



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS-Amended

CERTIFICATE NUMBER: 2015-235

DATE: May 17, 2016

ADDRESS OF PROPERTY: 229 East Worthington Avenue TAX PARCEL NUMBER: 12105407

HISTORIC DISTRICT: Dilworth

OWNER(S): Kenneth and Lucy Raynor

DETAILS OF APPROVED PROJECT: The project is a renovation of the principal structure including an expansion of the attic, porch addition, construction of a turret on the right corner and a new detached accessory building. Project details include wood siding (lap and shake patterns), wood windows and trim, new eaves and soffits to match existing, new screened porch and a new second floor rear addition. The accessory building will have materials complimentary to the principal structure, total height is +/- 23'. Accessory building revisions include site location, a new entry door, full size windows and removal of the balcony on the front façade.

The project was approved by the HDC June 10, 2015.

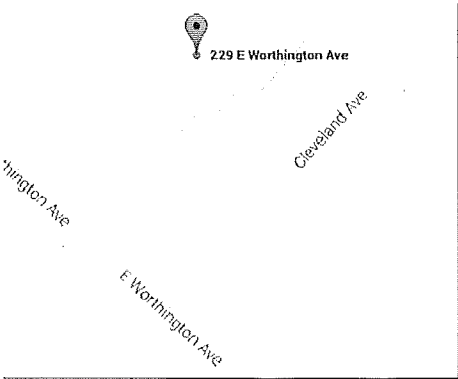
- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

ZONING: B1
CURRENT USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL WITH HOME OFFICE

ZONING BOARD OF ADJUSTMENT
VARIANCE # 2015-020

HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS # 2015-080



VICINITY MAP



NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

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NOTE: PERMEABLE REAR YARD CALCULATIONS-N/A

SQUARE FOOTAGE CALCULATIONS OF HOUSE

	Heated	Unheated
Existing First Floor:	2,180 S.F.	339 S.F.
Existing Second Floor:	1022 S.F.	0 S.F.
	+	+
Proposed First Floor:	0 S.F.	268 S.F.
Proposed Second Floor:	52 S.F.	0 S.F.
Total:	3,254 S.F.	607 S.F.
Total Under Roof :	3,861 S.F.	

SQUARE FOOTAGE CALCULATIONS OF ACCESSORY STRUCTURE

Proposed First Floor:	484 S.F.	0 S.F.
Existing Second Floor:	447 S.F.	0 S.F.
Total:	931 S.F.	607 S.F.
Total Under Roof :	931 S.F.	

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Historic Dilworth Addition & Renovation for the:
RAYNOR RESIDENCE
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
ISSUED - 21 OCT 2015
REVISIONS -

COVER SHEET

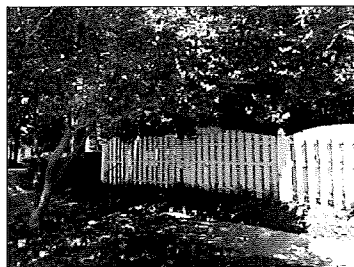
A-0

OF: FIFTEEN



• METAL FENCE SHALL BE 4' HIGH "H" RAIL WITH A PROTECTIVE COAT OF PAINT TO THE FRONT OF HOUSE ALONG ENTIRE PERIMETER OF LOT.
• THE FENCE SHALL BE PAINTED BLACK.
• THERE SHALL BE A DOUBLE GATE AT TOP OF CONCRETE STEPS LEADING FROM SIDEWALK TO 1st FLOOR PORCH OF HOUSE.
• THE PROPOSED ONE (1) FENCE SHALL BE NO MORE THAN 12' FROM CURB.
• SEE PROPOSED SITE PLAN FOR FENCE AND GATE LOCATION.

④ HDC COMPLIANT DECORATIVE METAL FENCE FOR FRONT OF HOUSE



• THE BACKYARD SHALL HAVE WOODEN FENCE SIMILAR TO THE ONE SHOWN IN PICTURE.
• IT SHALL BE PAINTED WHITE TO MATCH HOUSE PAINT.
• THE WOODEN FENCE SHALL BE 6' HIGH WITH 4" X 6" POSTS AND 2" X 4" RAILS.
• REAR SHALL BE NOT MORE THAN 12' FROM CURB.
• SEE PROPOSED SITE PLAN FOR FENCE LOCATION.

③ HDC COMPLIANT WOOD FENCE FOR REAR OF HOUSE

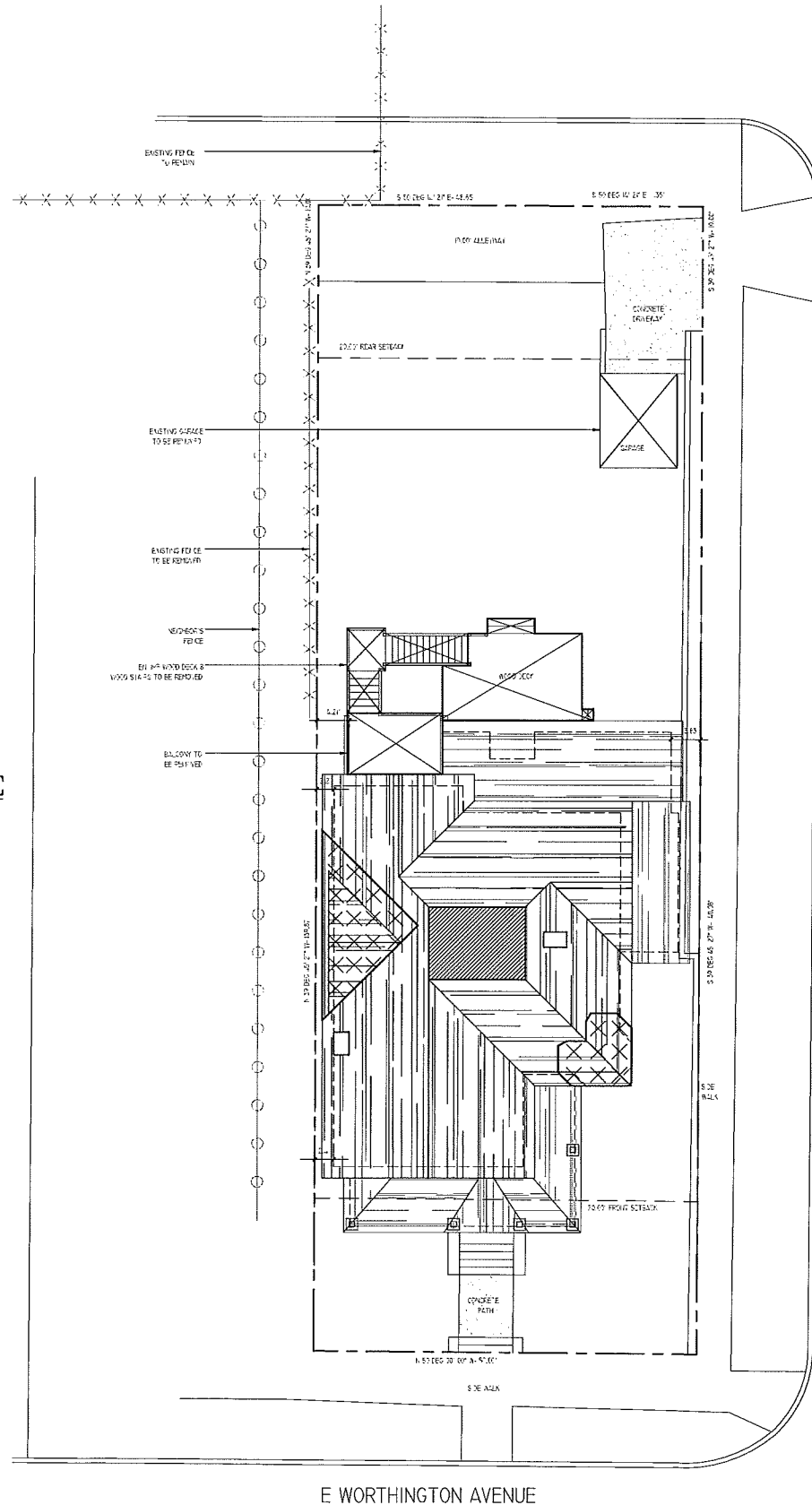


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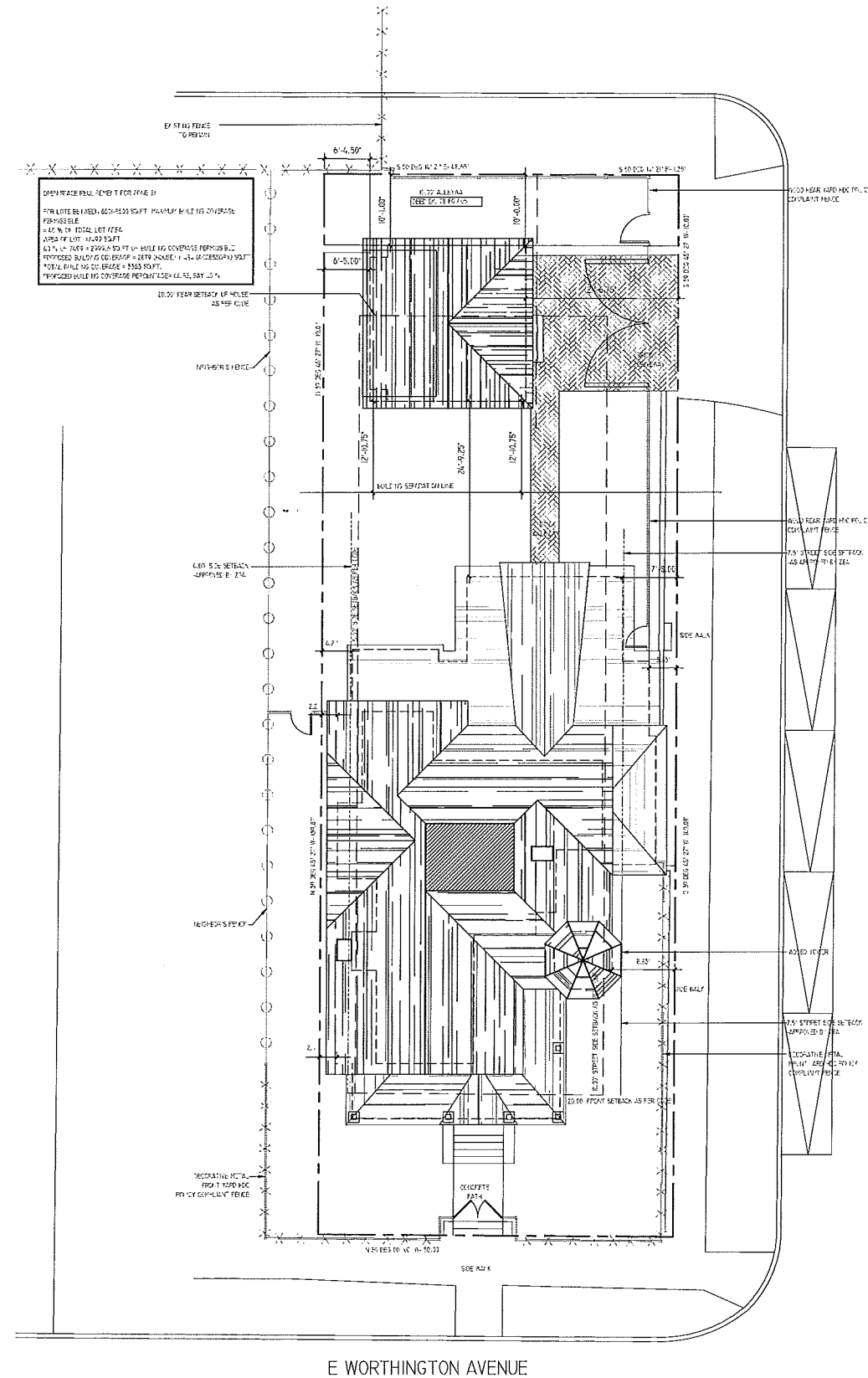
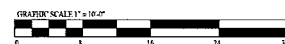
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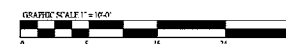
2015-235 (A)



② EXISTING SITE PLAN 1" = 10'-0"

