



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2015-209

DATE: October 16, 2015

ADDRESS OF PROPERTY: 715 East Worthington Avenue

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER:

OWNER(S): Matthew and Virginia Faircloth (Allen Brooks, applicant)

DETAILS OF APPROVED PROJECT: The proposal is the addition of a cross gable dormer toward the rear of the house and rear first floor addition. The height of the new gable is approximately 2 feet taller than the existing ridge. Window design and trim, exterior materials (wood siding), soffit design and other architectural details will compliment or match existing. Any new mechanical units will be located in the rear yard or screened if located in the side yard.

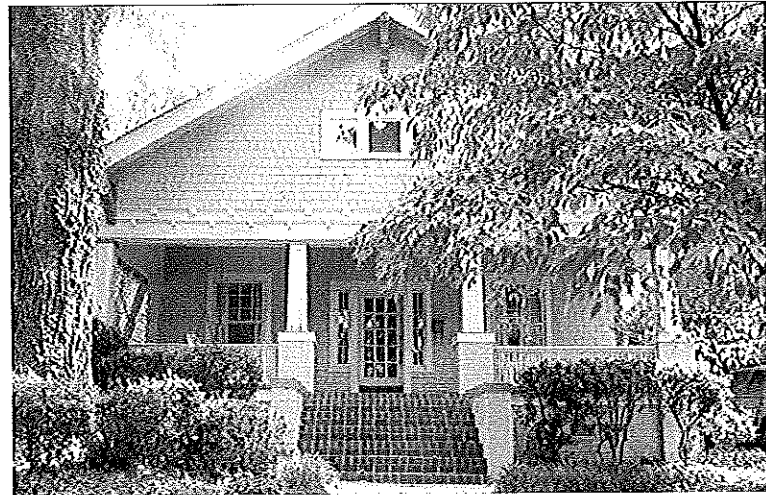
The project was approved by the HDC October 14, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff



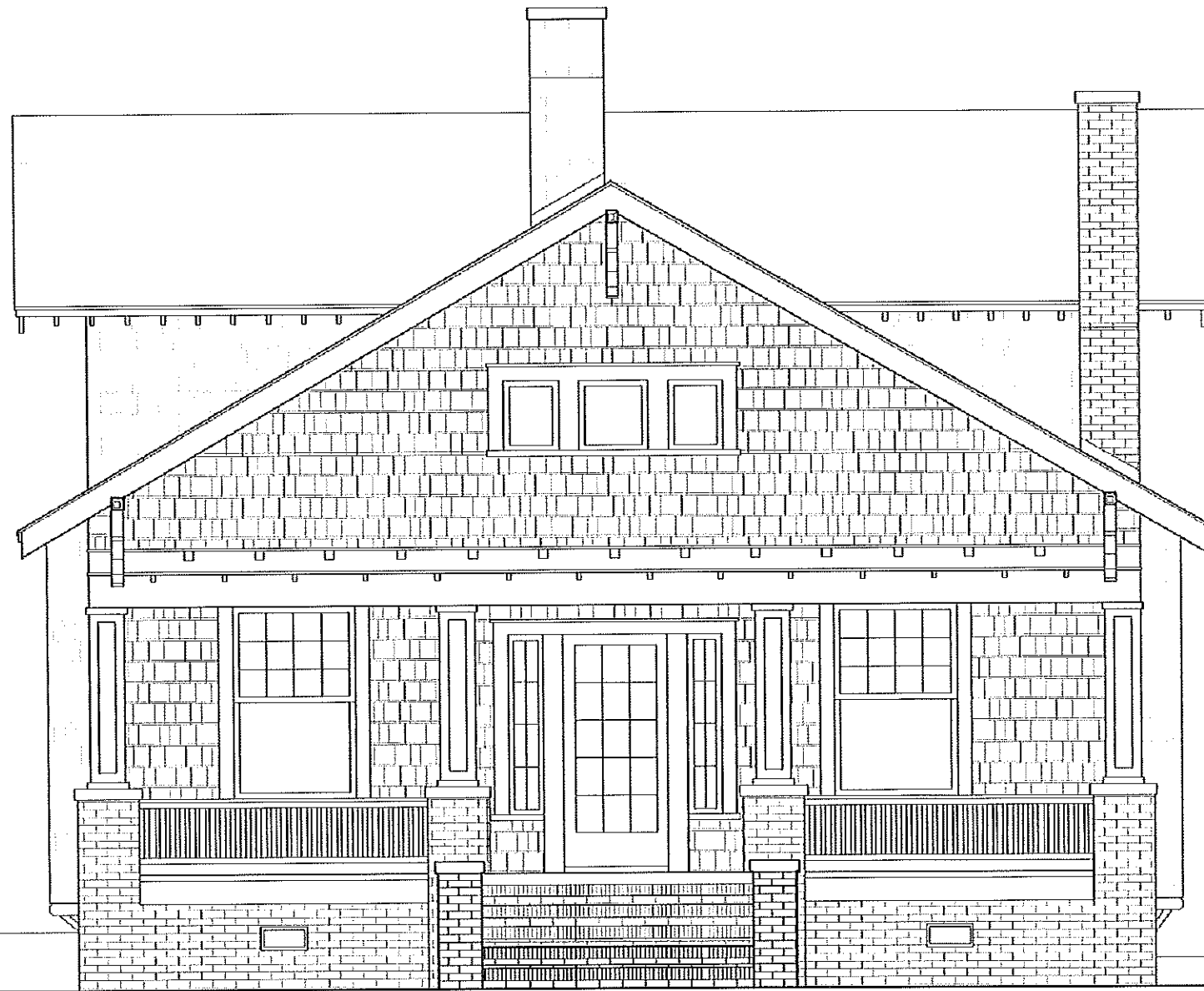
EXISTING HOUSE



715 E Worthington Ave

E Worthington Ave

VICINITY MAP



INDEX OF DRAWINGS

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A-9 Proposed Elevations



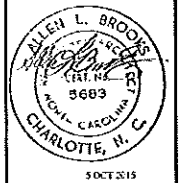
SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing First Floor:	1,452 S.F.	307 S.F.
Existing Second Floor:	474 S.F.	0 S.F.
	+	+
Proposed First Floor:	239 S.F.	0 S.F.
Proposed Second Floor:	501 S.F.	0 S.F.
Total:	2,666 S.F.	307 S.F.
Total Under Roof:	2,973 S.F.	

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.



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04/2015

Historic Dilworth Addition & Renovation for the:

FAIRCLOTH RESIDENCE

715 E. Worthington Avenue, Charlotte, NC 28203

PROJ. NO. 1506
ISSUED 5 OCT 2015
REVISED 15 OCT 2015

COVER SHEET

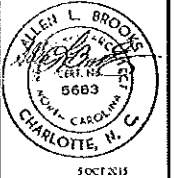
A-0

OF TEN



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0 1/8" = 1' - 0"

Historic Dilworth Addition & Renovation for the:

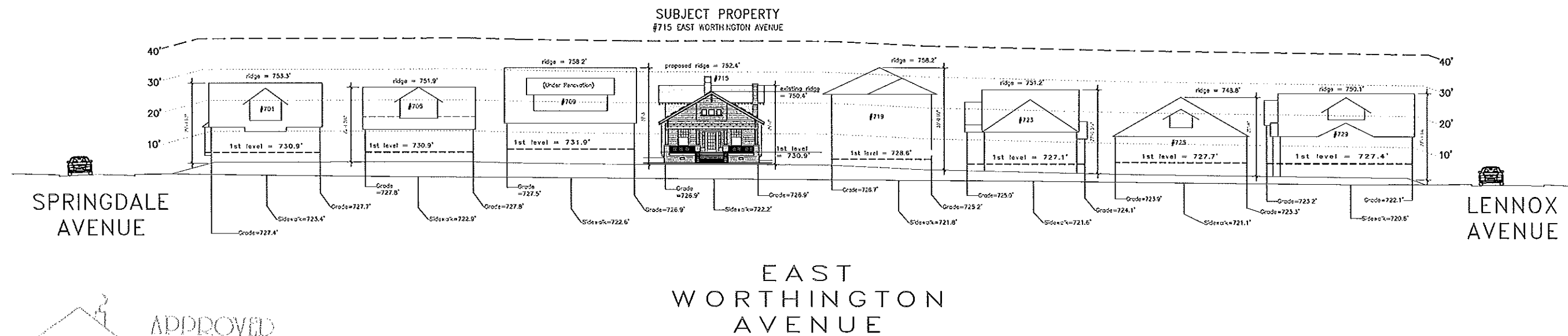
FAIRCLOTH RESIDENCE

715 E. Worthington Avenue, Charlotte, NC 28203

PROJ. NO. 15046
ISSUED - 5 OCT 2015
REVISIONS - 15 OCT 2015

STREET SCAPE

OF TEN



STREET SCAPE
1/16" = 1'-0"
0 1/8" = 1' - 0"

