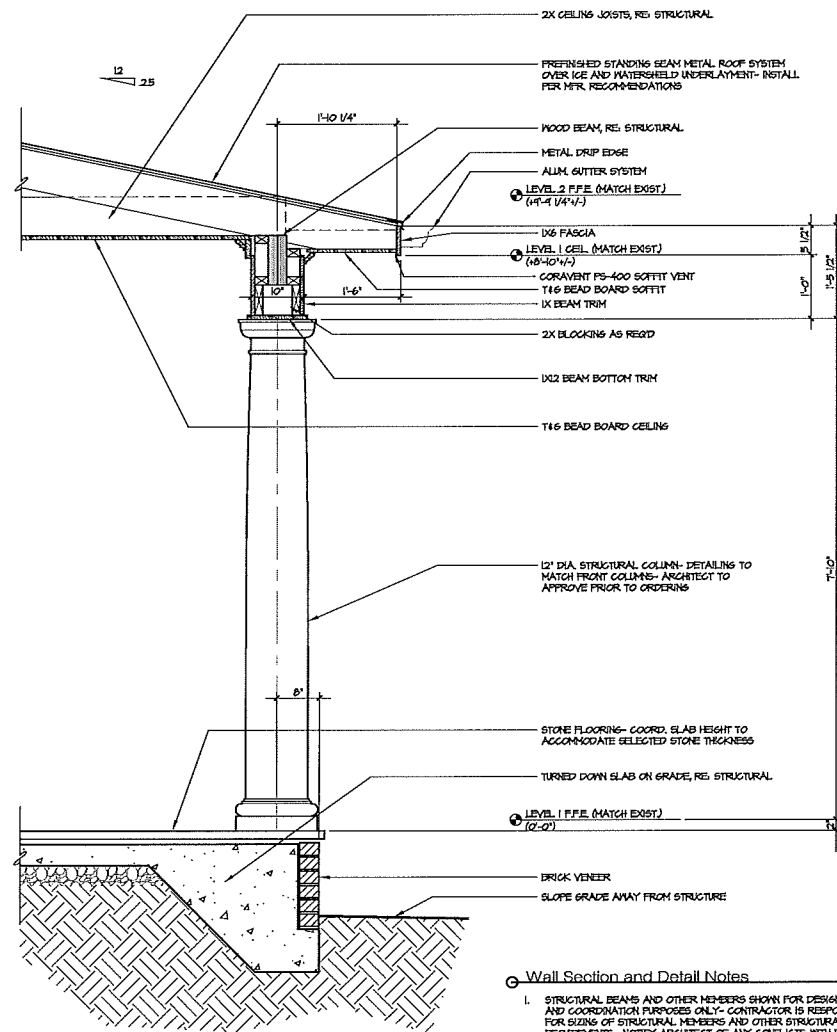
03 Wall Section @ Porch

3/4" = 1'-0"



02 Wall Section @ Porch

3/4" = 1'-0"



01 Wall Section @ Family Room

3/4" = 1'-0"

Wall Section and Detail Notes

1. STRUCTURAL BEAMS AND OTHER MEMBERS SHOWN FOR DESIGN INTENT AND COORDINATION PURPOSES ONLY- CONTRACTOR IS RESPONSIBLE FOR SIZING OF STRUCTURAL MEMBERS AND OTHER STRUCTURAL REQUIREMENTS. NOTIFY ARCHITECT OF ANY CONFLICTS WITH BUILDING ENVELOPE OR ARCHITECTURAL ELEMENTS PRIOR TO FRAMING OF CONFLICTED AREAS.
2. ALL NOTES SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS. SEE OTHER SHEETS FOR ADDITIONAL NOTES.
3. ALL FLASHING DETAILS WHETHER INDICATED OR NOT SHALL BE IN ACCORDANCE WITH SHAKRA'S BEST RECOMMENDED PRACTICES.
4. DO NOT SCALE WALL SECTIONS. IF ADDITIONAL DIMENSIONS ARE NEEDED, REQUEST INFORMATION FROM ARCHITECT.