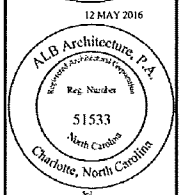
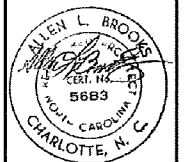


① PROPOSED SITE PLAN 1" = 10'-0"



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Historic Dilworth Addition & Renovation for the:

RAYNOR -OFFICE BUILDING

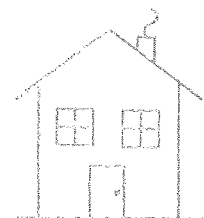
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
INSTRUED - 12 MAY 2016
REVISIONS -

EXISTING & PROPOSED SITE
PLANS

A-1

OF: TEN



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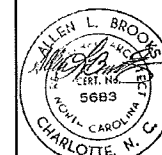
① PROPOSED HOUSE AND ACCESSORY STRUCTURE FROM CLEVELAND AVENUE SIDE
3/16" = 1'-0"



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21 OCT 2015

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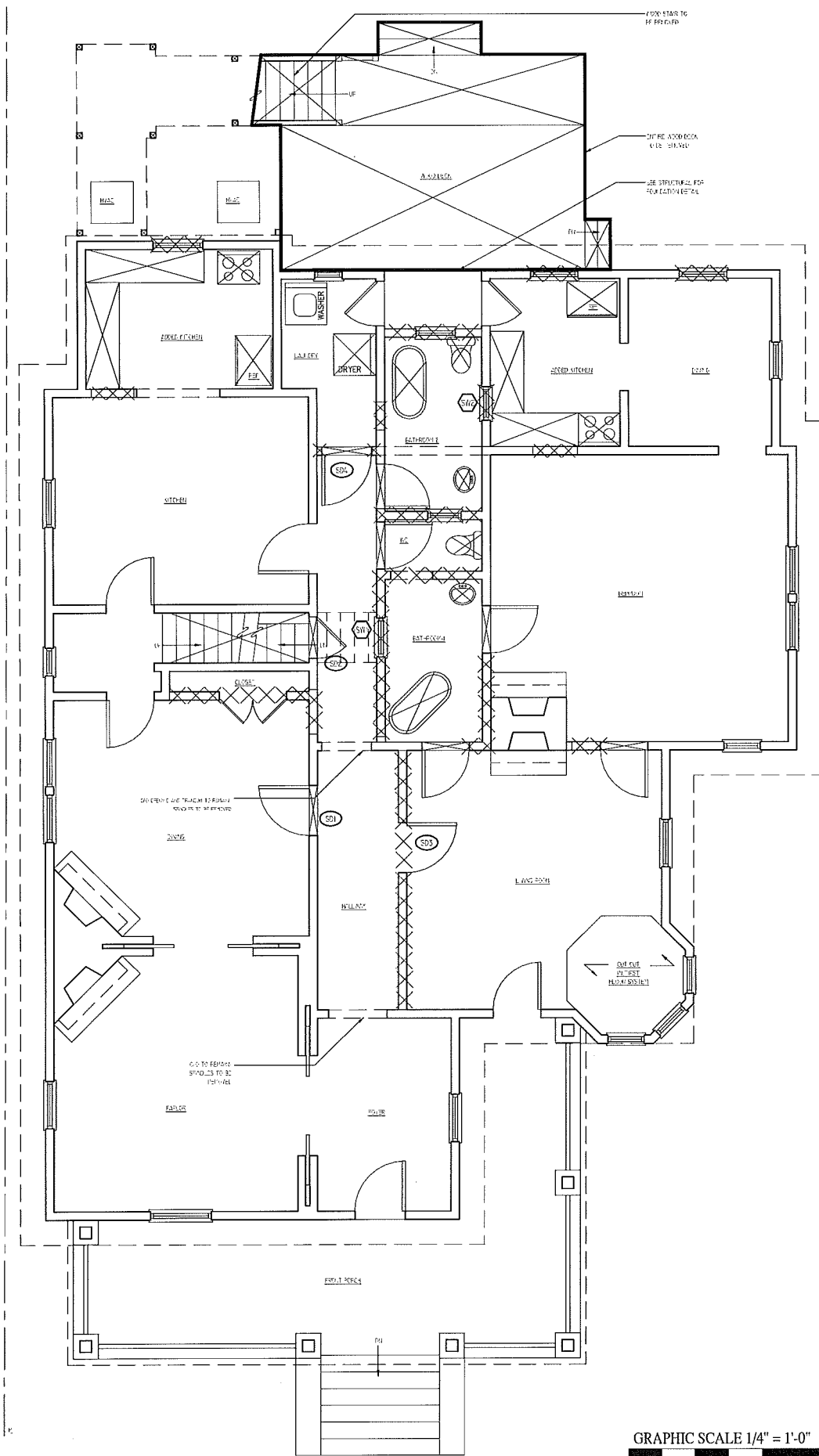
RAYNOR RESIDENCE

229 East Worthington Avenue, Charlotte, NC 28203

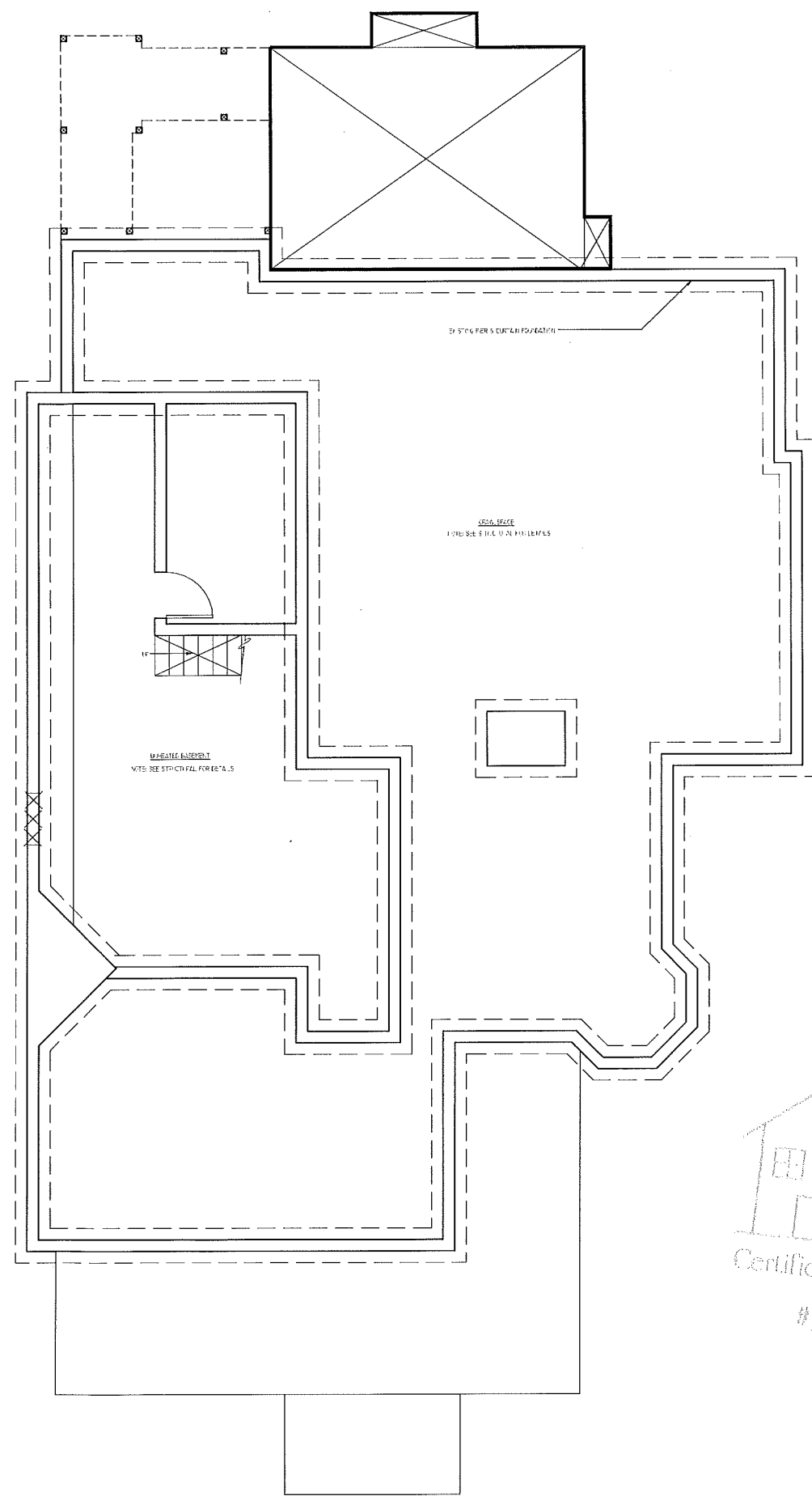
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PROPOSED CONTEXT

OF: FIFTEEN



② EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



① EXISTING BASEMENT/FOUNDATION PLAN
1/4" = 1'-0"

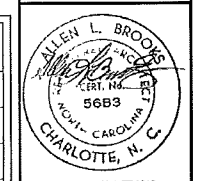
XXXX ASSES TO BE FORWARDED

SALVAGED WINDOW SCHEDULE		
NO.	QTY	LOCATION
1	2	TO BE VERIFIED
2	2	TO BE VERIFIED
3	2	TO BE VERIFIED

SALVAGED DOOR SCHEDULE - EXISTING FIRST FLOOR		
NO.	QTY	LOCATION
1	2	TO BE VERIFIED
2	2	TO BE VERIFIED
3	2	TO BE VERIFIED