XXXX
DATE TO BE REVIEWED

AB
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5 OCT 2015

14
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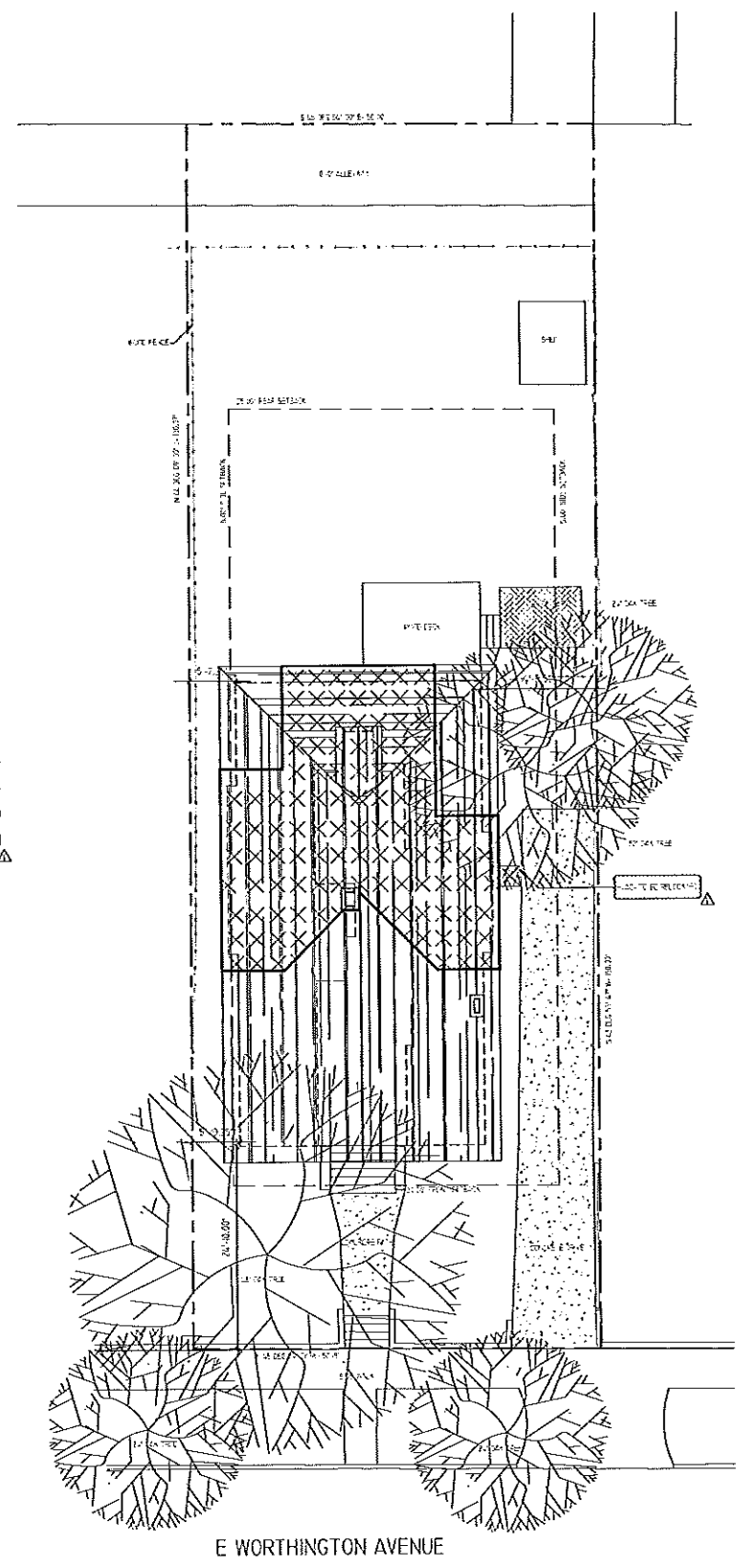
Historic Dilworth Addition & Renovation for the:
FARCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

PROJ NO.: 1506
ISSUED: 5 OCT 2015
REVISION:

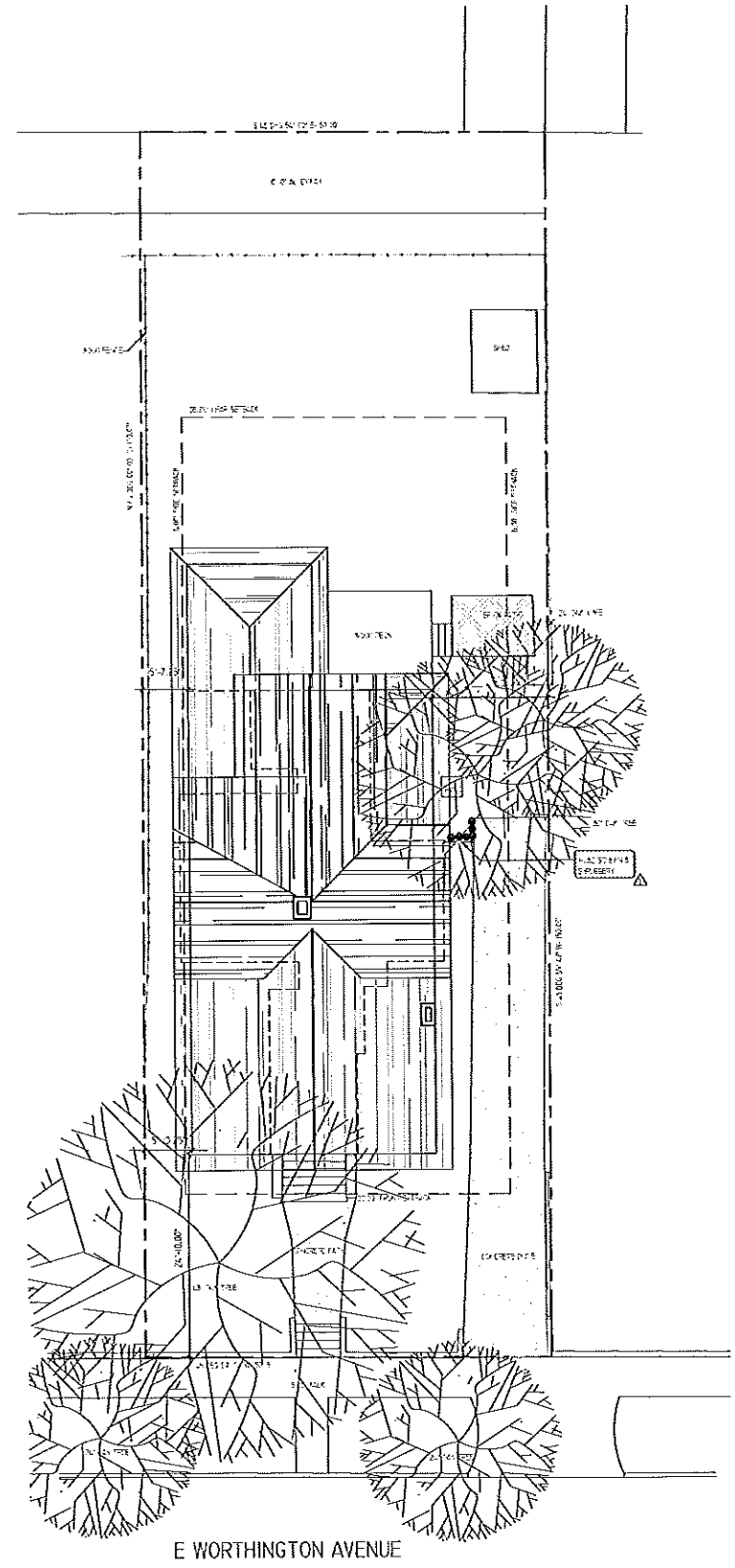
EXISTING & PROPOSED SITE
PLANS
A-1
OF TEN

RESIDENCE CALCULATIONS	
TOTAL EXISTING HEATED AREA	1926
TOTAL PROPOSED HEATED AREA	524
PROPOSED UNHEATED	
SCREENED PORCH	0
GARAGE	0
POOL	0
PATIO	0
SHOP	0
TOTAL	0
PERMEABILITY CALCULATIONS	
EXISTING REAR YARD AREA	2922
PROPOSED HOUSE ADDITION	239
WOOD DECK	184
SHOP	83
AREA OF IMPERVIOUS PAVING	0
BRICK PATIO	75
TOTAL AREA	581
PERCENTAGE OF PERMEABLE	80%
OPEN SPACE CALCULATIONS	
TOTAL AREA OF SITE	7516
FOOTPRINT OF HOUSE	2136
FOOTPRINT OF SHOP	83
FOOTPRINT OF GARAGE	0
TOTAL AREA	2219
PERCENTAGE OF OPEN SPACE	70%

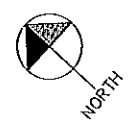
③ PERMEABILITY CALCULATIONS



② EXISTING SITE PLAN
1" = 10'-0"
GRAPHIC SCALE 1" = 10'-0"
0 8 16 24 32



① PROPOSED SITE PLAN
1" = 10'-0"
GRAPHIC SCALE 1" = 10'-0"
0 8 16 24 32



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2015-209

XXXX

SALVAGED DOOR SCHEDULE - EXISTING FIRST FLOOR		
QTY	DESCRIPTION	LOCATION
1	DOOR	EXISTING
1	DOOR	EXISTING
1	DOOR	EXISTING

SALVAGED WINDOW SCHEDULE - EXISTING FIRST FLOOR		
QTY	DESCRIPTION	LOCATION
1	WINDOW	EXISTING
1	WINDOW	EXISTING
1	WINDOW	EXISTING

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ALLEN L. BROOKS
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South Carolina
Charlotte, N. C.
5 OCT 2015

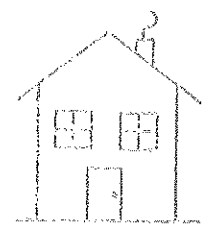
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Historic Dilworth Addition & Renovation for the:
FAIRCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

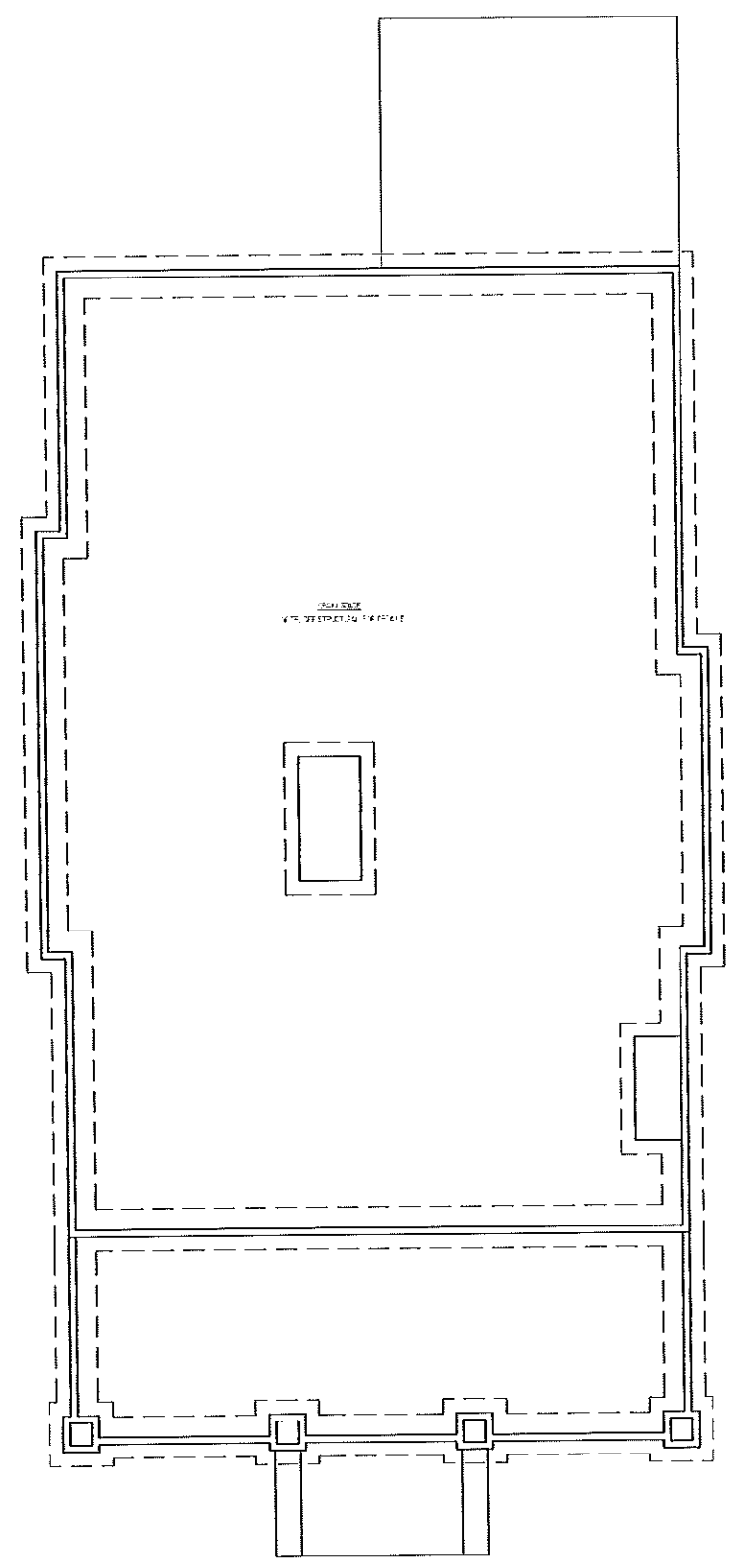
PROJ. NO. - 15046
ISSUED - 5 OCT 2015
REVISIONS - 15 OCT 2015

EXISTING PLANS
A-2
OF TEN

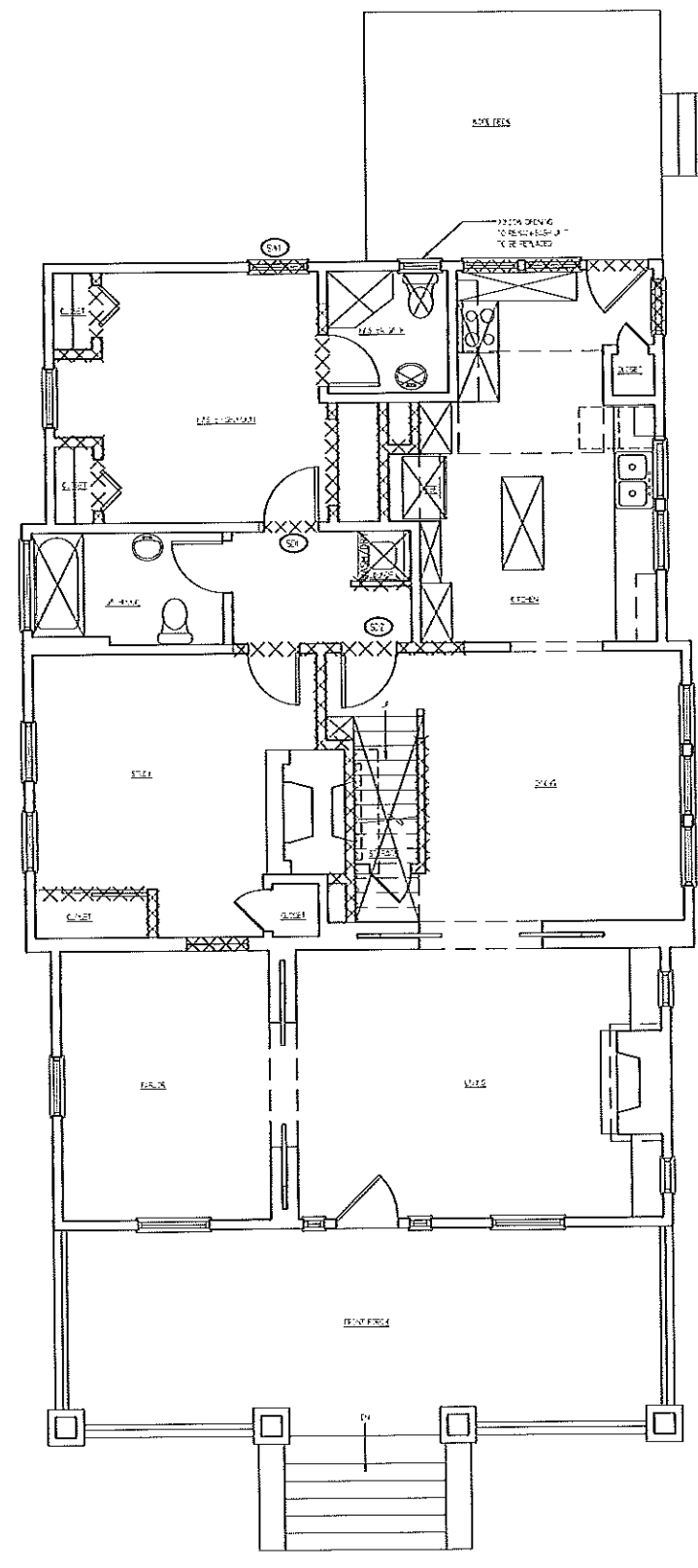


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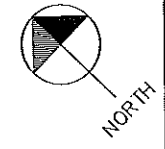
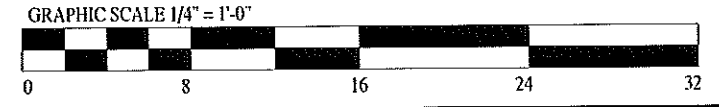
Certificate of Appropriateness
2015-209



② EXISTING FOUNDATION PLAN
1/4" = 1'-0"



① EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



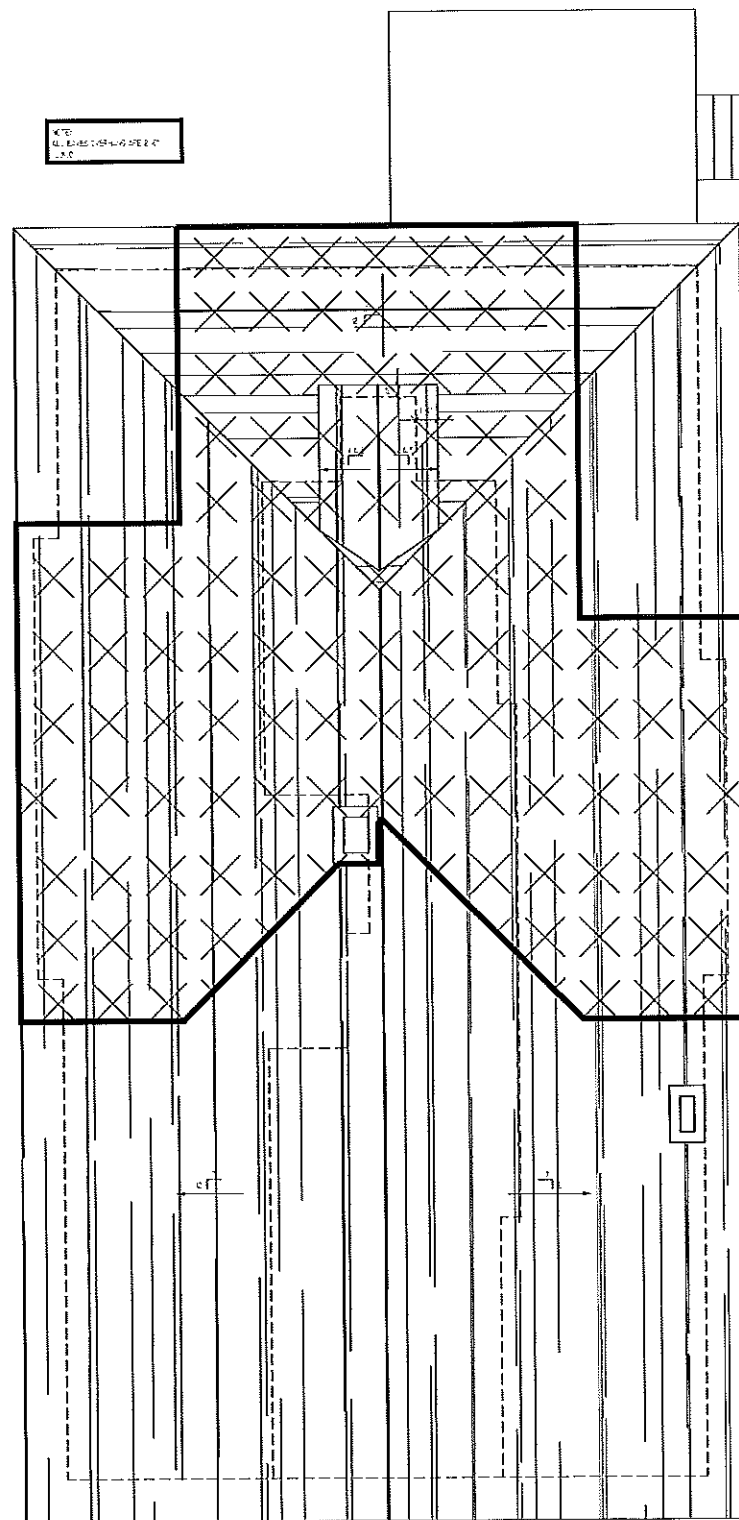


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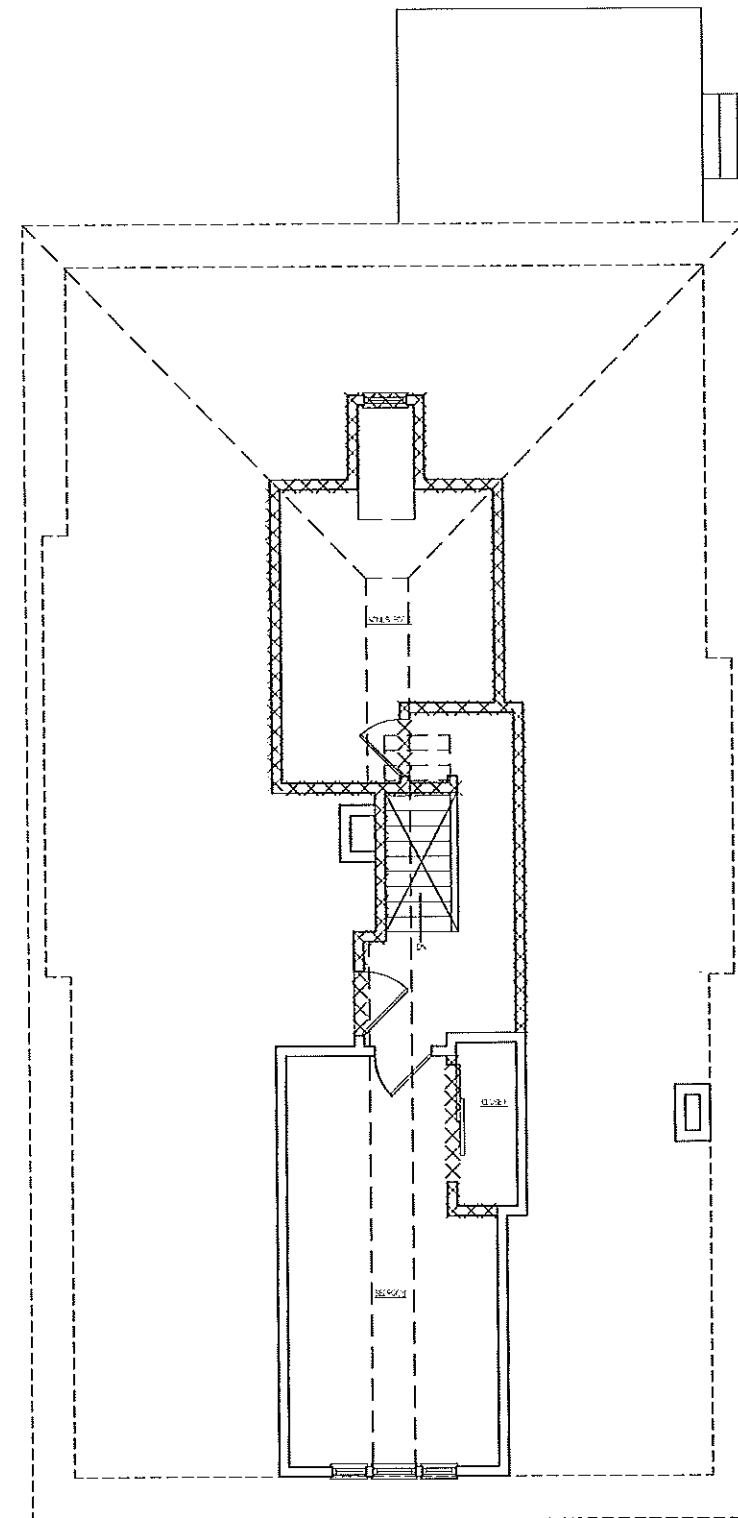
Charlotte
Historic District
Commission

Certificate of Appropriateness

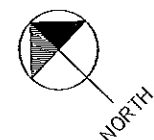
2015-209



② EXISTING ROOF PLAN
1/4" = 1'-0"



① EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



XXXX

AREA TO BE REMOVED



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0 Change

Historic Dilworth Addition & Renovation for the:
FAIRCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

FILE NO. 15055
ISSUED - 5 OCT 2015
REVISIONS - 15 OCT 2015

EXISTING PLANS

A-3

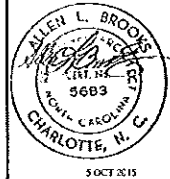
OF TEN

XXXX



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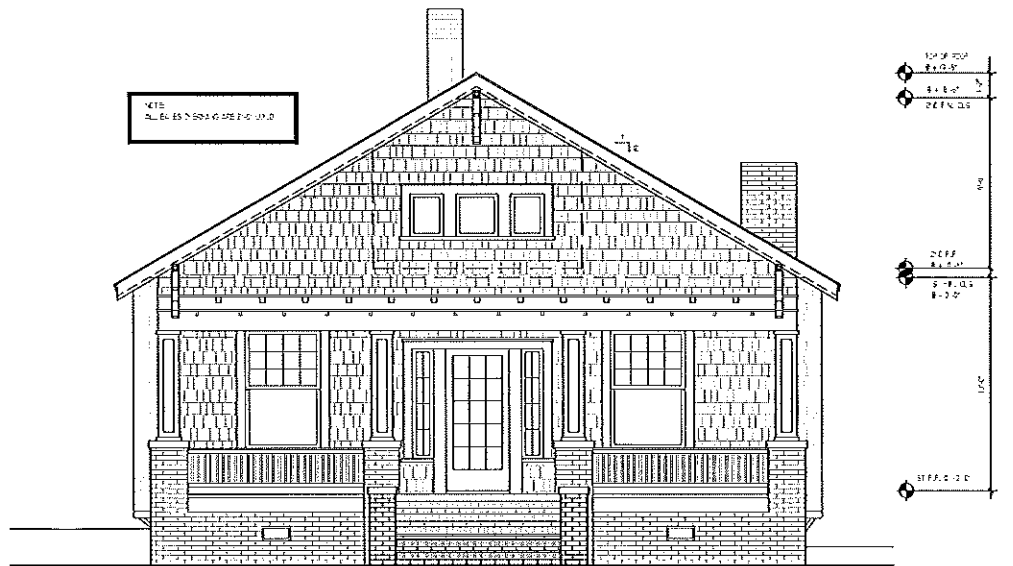