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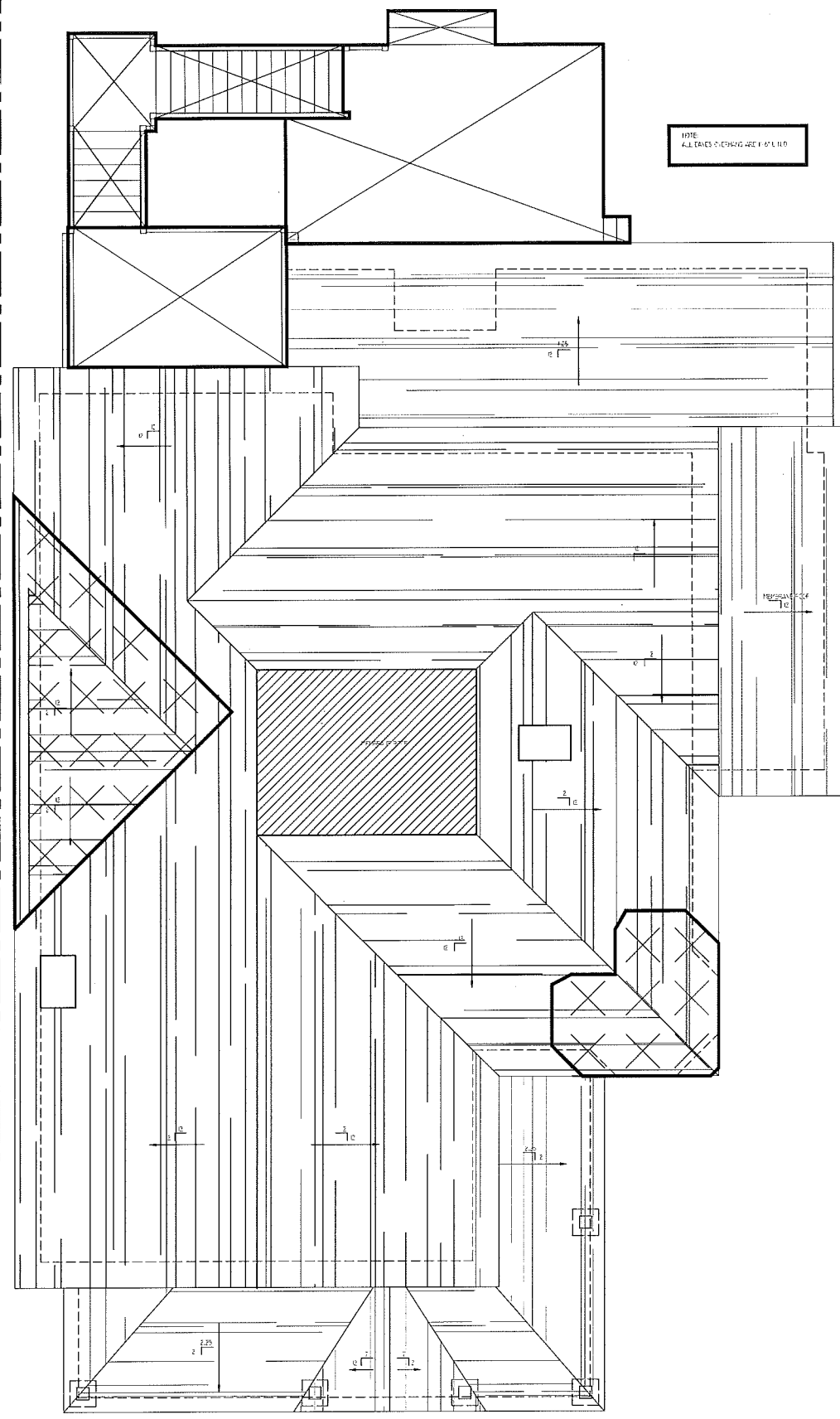
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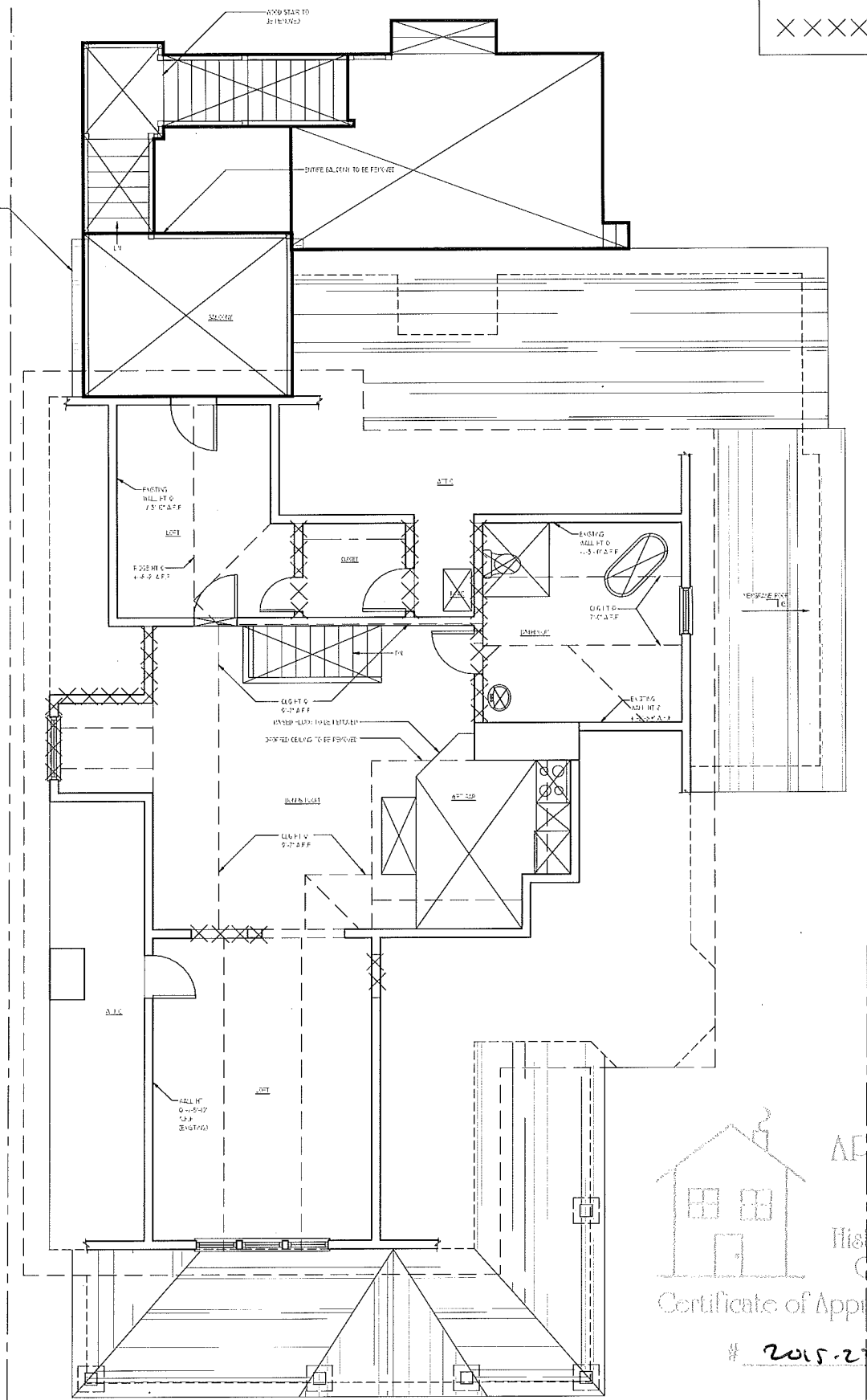
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PROJ. NO. - 15082
ISSUED - 21 OCT 2015
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EXISTING PLANS
A-2
OF: FIFTEEN



② EXISTING ROOF PLAN
1/4" = 1'-0"



① EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

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Historic Dilworth Addition & Renovation for the:

RAYNOR RESIDENCE

229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15062
ISSUED - 21 OCT 2015
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EXISTING PLANS

A-3

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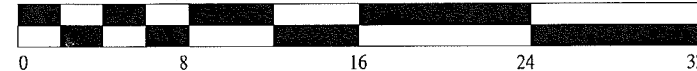
Certificate of Appropriateness

2015-225



② EXISTING CLEVELAND AVENUE SIDE ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



① EXISTING FRONT ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



XXXX

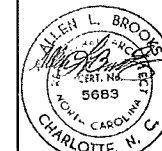
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Historic Dilworth Addition & Renovation for the:

RAYNOR RESIDENCE

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PROJ. NO. - 15082
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EXISTING ELEVATIONS

A-4

OF FIFTEEN



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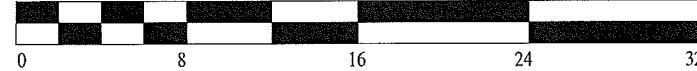
Certificate of Appropriateness

2015-231



② EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



① EXISTING REAR ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



XXXX

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Historic Dilworth Addition & Renovation for the:

RAYNOR RESIDENCE

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PROJ. NO. - 15082
ISSUED - 21 OCT 2015
REVISIONS -

EXISTING ELEVATIONS

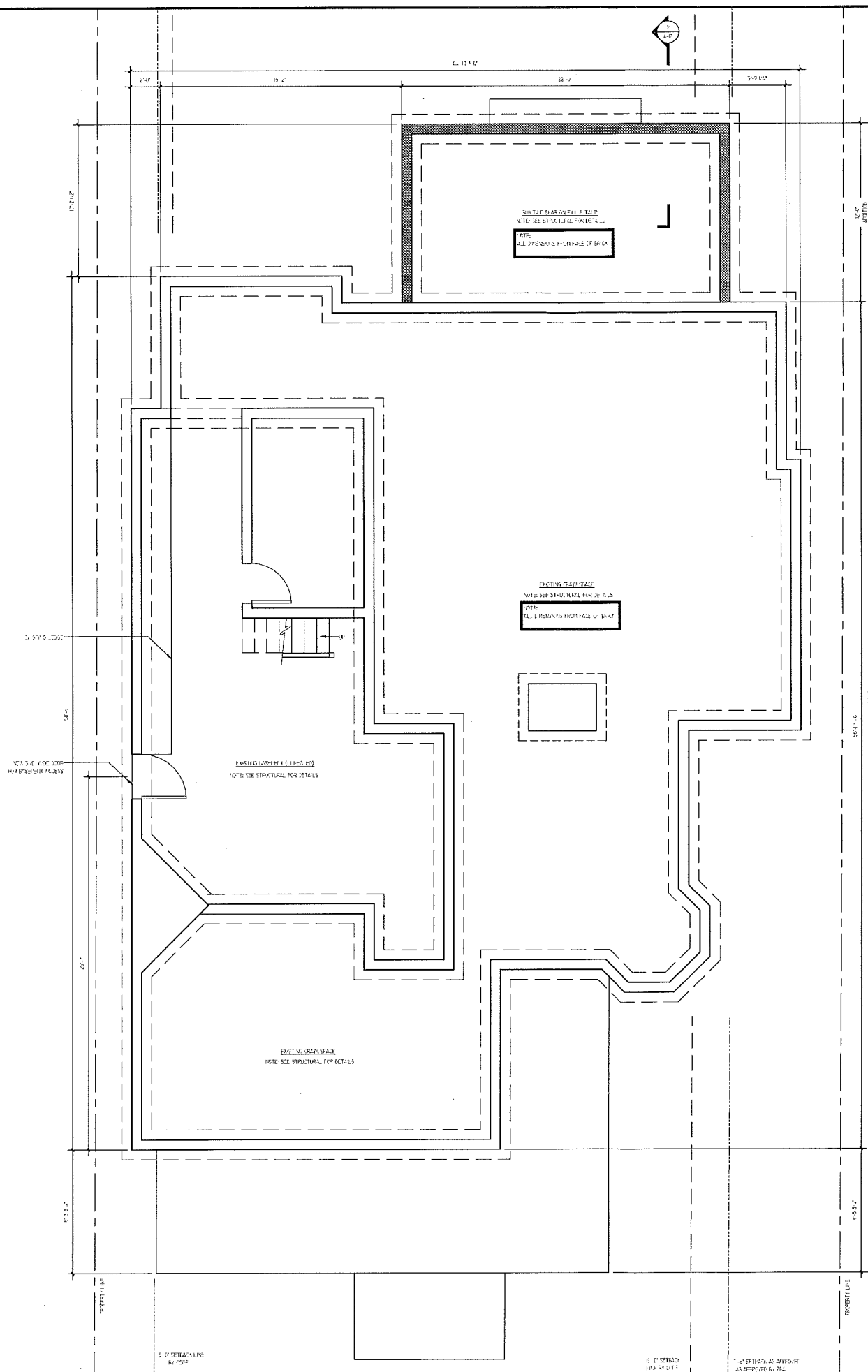
A-5

OF FIFTEEN



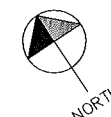
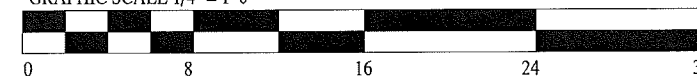
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2015-295



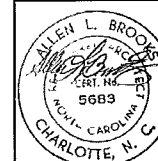
① PROPOSED FOUNDATION/BASEMENT PLAN
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



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• **Allyl**

Historic Dilworth Addition & Renovation *for* the:

RAYNOR RESIDENCE

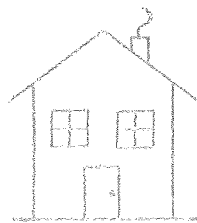
2229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. -	15082
ISSUED -	21 OCT 20
REVISIONS -	

PROPOSED PLANS

A-6

OF: FIFTEEN

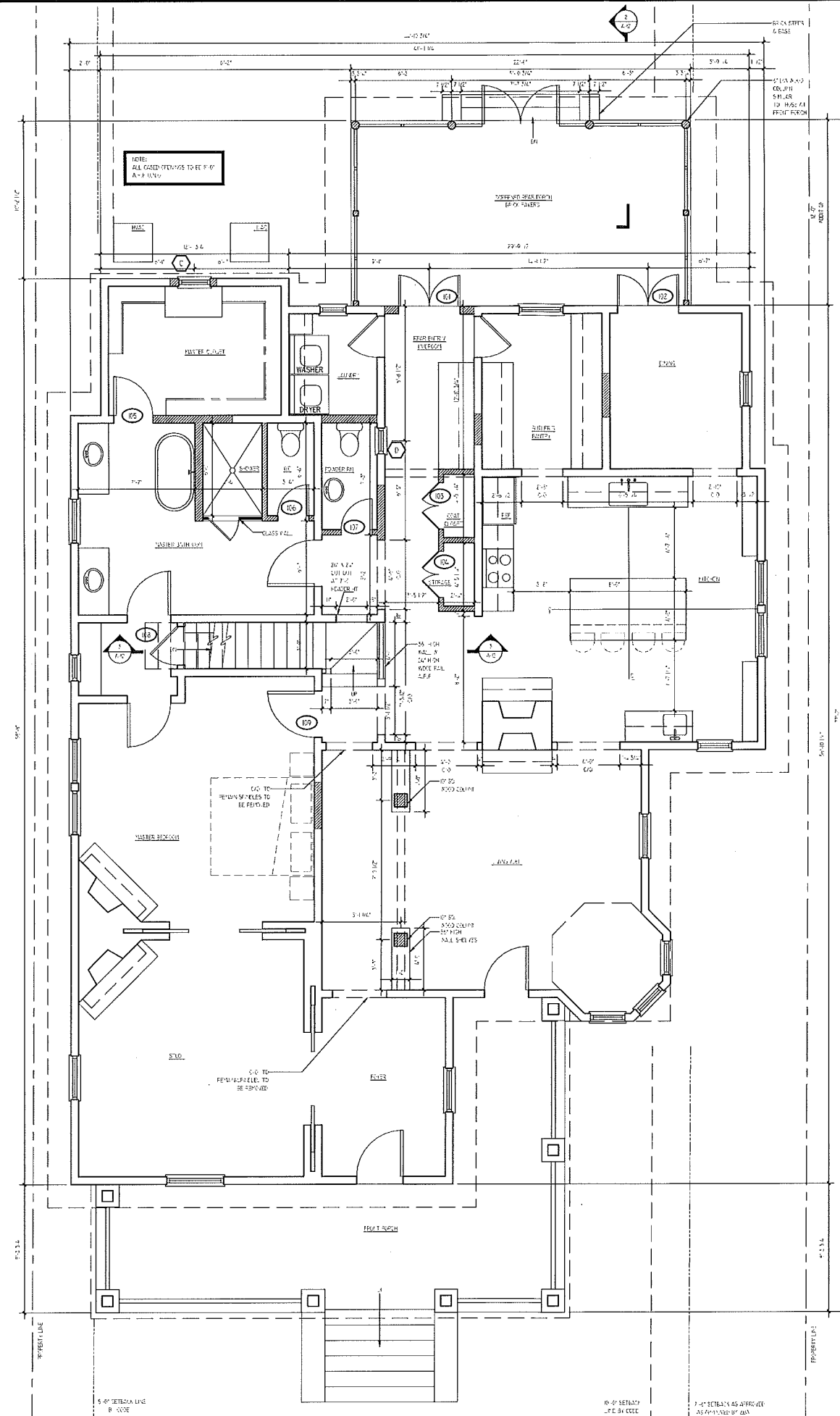


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Charlotte
Historic District
Commission

Certificate of Appropriateness

2015-235



① PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



SALVAGED WINDOW SCHEDULE		
ID	OPENING	LOCATION
SW1	2'-6" x 6'-0" (10'-0" x 6'-0" OF SHED)	BATHROOM
SW2	2'-0" x 3'-0" (10'-0" x 6'-0" OF SHED)	LIVING ROOM

SALVAGED DOOR SCHEDULE - EXISTING FIRST FLOOR		
ID	OPENING	LOCATION
SD1	2'-0" x 6'-0" (10'-0" x 6'-0" OF SHED)	ENTRY
SD2	2'-0" x 6'-0" (10'-0" x 6'-0" OF SHED)	STAIRCASE TO BASEMENT
SD3	2'-0" x 6'-0" (10'-0" x 6'-0" OF SHED)	LIVING
SD4	2'-0" x 6'-0" (10'-0" x 6'-0" OF SHED)	KITCHEN

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" x 1'-0"	1'-0" (FROM FIRST FLOOR FINISH)	CASEMENT
B	2'-0" x 1'-0"	5'-0"	CASEMENT
C	2'-0" x 1'-0"	1'-0"	CASEMENT
D	2'-0" x 1'-0"	7'-0"	CASEMENT

NOTE: WINDOW HEADERS AT 10'-0" DEEP (10'-0" x 6'-0" OF SHED) TO BE 10'-0" DEEP.

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FIRST FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
DD1	2'-0" x 6'-0"	FRONT ENTRY
DD2	2'-0" x 6'-0"	ENTRY
DD3	2'-0" x 6'-0"	ENTRY
DD4	2'-0" x 6'-0"	ENTRY
DD5	2'-0" x 6'-0"	ENTRY
DD6	2'-0" x 6'-0"	ENTRY
DD7	2'-0" x 6'-0"	ENTRY
DD8	2'-0" x 6'-0"	ENTRY
DD9	2'-0" x 6'-0"	ENTRY
DD10	2'-0" x 6'-0"	ENTRY

NEW WALLS
EXISTING WALLS
EXISTING DOORS
EXISTING WINDOWS

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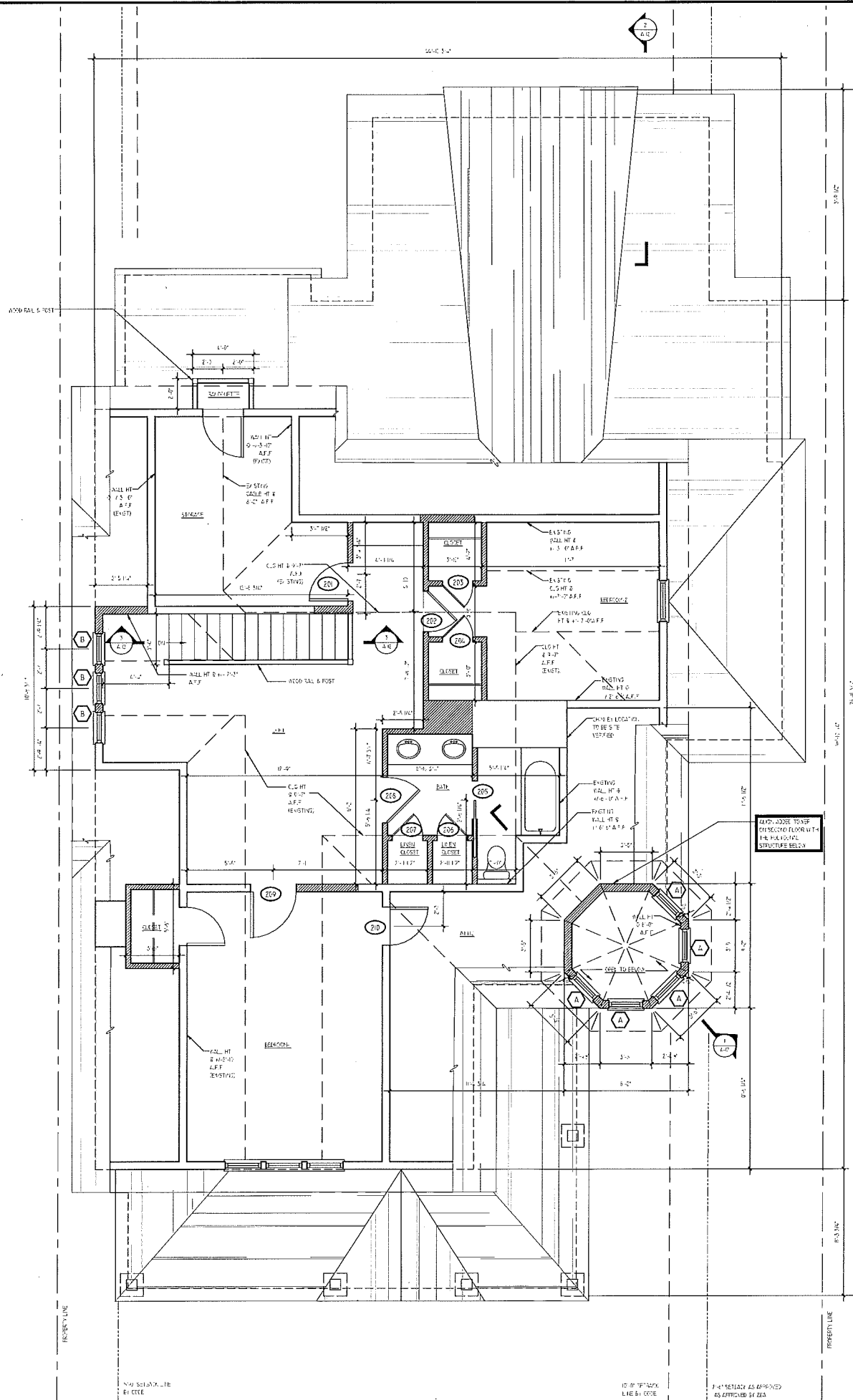
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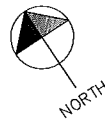
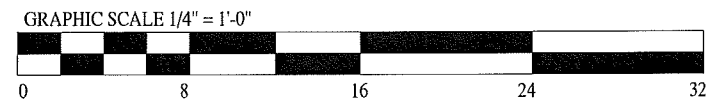
Historic Dilworth Addition & Renovation for the:
RAYNOR RESIDENCE
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO.: 15082
ISSUED: 21 OCT 2015
REVISIONS:

PROPOSED PLANS
A-7
OF FIFTEEN



① PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



SALVAGED WINDOW SCHEDULE		
ID	OPENING	LOCATION
SW1	7'-4" x 5'-2" (11'-22" AB FROM ST. 012)	BATHROOM
SW2	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	LIVING AREA

SALVAGED DOOR SCHEDULE - EXISTING FIRST FLOOR		
ID	OPENING	LOCATION
SD1	5'-0" x 7'-4" 4'-4" TREADS (11'-22" AB FROM ST. 012)	ENTRY
SD2	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	STAIRCASE TO BASEMENT
SD3	5'-0" x 7'-4" (11'-22" AB FROM ST. 012)	LIVING
SD4	5'-0" x 7'-4" (11'-22" AB FROM ST. 012)	LOBBY

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" x 1'-0"	1'-0" (11'-22" AB FROM ST. 012)	CASEMENT
B	2'-0" x 1'-0"	5'-0"	CASEMENT
C	2'-0" x 1'-0"	5'-0"	CASEMENT
D	2'-0" x 1'-0"	5'-0"	CASEMENT

NOTE: WINDOW TYPE DETAILS AT STAIRS TO BE 11'-22" AB FROM ST. 012.
NOTE: WINDOW TYPE DETAILS AT STAIRS TO BE 11'-22" AB FROM ST. 012.
NOTE: WINDOW TYPE DETAILS AT STAIRS TO BE 11'-22" AB FROM ST. 012.
NOTE: WINDOW TYPE DETAILS AT STAIRS TO BE 11'-22" AB FROM ST. 012.