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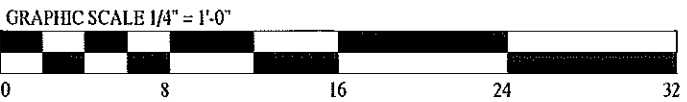
SCHEDULE - EXISTING FIRST FLOOR		
ITEM	DESCRIPTION	QUANTITY
1	2 - 2' x 4'	1 - 2' x 4'



② EXISTING RIGHT ELEVATION
1/4" = 1'-0"



① EXISTING FRONT ELEVATION
1/4" = 1'-0"

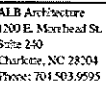


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Certificate of Appropriateness
2015-209

Historic Dilworth Addition & Renovation for the:
FAIRCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

PROJ. NO. 15006
ISSUED: 5 OCT 2015
REVISED: 15 OCT 2015

EXISTING ELEVATIONS
A-4
OF TEN



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5 OCT 2015

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2. *Chrysomelids*

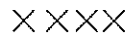
Historic Dilworth Addition & Renovation *for* the:
FAIRCLOTH RESIDENCE
 715 E. Worthington Avenue, Charlotte, NC 28226

PROJ NO. : 15026
ISSUED - 5 OCT 2015
REVISIONS:  15 OCT 2015

EXISTING ELEVATIONS

A-5

OF: TEN

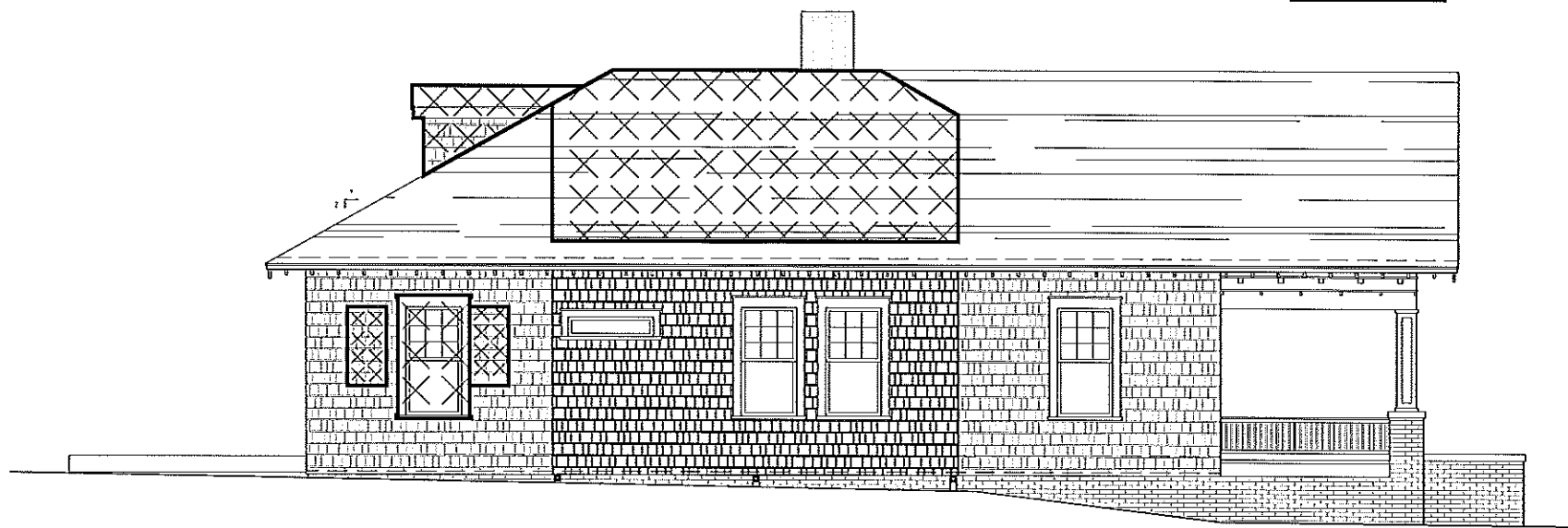


45375E 420 E

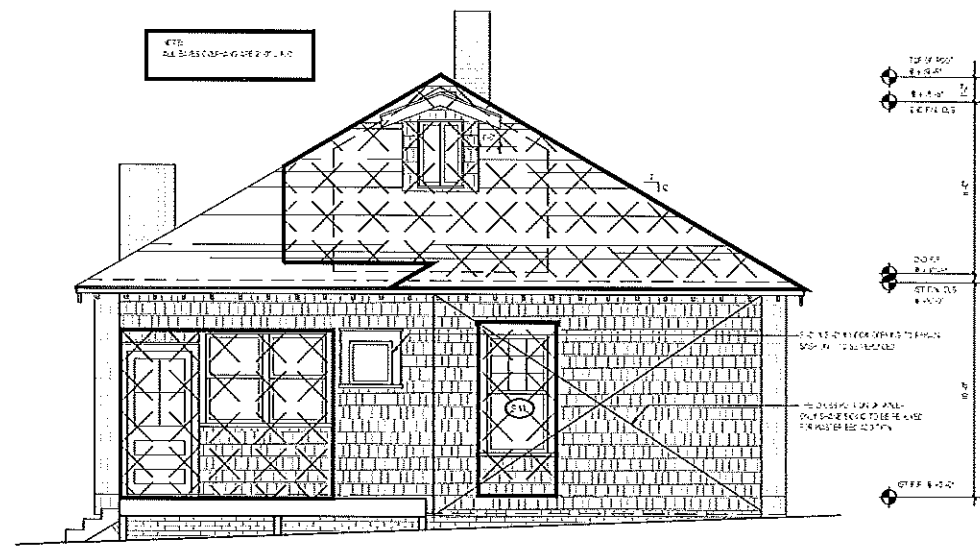
SOLVING A LOG4 SOLUBLE - DISTINGUISH FLOW

U.S.	2000	100%
EN	2000	100%

NOTE:
ALL ENTRIES ARE IN U.S. DOLLARS

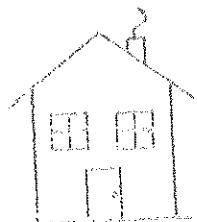


② EXISTING LEFT ELEVATION
1/4" = 1'-0"



① EXISTING REAR ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"