SECOND FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
SD1	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	STAIRCASE
SD2	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	BATHROOM
SD3	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	CLOSET OF BEDROOM
SD4	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	CLOSET OF BEDROOM
SD5	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	BATHROOM
SD6	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	LOBBY CLOSET
SD7	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	LOBBY CLOSET
SD8	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	BATHROOM
SD9	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	STAIRCASE
SD10	2'-0" x 5'-2" (11'-22" AB FROM ST. 012)	STAIRCASE

NEW WALLS
EXISTING WALLS

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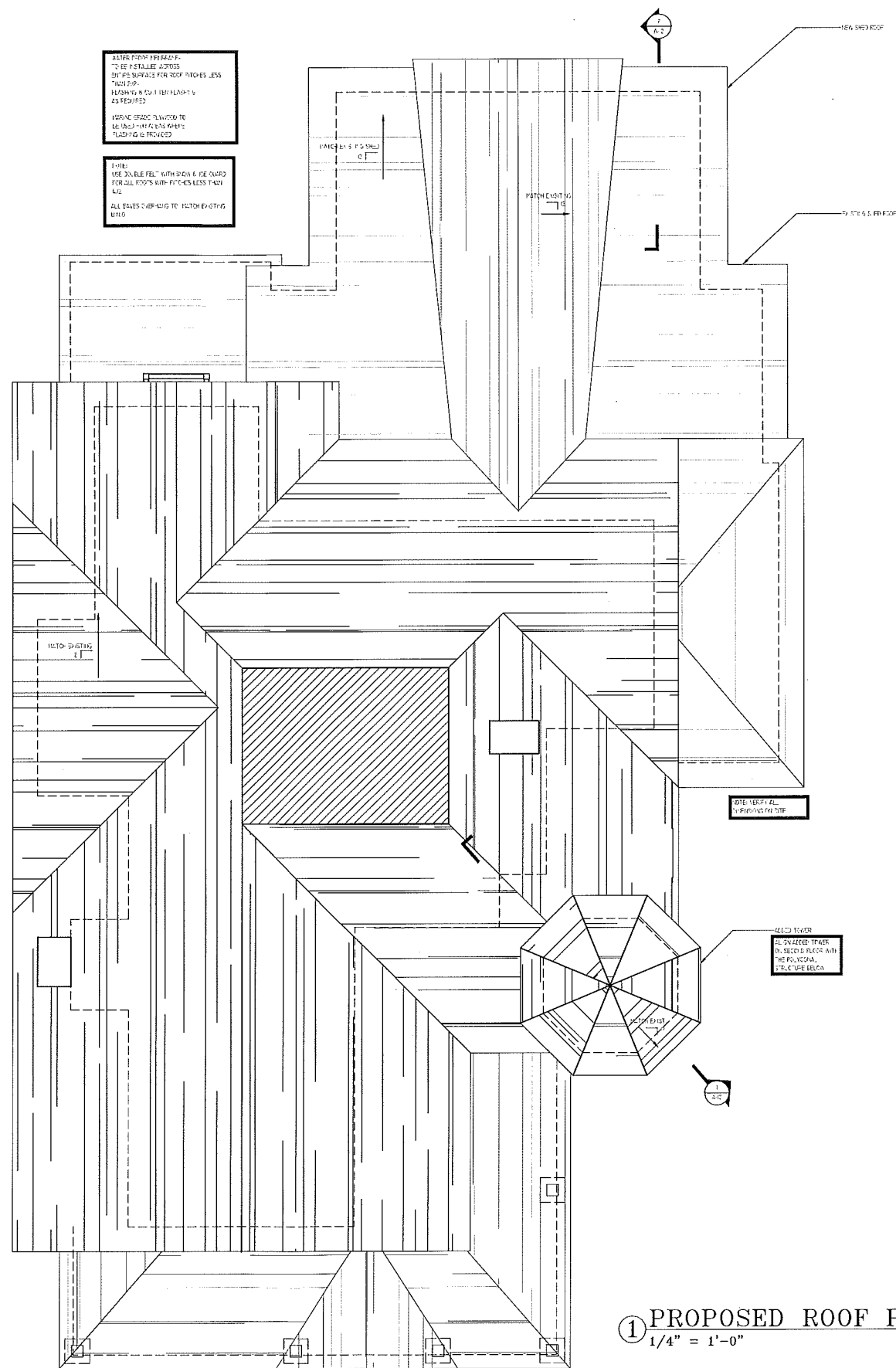
PROPOSED PLANS
A-8
OF FIFTEEN

APPROVED

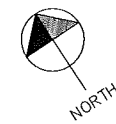
Charlotte
Historic District
Commission

Certificate of Appropriateness:

2015-235



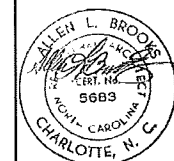
① PROPOSED ROOF PLAN
1/4" = 1'-0"



Architecture, P

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21 OCT 2015

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○ 2013년 12월 10일

Historic Dilworth Addition & Renovation for the:

RAYNOR RESIDENCE

229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. -	15082
ISSUED -	21 OCT 201
REVISIONS -	

PROPOSED PLANS

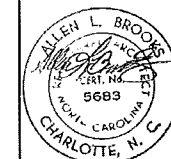
A-9

OF: FIFTEEN



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Historic Dilworth Addition & Renovation for the:

RAYNOR RESIDENCE

229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
ISSUED - 21 OCT 2015
REVISIONS -

PROPOSED ELEVATIONS

A-10

OF: FIFTEEN

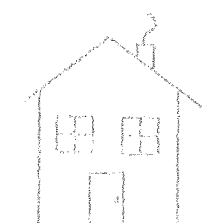


② PROPOSED CLEVELAND SIDE ELEVATION
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"

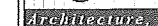


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Quinn

2229 East Worthington Avenue, Charlotte, NC 28203

PROPOSED ELEVATIONS

OF: FIFTEEN

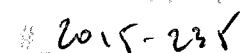


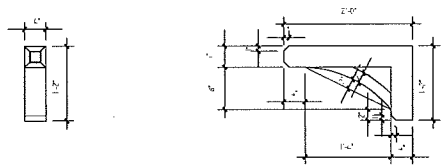
TIME:
USE DOUBLE FELT WITH SNOWS REG
FOR ALL FEET & HALF THICKNESS TO
4/2

ALL LEAVES OVERHUNG TO MATCHES
U.P.O

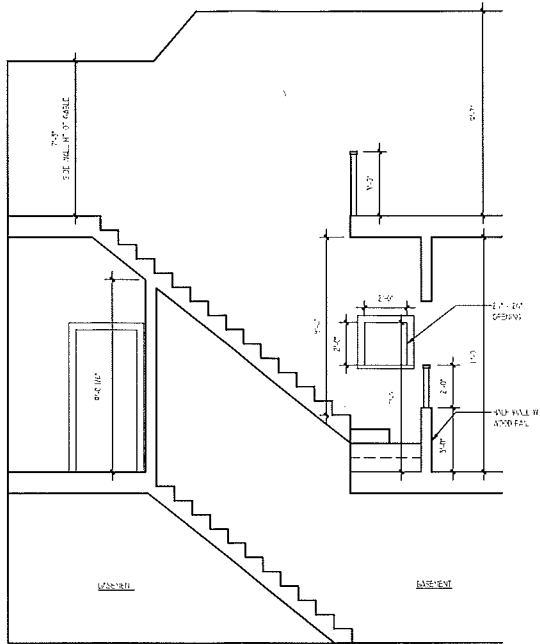


GRAPHIC SCALE 1/4" = 1'-0"

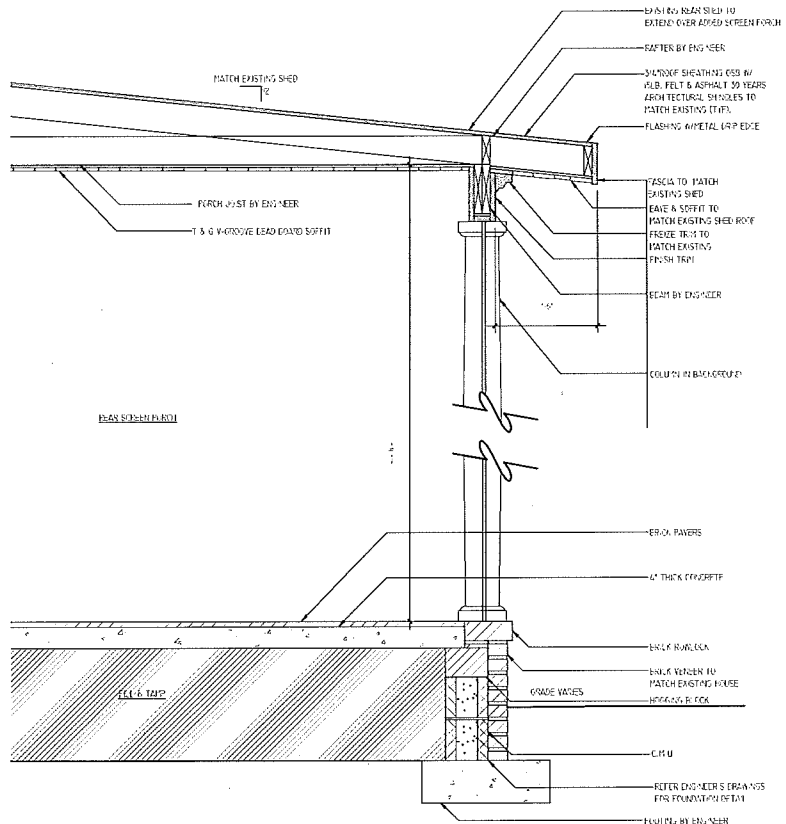




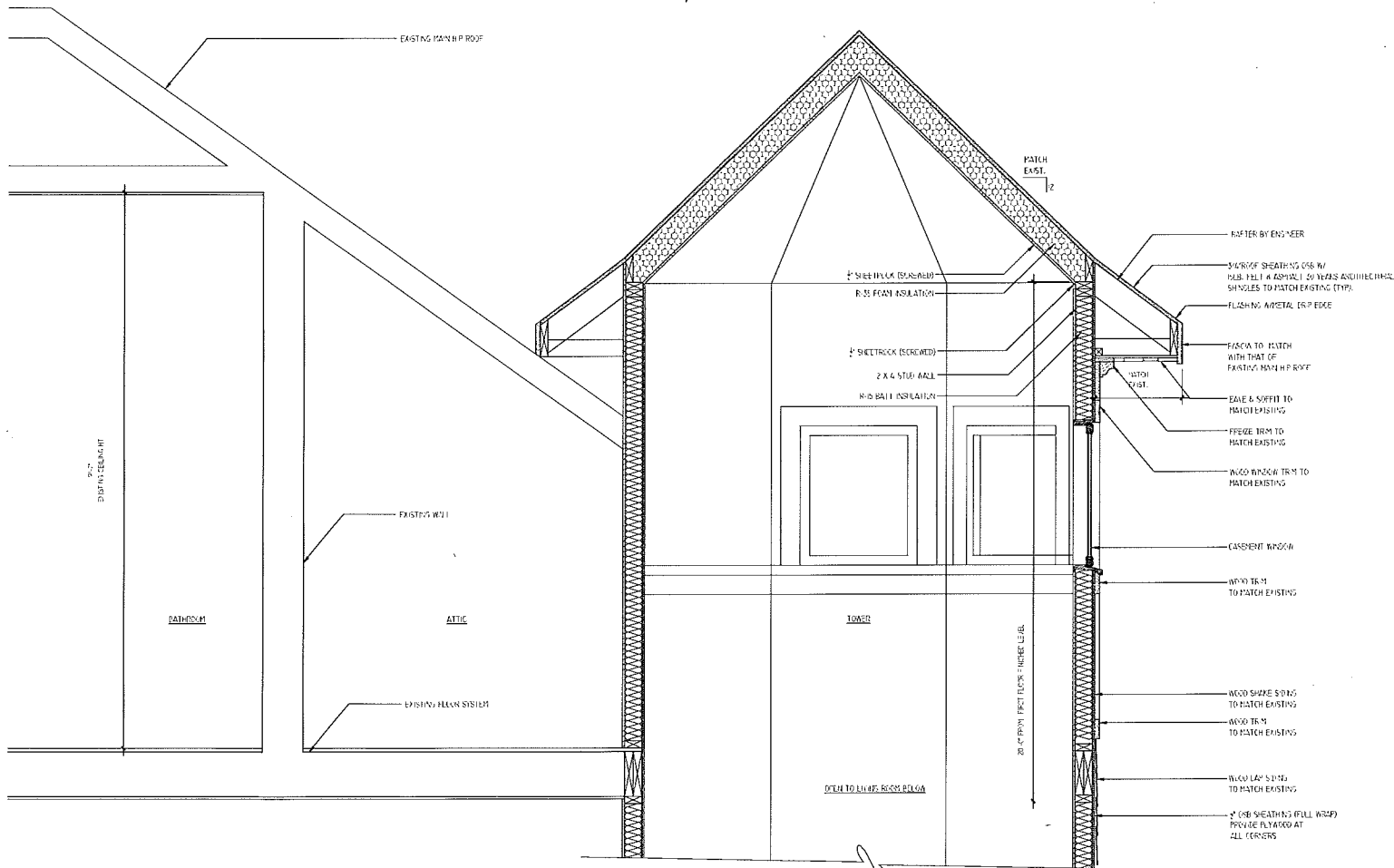
④ WOOD BRACKET DETAIL
3/4" = 1'-0"



③ SECTION THROUGH STAIRCASE
1/4" = 1'-0"

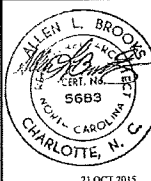


② SECTION THROUGH SCREENPORCH
1/4" = 1'-0"



① SECTION THROUGH ADDED TOWER
3/4" = 1'-0"

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Historic Dilworth Addition & Renovation for the:
RAYNOR RESIDENCE
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO.: 15082
ISSUED: 21 OCT 2015
REVISIONS:

SECTIONS & DETAILS
A-12
OF: FIFTEEN

ZONING: B1
CURRENT USE: RESIDENTIAL
PROPOSED USE: RESIDENCE WITH OFFICE
BUILDING

ZONING BOARD OF ADJUSTMENT
VARIANCE # 2015-020

HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS # 2015-080



VICINITY MAP



NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

INDEX OF DRAWINGS

- A-0 Cover Sheet
- APB Appendix 'B'
- A-1 Site Plan
- A-2 Parking Spaces
- A-3 Proposed Plans
- A-4 Egress & Refelected Ceiling Plans
- A-5 Proposed Elevations
- A-6 Building Sections & Details
- A-7 1 Hr Rated Wall Assembly
- A-8 ADA Notes & Details
- P-0.1 Plumbing Schedule
- P-0.2 Plumbing Details
- P-1.0 Plumbing Floor Plans
- M-0.1 Mechanical Schedule
- M-1.0 Mechanical Floor Plans
- E-0.1 Electrical Schedule
- E-1.0 Electrical Floor Plans
- SGN Structural General Notes
- SD1 Structural Details
- S1 Structural Plans



SQUARE FOOTAGE CALCULATIONS OF OFFICE BUILDING

	Heated	Unheated
Proposed First Floor:	484 S.F.	0 S.F.
Existing Second Floor:	410 S.F.	0 S.F.
Total Under Roof :	894 S.F.	