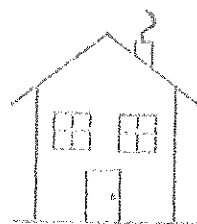


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2015-209

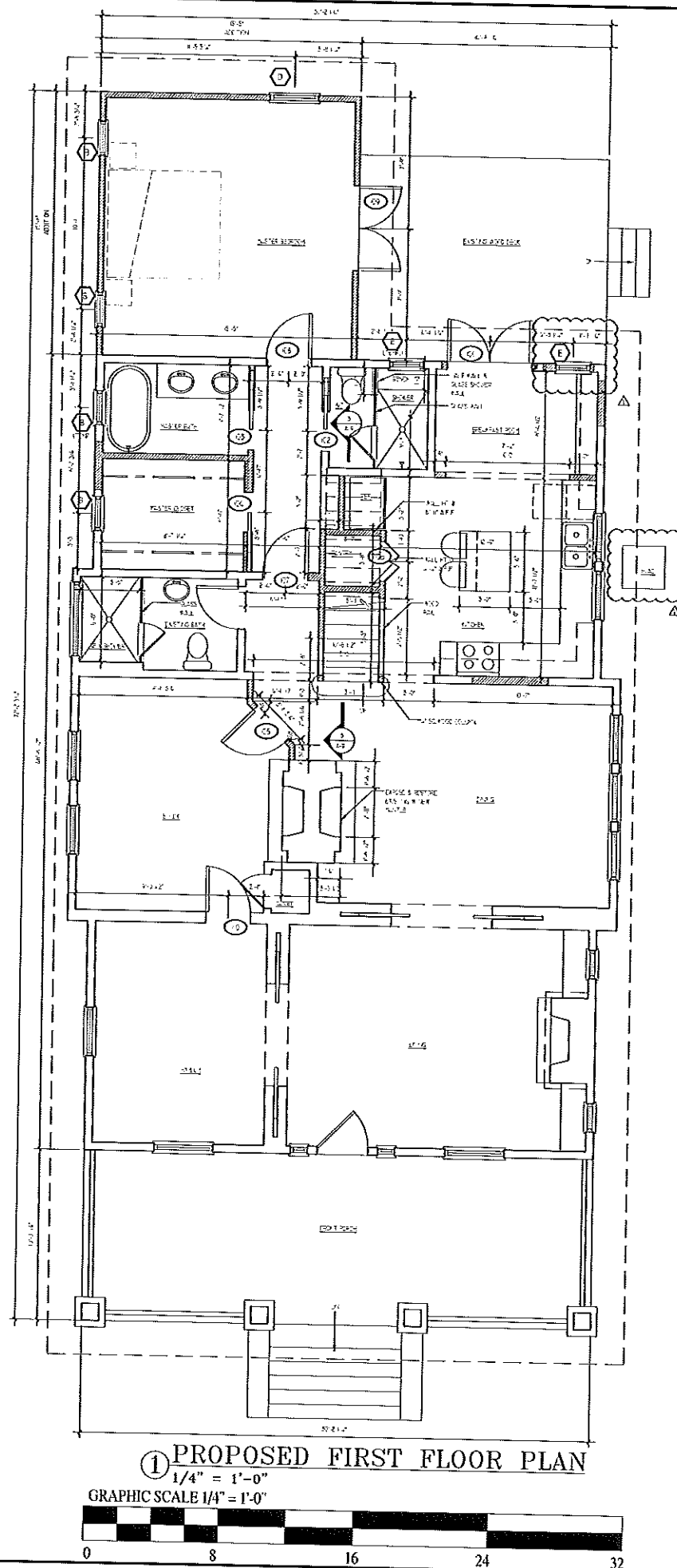
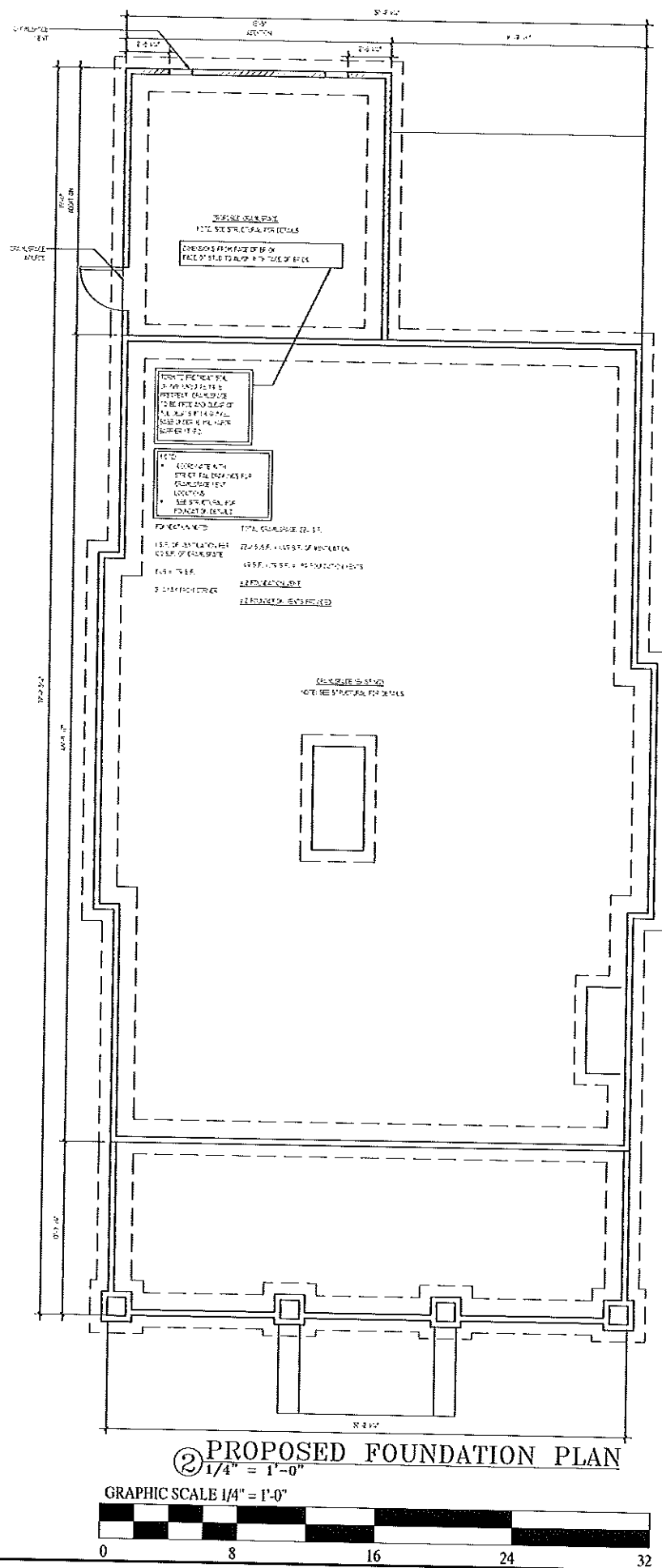


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Commission

Certificate of Appropriateness

215-209

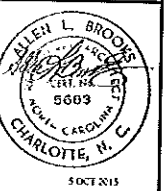


WINDOW SCHEDULE			
NO.	SIZE	LOCATION	TYPE
1	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
2	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
3	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
4	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
5	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
6	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
7	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
8	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
9	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG
10	2'-0" x 3'-0"	1st FLOOR	DOUBLE HUNG

FIRST FLOOR DOOR SCHEDULE		
NO.	SIZE	LOCATION
1	2'-0" x 3'-0"	1st FLOOR
2	2'-0" x 3'-0"	1st FLOOR
3	2'-0" x 3'-0"	1st FLOOR
4	2'-0" x 3'-0"	1st FLOOR
5	2'-0" x 3'-0"	1st FLOOR
6	2'-0" x 3'-0"	1st FLOOR
7	2'-0" x 3'-0"	1st FLOOR
8	2'-0" x 3'-0"	1st FLOOR
9	2'-0" x 3'-0"	1st FLOOR
10	2'-0" x 3'-0"	1st FLOOR



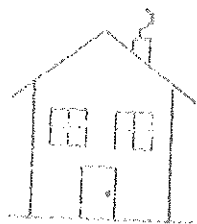
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Historic Dilworth Addition & Renovation for the:
FAIRCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

PROJ. NO.: 1806
ISSUED: 5 OCT 2015
REVISIONS: 15 OCT 2015

PROPOSED PLANS
A-6
OF TEN

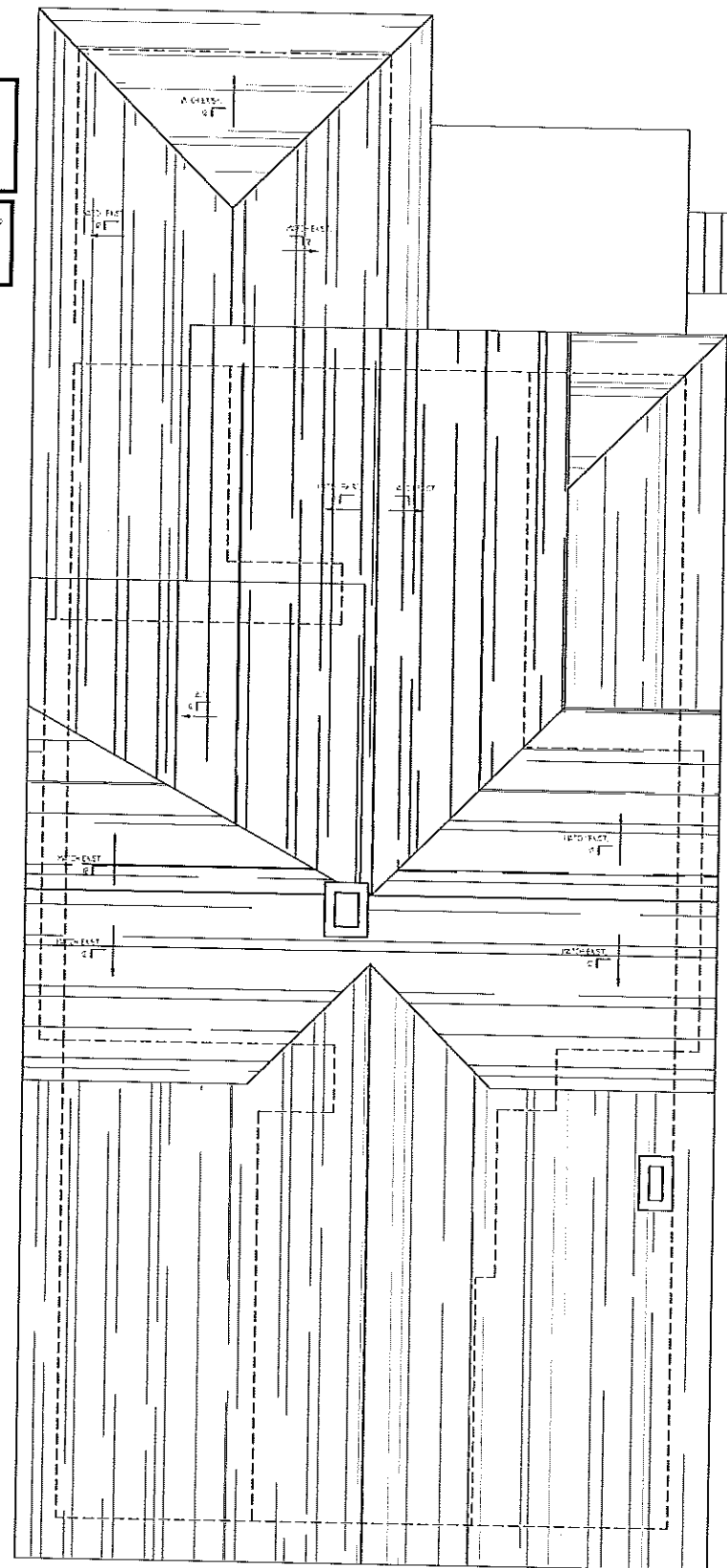


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Historic District
Commission