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ALLEN L. BROOKS
REGISTERED ARCHITECT
5563
NORTH CAROLINA
CHARLOTTE, N. C.
12 MAY 2016

ALB Architecture, P.A.
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RAYNOR - OFFICE BUILDING
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
ISSUED - 12 MAY 2016
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COVER SHEET

A-0

OF: TEN



② ARIEL VIEW OF SITE
N.T.S

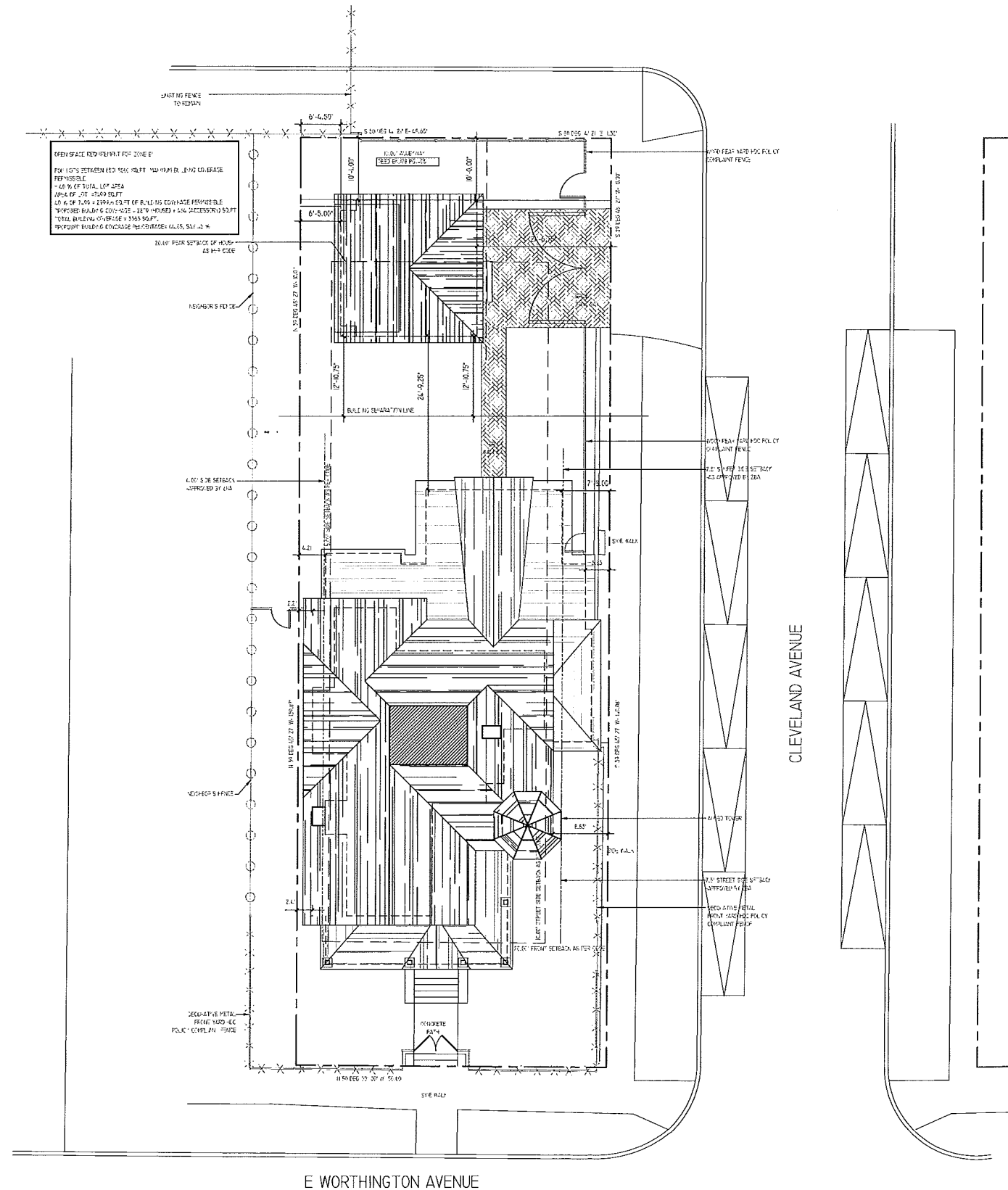


PARKING SPACES REQUIRED
(PER CITY OF CHARLOTTE ZONING ORDINANCE,
SECTION 10.907)

FOR OFFICE- MAXIMUM 1 PARKING SPACE PER 300
SQUARE FOOT OF OFFICE SPACE
FOR OFFICE SPACE GROSS AREA= 797 SQ.FT
SO REQUIRED PARKING SPACE FOR OFFICE = 2.66

FOR RESIDENTIAL- MAXIMUM OF 1.6 PARKING PER
DWELLING UNIT FOR B1 ZONING

SO, TOTAL PARKING REQUIRED = 2.66 + 1.6 = 4.2
TOTAL PARKING PROVIDED = 5

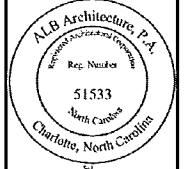


① PROPOSED SITE PLAN SHOWING PARKING
1" = 10'-0"



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Historic Dilworth Addition & Renovation for the:

RAYNOR -OFFICE BUILDING

229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
ISSUED - 12 MAY 2016
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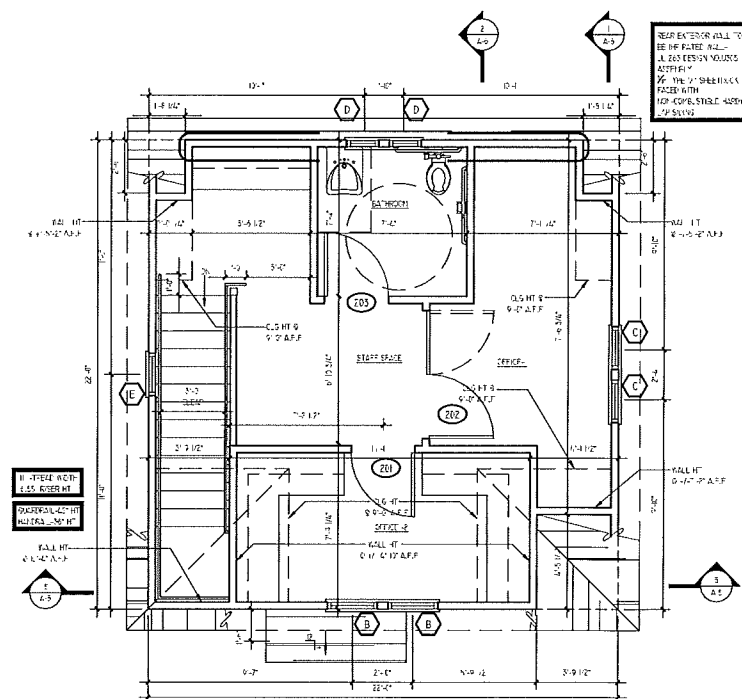
PARKING SPACES

A-2

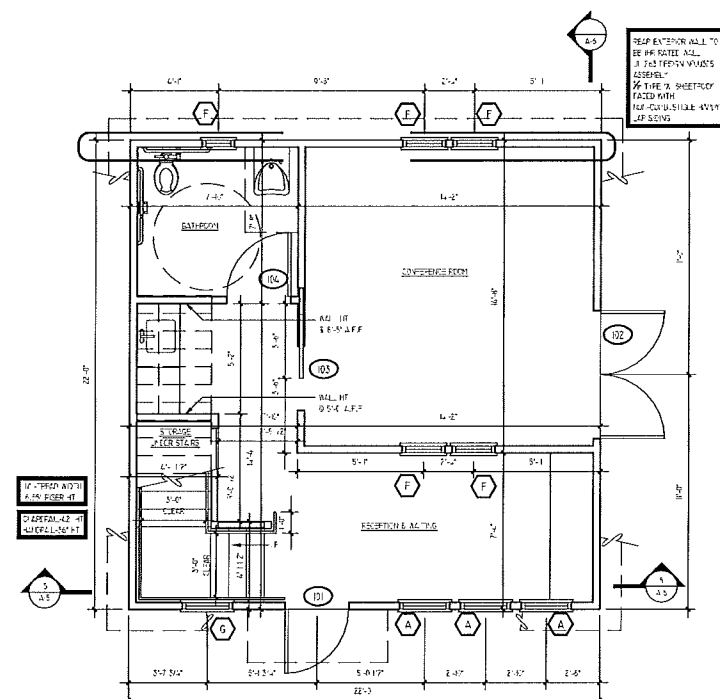
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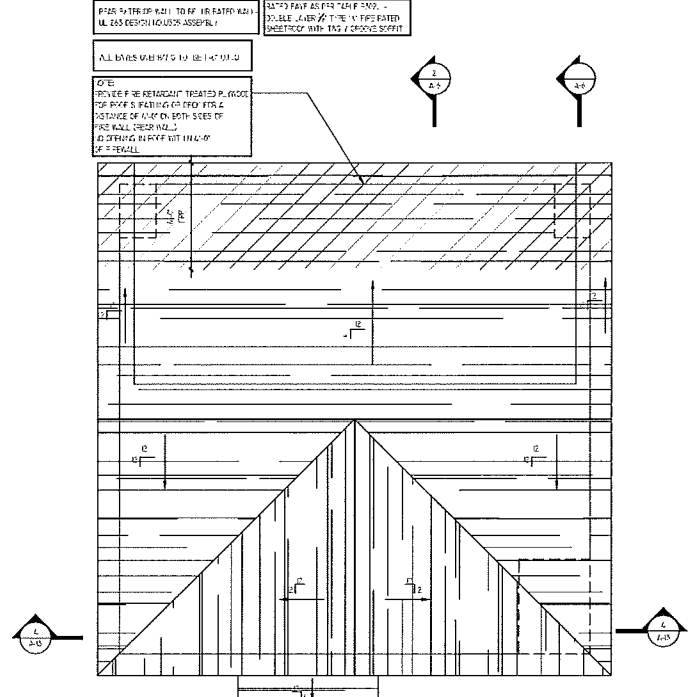
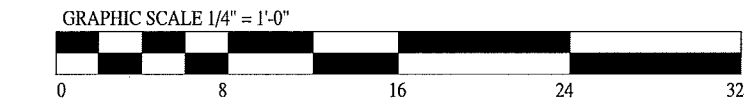
④ SECTION SHOWING SINK UNDER STAIRS
1/4" = 1'-0"



② PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



① PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



③ PROPOSED ROOF PLAN
1/4" = 1'-0"

WINDOW SCHEDULE			
NO.	SIZE	HEIGHT	TYPE
A	2'-0" x 3'-0"	2'-0"	DOUBLE HUNG
B	2'-0" x 3'-0"	2'-0"	DOUBLE HUNG
C	3'-0" x 4'-0"	7'-0"	PICTURE WINDOW
D	1'-0" x 3'-0"	7'-0"	PICTURE WINDOW
E	2'-0" x 3'-0"	7'-0"	PICTURE WINDOW
F	2'-0" x 3'-0"	7'-0"	PICTURE WINDOW
G	2'-0" x 3'-0"	7'-0"	PICTURE WINDOW

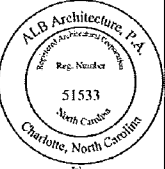
- NOTES:
1. MATCH WITH DETAILS WITH METAL ROOF CAP FLASHING ON BACKS AND FROM AT WINDOWS.
 2. SEE DETAILS FOR PLUMBING AND ELECTRICAL FOR ROOF DRAINAGE OR TERRAZZO FLOOR.
 3. ALL WINDOWS WITH 9" OF GLASS OR MORE & LESS THAN 8" AT 1" MUST BE IMPROVED.
 4. PROVIDE FALL PROTECTION WHERE THE RAMP IS LESS THAN 24" ABOVE A.F.F. OR GREATER THAN 12" ABOVE A.F.F. OR GREATER THAN 12" ABOVE A.F.F.
 5. PROVIDE FALL PROTECTION WHERE THE RAMP IS LESS THAN 24" ABOVE A.F.F. OR GREATER THAN 12" ABOVE A.F.F. OR GREATER THAN 12" ABOVE A.F.F.

FIRST FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
101	3'-0" x 4'-0"	REAR ENTRY
102	3'-0" x 4'-0"	REAR ENTRY
103	3'-0" x 4'-0"	CONFERENCE ROOM
104	3'-0" x 4'-0"	ACCESSIBLE BATHROOM

SECOND FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
201	3'-0" x 4'-0"	OFFICE
202	3'-0" x 4'-0"	OFFICE
203	3'-0" x 4'-0"	ACCESSIBLE BATHROOM



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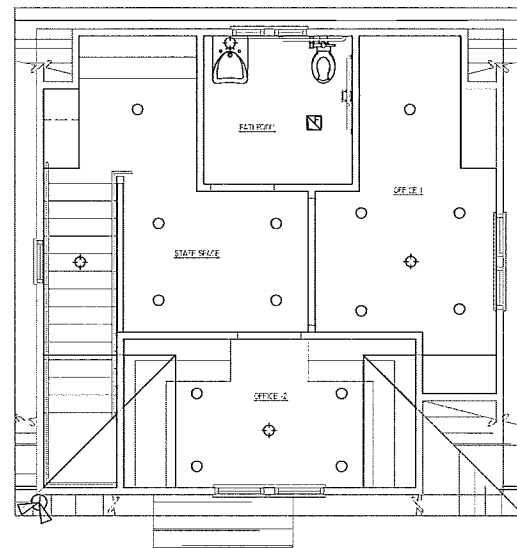
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Historic Dilworth Addition & Renovation for the:
RAYNOR - OFFICE BUILDING
229 East Worthington Avenue, Charlotte, NC 28203

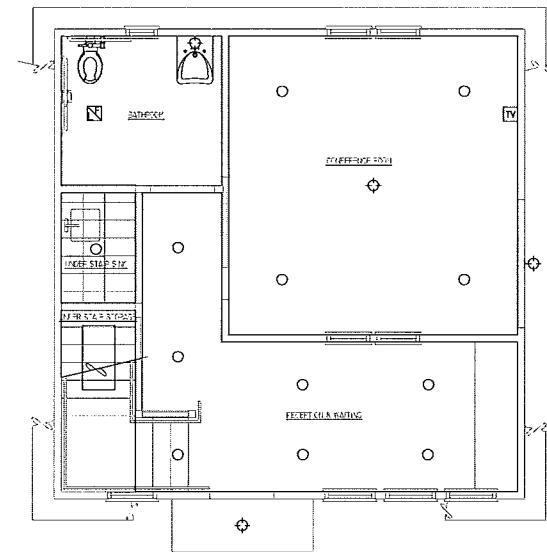
PROJ. NO. - 15082
ISSUED - 12 MAY 2016
REVISIONS -

PROPOSED PLANS

A-3
OF: TEN



④ SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



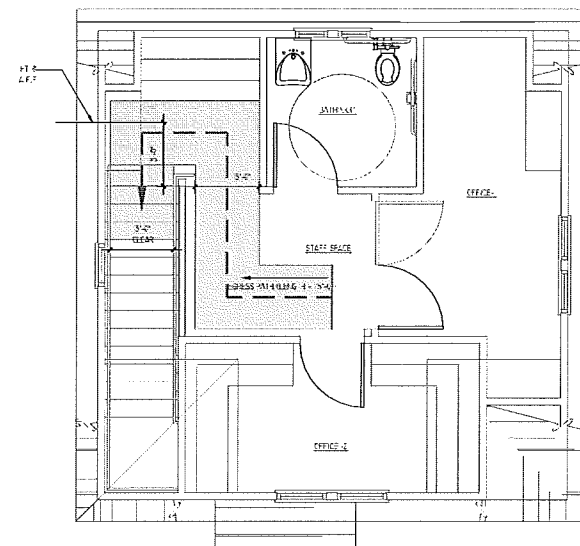
③ FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

FIRST FLOOR ROOM FINISH SCHEDULE					
SPACE	FLOOR	BASE	WALLS	CEILING	
				MATERIAL	HEIGHT
Reception & Waiting	Concrete-Stained & sealed	Wood Base	Painted Sheetrock	Sheetrock	9'-0"
Bathroom	Concrete-Stained & Sealed	Wood Base	Gyp. board painted w/ Ceramic Tile to 4'-0"	Sheetrock	9'-0"
Conference	Concrete-Stained & Sealed	Wood Base	Painted Sheetrock	Sheetrock	9'-0"

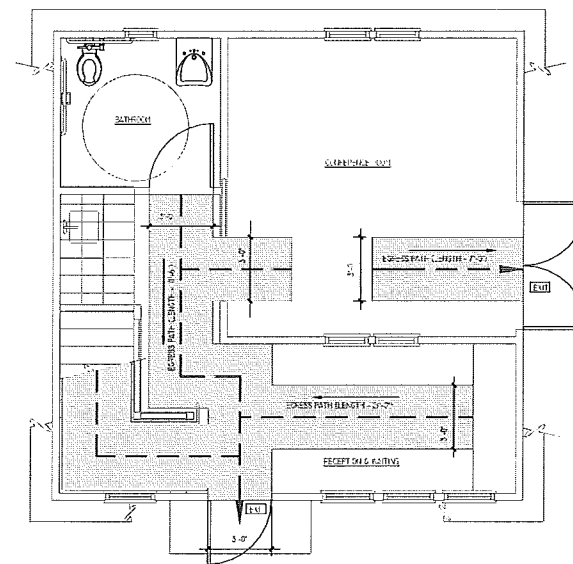
*NOTE: ALL FINISHES SELECTED BY OWNER

SECOND FLOOR ROOM FINISH SCHEDULE					
SPACE	FLOOR	BASE	WALLS	CEILING	
				MATERIAL	HEIGHT
Office-1	Hardwood	Wood Base	Painted Sheetrock	Sheetrock	9'-0"
Office-2	Hardwood	Wood Base	Painted Sheetrock	Sheetrock	Varies
Staff Space	Hardwood	Wood Base	Painted Sheetrock	Sheetrock	9'-0"
Bathroom	Ceramic Tile	Wood Base	Gyp. BD Painted w/ Ceramic Tile to 4'-0"	Sheetrock	9'-0"

*NOTE: ALL FINISHES SELECTED BY OWNER



② SECOND FLOOR EGRESS PLAN
1/4" = 1'-0"



① FIRST FLOOR EGRESS PLAN
1/4" = 1'-0"

EXIT WIDTH CALCULATIONS -	
OCCUPANT LOAD ON FIRST FLOOR- 5	
REQUIRED STAIR WIDTH- 5 X 0.5=	1.5'
ACTUAL CLEAR STAIR WIDTH =	36"
REQUIRED LEVEL EXIT WIDTH= 5 X 0.2=	1'
ACTUAL LEVEL EXIT WIDTH =	36"
OCCUPANT LOAD ON SECOND FLOOR- 4	
REQUIRED STAIR WIDTH- 4 X 0.3 =	1.2'
ACTUAL CLEAR STAIR WIDTH =	36"
REQUIRED LEVEL EXIT WIDTH = 4 X 0.2 =	0.8'
ACTUAL LEVEL EXIT WIDTH =	36"

TOTAL OCCUPANT LOAD CALCULATIONS -	
GROSS FIRST FLOOR AREA- 455 SQ.FT.	
GROSS SECOND FLOOR AREA- 430 SQ.FT.	
TOTAL GROSS AREA- 885 SQ.FT.	
OCCUPANT LOAD FOR OFFICE SPACE = 100 GROSS SQ.	
SO, TOTAL NUMBER OF OCCUPANTS = 8.85	
THAT IS, 9 OCCUPANTS	

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Allen Brooks
Charlotte, North Carolina

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Historic Dilworth Addition & Renovation for the:
RAYNOR -OFFICE BUILDING
229 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 15082
INSURED - 12 MAY 2016
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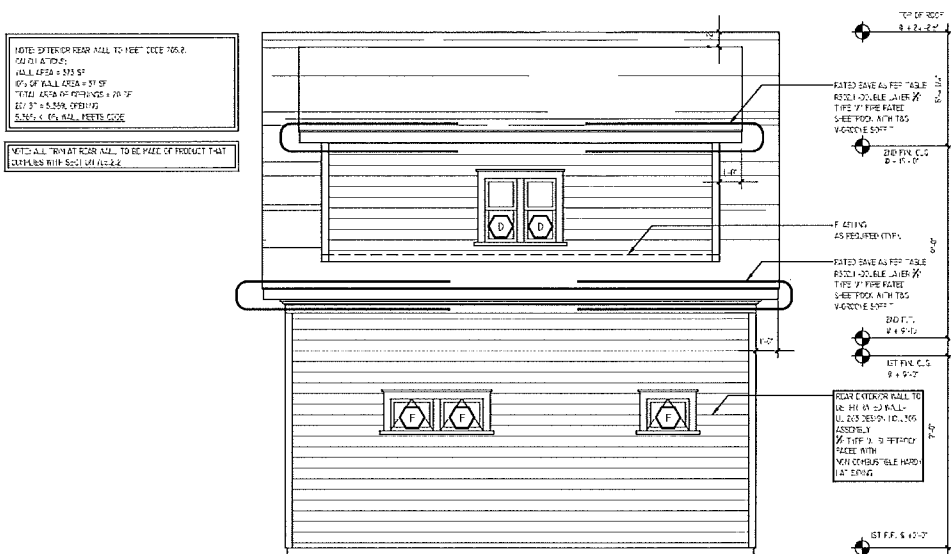
EGRESS /REFLECTED CEILING PLAN