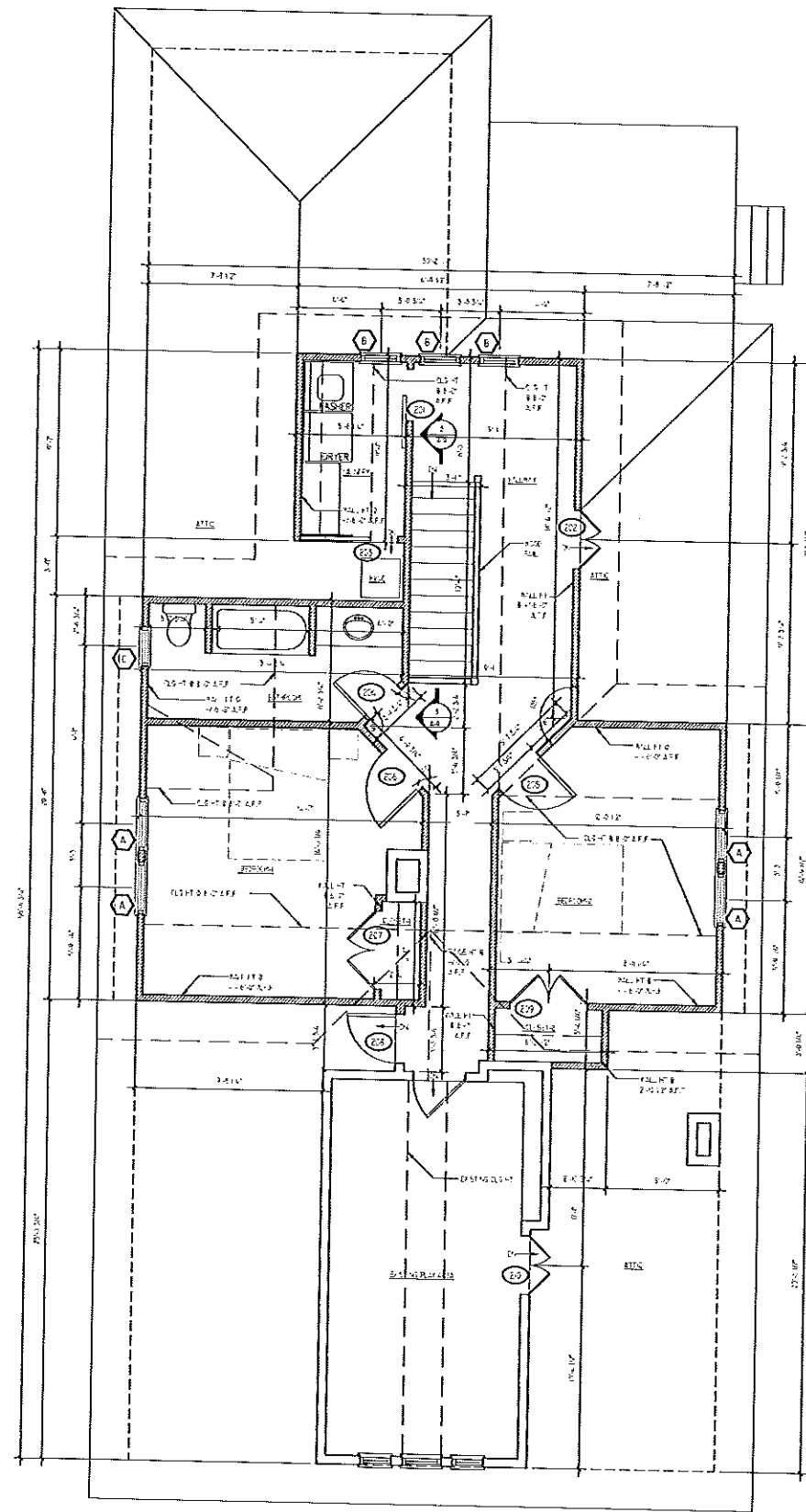
Certificate of Appropriateness

2015-209



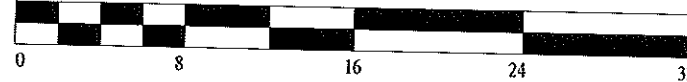
② PROPOSED ROOF PLAN
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



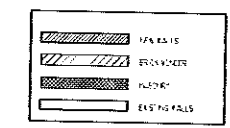
① PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



ANSCA SCHEDULE			
SIZE	HEADER	TYPE	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	
2' x 4' x 7'	1/2"	DOOR	

SECOND FLOOR DOOR SCHEDULE		
NO.	SIZE	LOCATION
1	2' x 4' x 7'	DOOR
2	2' x 4' x 7'	DOOR
3	2' x 4' x 7'	DOOR
4	2' x 4' x 7'	DOOR
5	2' x 4' x 7'	DOOR
6	2' x 4' x 7'	DOOR
7	2' x 4' x 7'	DOOR
8	2' x 4' x 7'	DOOR
9	2' x 4' x 7'	DOOR
10	2' x 4' x 7'	DOOR
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29	2' x 4' x 7'	DOOR
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34	2' x 4' x 7'	DOOR
35	2' x 4' x 7'	DOOR
36	2' x 4' x 7'	DOOR
37	2' x 4' x 7'	DOOR
38	2' x 4' x 7'	DOOR
39	2' x 4' x 7'	DOOR
40	2' x 4' x 7'	DOOR
41	2' x 4' x 7'	DOOR
42	2' x 4' x 7'	DOOR
43	2' x 4' x 7'	DOOR
44	2' x 4' x 7'	DOOR
45	2' x 4' x 7'	DOOR
46	2' x 4' x 7'	DOOR
47	2' x 4' x 7'	DOOR
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51	2' x 4' x 7'	DOOR
52	2' x 4' x 7'	DOOR
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54	2' x 4' x 7'	DOOR
55	2' x 4' x 7'	DOOR
56	2' x 4' x 7'	DOOR
57	2' x 4' x 7'	DOOR
58	2' x 4' x 7'	DOOR
59	2' x 4' x 7'	DOOR
60	2' x 4' x 7'	DOOR
61	2' x 4' x 7'	DOOR
62	2' x 4' x 7'	DOOR
63	2' x 4' x 7'	DOOR
64	2' x 4' x 7'	DOOR
65	2' x 4' x 7'	DOOR
66	2' x 4' x 7'	DOOR
67	2' x 4' x 7'	DOOR
68	2' x 4' x 7'	DOOR
69	2' x 4' x 7'	DOOR
70	2' x 4' x 7'	DOOR
71	2' x 4' x 7'	DOOR
72	2' x 4' x 7'	DOOR
73	2' x 4' x 7'	DOOR
74	2' x 4' x 7'	DOOR
75	2' x 4' x 7'	DOOR
76	2' x 4' x 7'	DOOR
77	2' x 4' x 7'	DOOR
78	2' x 4' x 7'	DOOR
79	2' x 4' x 7'	DOOR
80	2' x 4' x 7'	DOOR
81	2' x 4' x 7'	DOOR
82	2' x 4' x 7'	DOOR
83	2' x 4' x 7'	DOOR
84	2' x 4' x 7'	DOOR
85	2' x 4' x 7'	DOOR
86	2' x 4' x 7'	DOOR
87	2' x 4' x 7'	DOOR
88	2' x 4' x 7'	DOOR
89	2' x 4' x 7'	DOOR
90	2' x 4' x 7'	DOOR
91	2' x 4' x 7'	DOOR
92	2' x 4' x 7'	DOOR
93	2' x 4' x 7'	DOOR
94	2' x 4' x 7'	DOOR
95	2' x 4' x 7'	DOOR
96	2' x 4' x 7'	DOOR
97	2' x 4' x 7'	DOOR
98	2' x 4' x 7'	DOOR
99	2' x 4' x 7'	DOOR
100	2' x 4' x 7'	DOOR



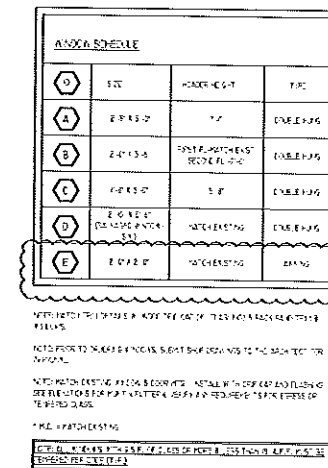
Historic Dilworth Addition & Renovation for the:
FAIRCLOTH RESIDENCE
715 E. Worthington Avenue, Charlotte, NC 28203

PROJ. NO. 1506
ISSUED: 5 OCT 2015
REVISED: 15 OCT 2015

PROPOSED PLANS

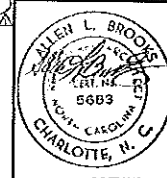
A-7

OF TEN



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Historic Dilworth Addition & Renovation for the:

FAIRCLOTH RESIDENCE

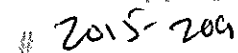
715 E. Worthington Avenue, Charlotte, NC 28203

FROM NO - 15645
ISSUED - 5 OCT 2015
RECEIVED - 15 OCT 2015

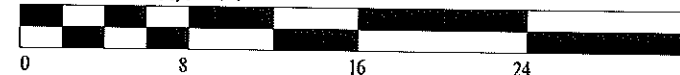
PROPOSED ELEVATIONS

A-8

OF: TEN


$$1/4'' = 1'-0''$$

GRAPHIC SCALE 1/4" = 1'-0"

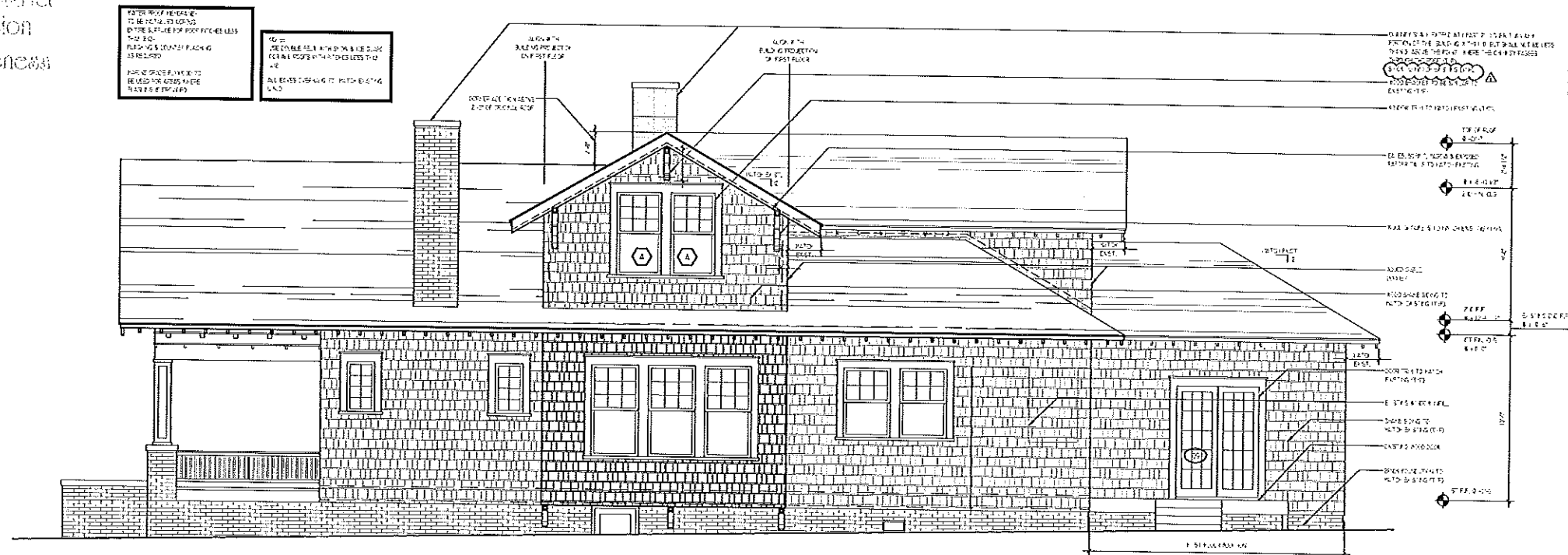


APPROVED

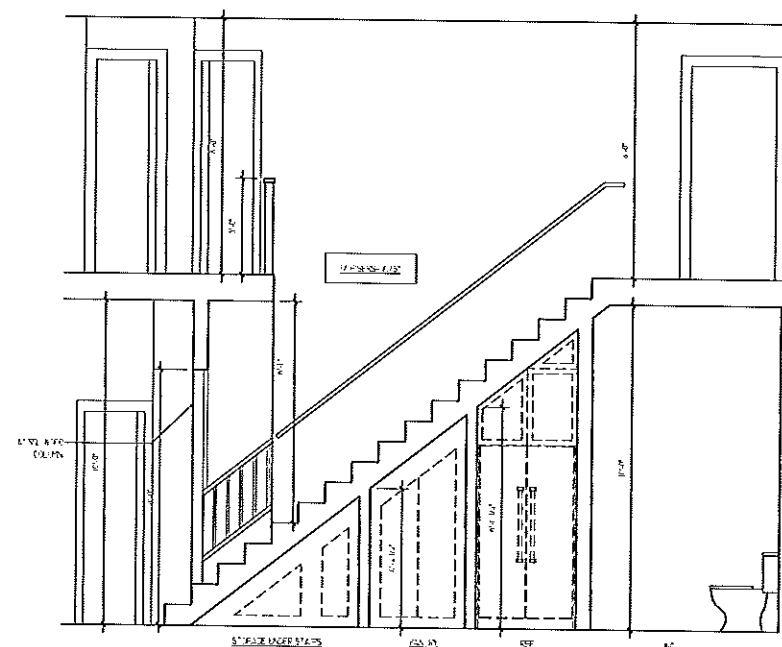
Charlotte
Historic District
Commission

Certificate of Appropriateness

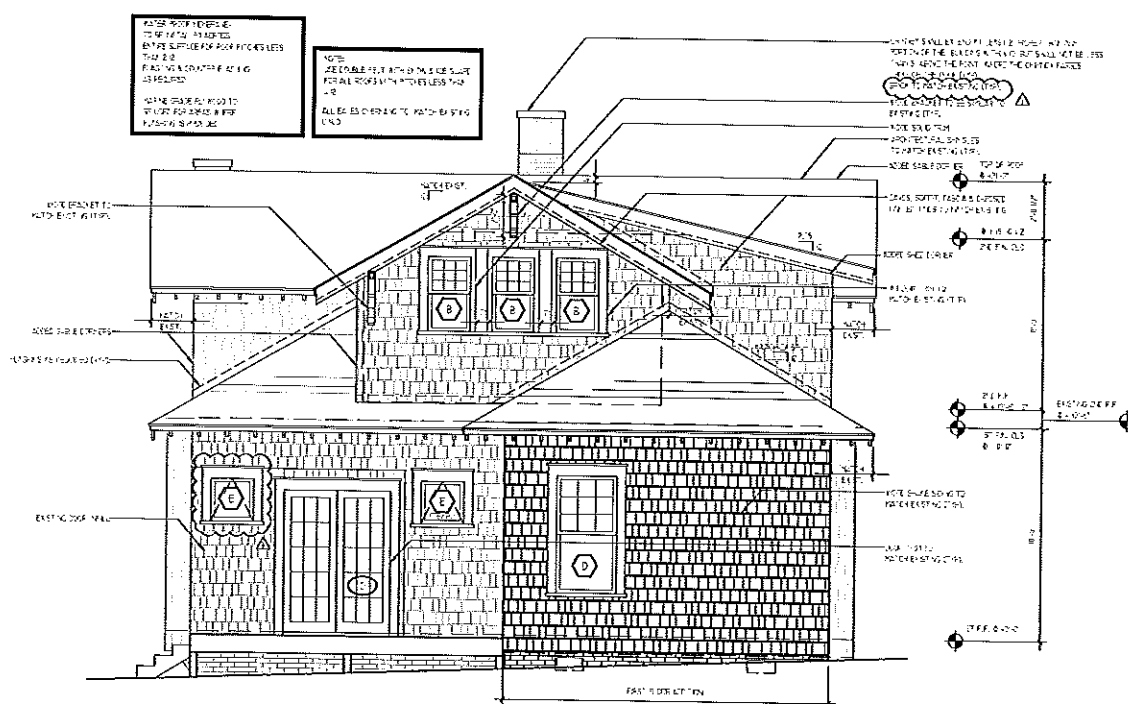
2015-2009



② PROPOSED RIGHT ELEVATION PLAN
1/4" = 1'-0"



③ SECTION THROUGH PROPOSED STAIRCASE
3/8" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"



BASIC SCHEMATA			
A	ONE	NUMBER ONE	100
B	2 OF 100	20	1000 OF 100
C	2 OF 10	2000 OF 1000 OF 1000 OF 1000	1000 OF 100
D	100 OF 100	20	1000 OF 100
E	20 OF 100	1000 OF 1000 OF 1000	1000 OF 100
F	20 OF 100	1000 OF 1000 OF 1000	2000

WITNESSETH THAT I, JAMES H. HART, OF THE COUNTY OF CLATSOP, STATE OF OREGON, DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS THE SAME APPEARS TO ME.

WITNESSETH THAT I, JAMES H. HART, OF THE COUNTY OF CLATSOP, STATE OF OREGON, DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS THE SAME APPEARS TO ME.

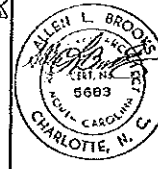
JAMES H. HART, CLERK.

JAMES H. HART, CLERK.



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Let

Historic Dilworth Addition & Renovation for the:

FAIRCLOTH RESIDENCE

7715 E. Worthington Avenue, Charlotte, NC 28203

PROJ NO. : JS06
ISSUED : 5 OCT 2015
REVISED :  15 OCT 2015

PROPOSED ELEVATION:

A-9

OF TEN