A-4
OF: TEN

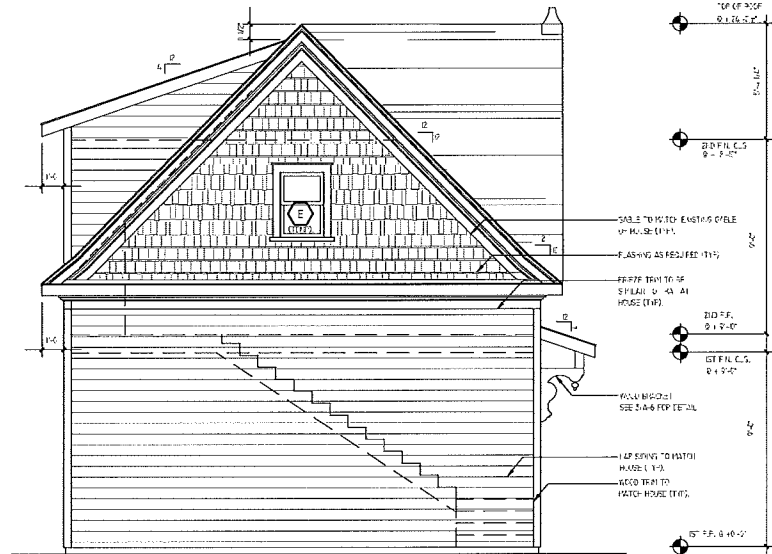


WINDOW SCHEDULE			
ID	SIZE	HEIGHT (FEET)	TYPE
A	2'-0" x 5'-0"	7'-0"	DOUBLE HUNG
B	1'-0" x 5'-0"	7'-0"	DOUBLE HUNG
C	2'-0" x 4'-0"	7'-0"	DOUBLE HUNG
D	1'-0" x 3'-0"	7'-0"	DOUBLE HUNG
E	2'-0" x 5'-0"	7'-0"	DOUBLE HUNG
F	2'-0" x 1'-0"	7'-0"	AWNED
G	2'-0" x 2'-0" x 1'-0"	8'-0"	AWNED

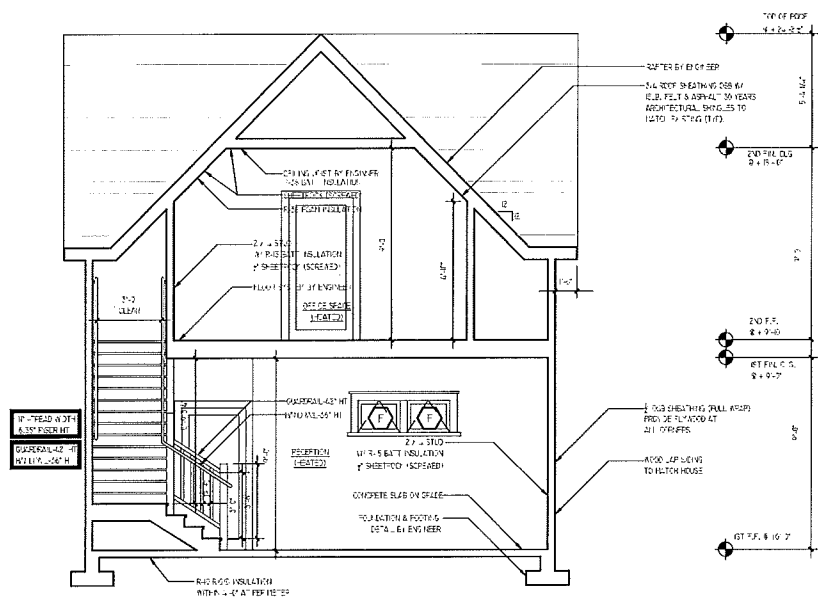
- NOTES:
1. WINDOW TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING & BACK BAND TRIM AT WINDOWS.
 2. SUBMITTALS FOR PLATING FLASHING: 1/2" x 1/2" x 1/2" ALUMINUM FLASHING FOR EXTERIOR OR TYPED GLASS.
 3. ALL FLASHING TO BE 1/2" x 1/2" x 1/2" ALUMINUM FLASHING OR 1/2" x 1/2" x 1/2" TYPED GLASS.
 4. WINDOW FLASHING PROTECT THE WINDOW GLASS FROM DAMAGE & PREVENT WATER INTRUSION.
 5. WINDOW FLASHING SHALL BE 1/2" x 1/2" x 1/2" ALUMINUM FLASHING OR 1/2" x 1/2" x 1/2" TYPED GLASS.



④ REAR ELEVATION
1/4" = 1'-0"



③ LEFT SIDE ELEVATION (HOUSE FACING)
1/4" = 1'-0"



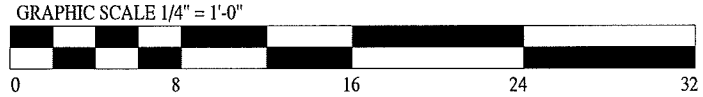
⑤ SECTION THROUGH RECEPTION & STAIRS
1/4" = 1'-0"



② RIGHT SIDE ELEVATION (ALLEY FACING)
1/4" = 1'-0"



① FRONT ELEVATION (CLEVELAND AVENUE FACING)
1/4" = 1'-0"



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12 MAY 2016

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INSURED - 12 MAY 2016
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PROPOSED ELEVATIONS

A-5
OF: TEN

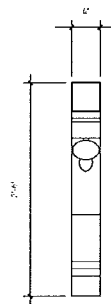


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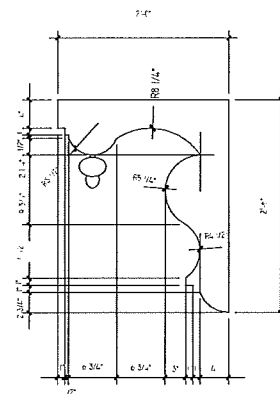
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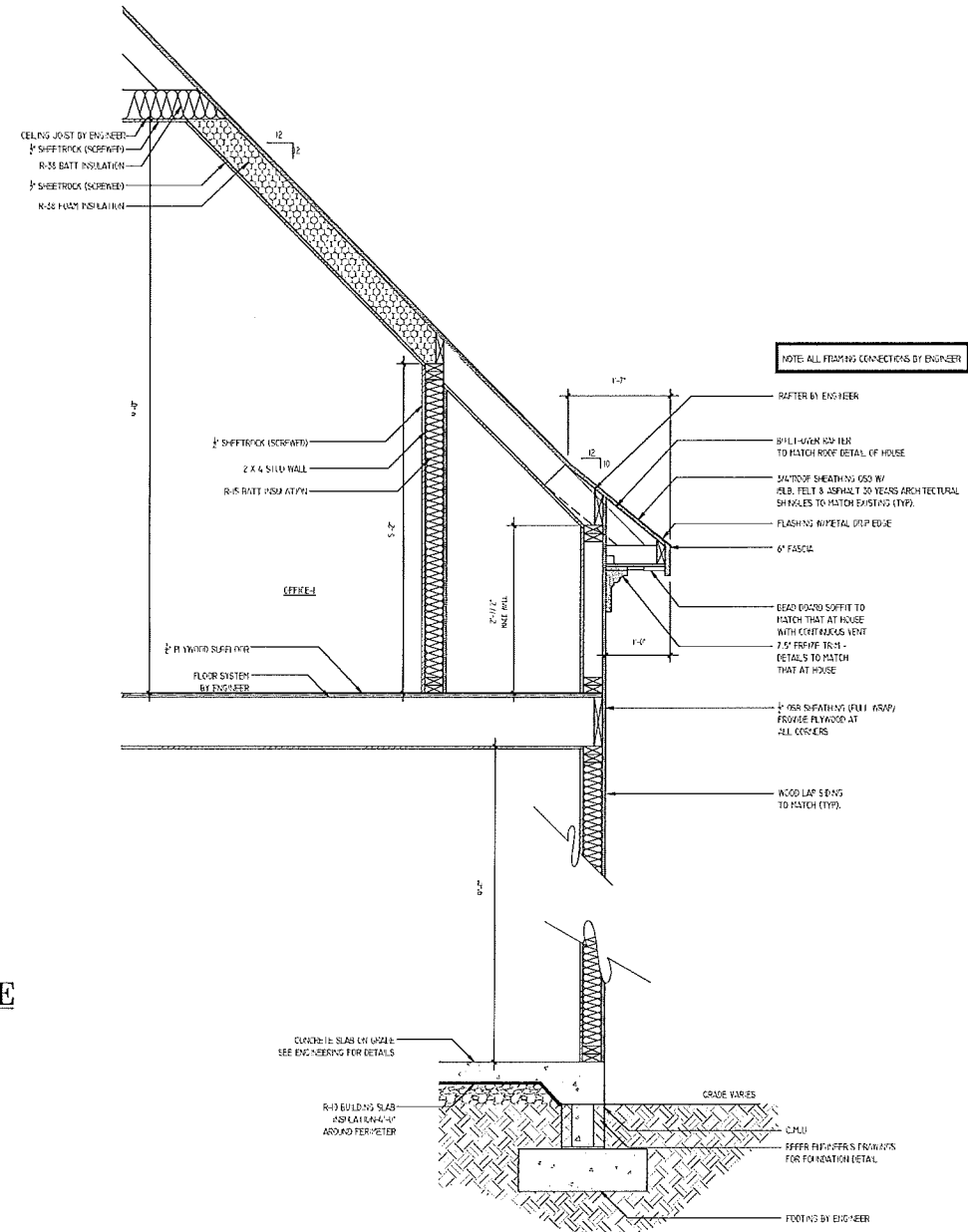
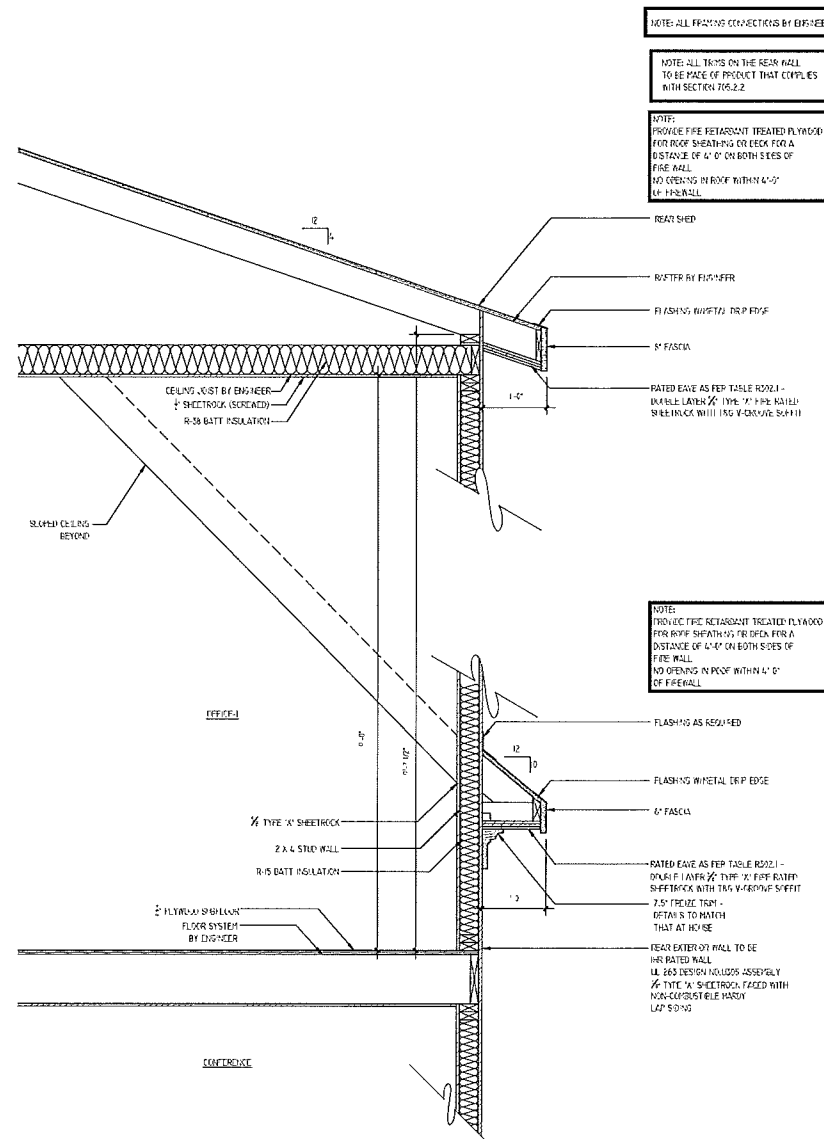
2015-235 (A)



③ WOOD BRACKET DETAIL
1" = 1'-0"



② PARTIAL SECTION THROUGH MAIN GABLE
3/4" = 1'-0"

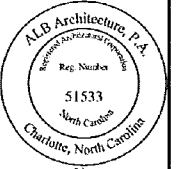
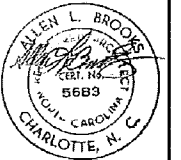


① PARTIAL SECTION THROUGH MAIN GABLE
3/4" = 1'-0"



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PROPOSED ELEVATIONS

A-6

OF: TEN