



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2015-067

DATE: April 17, 2015

ADDRESS OF PROPERTY: 1142 Berkeley Avenue

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12310417

OWNER(S): David and Marni Eisner

DETAILS OF APPROVED PROJECT: The project is a two story addition to the rear of the house. An existing one story addition will be removed. Materials (brick, trim and slate roof) of the new addition will match the existing house. New windows will be wood STDL. New gutters and fascia will be installed. A new covered stoop with a standing seam metal roof will be constructed on the rear. An existing walkway and steps from Belgrave Place will be removed. Two windows on the right side will be replaced with shorter window units, also wood STDL.

The project was approved by the HDC April 8, 2015.

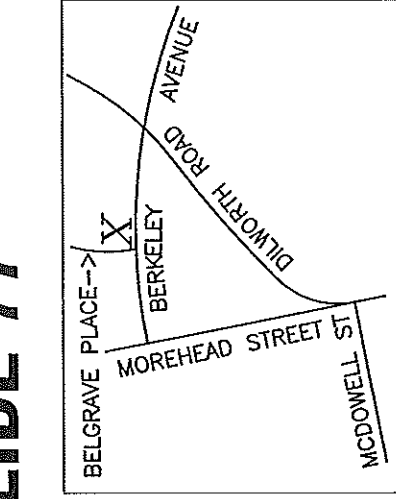
- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

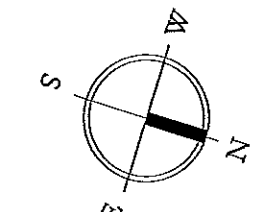
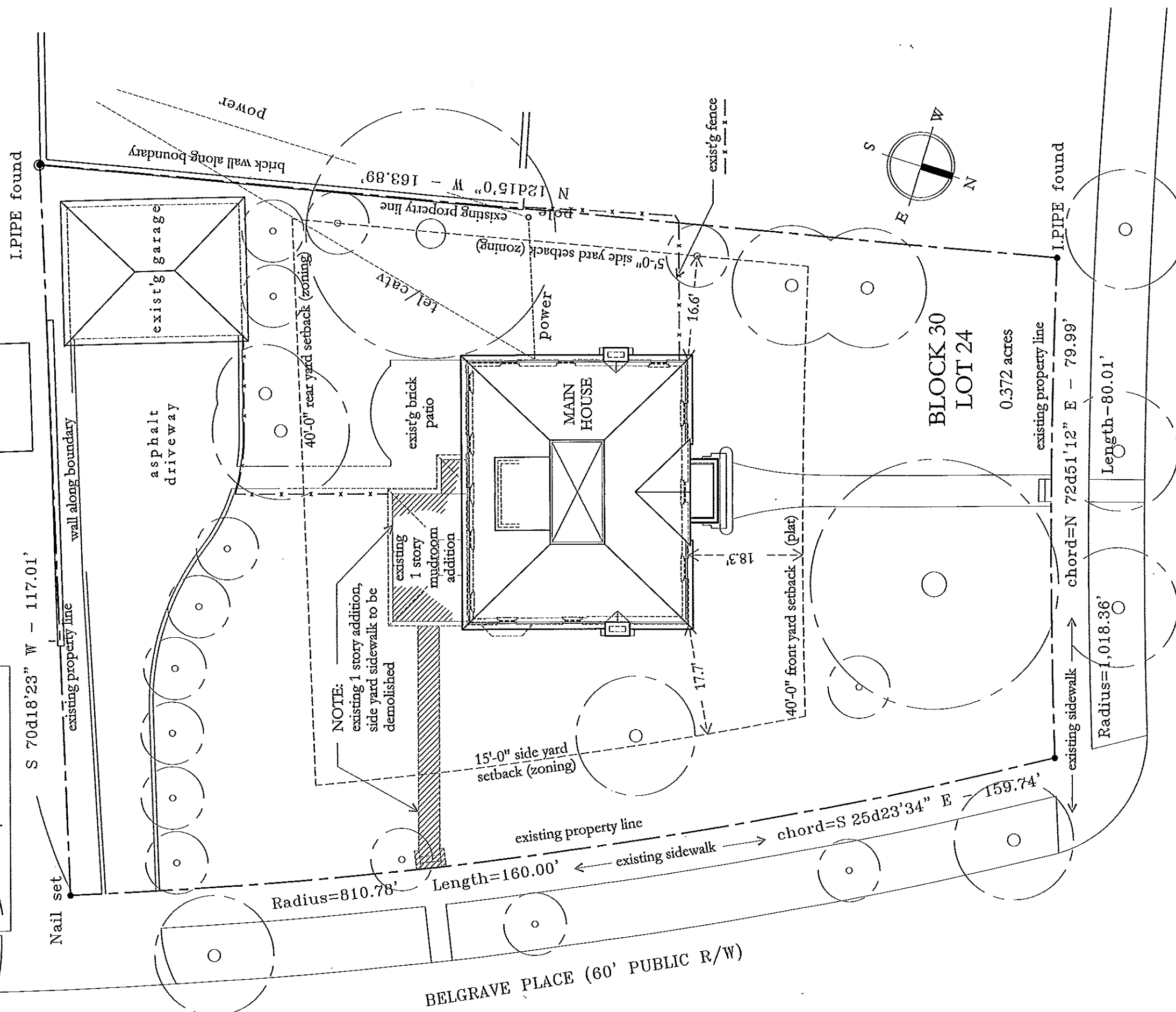
Chairman

Staff

SLIDE 77

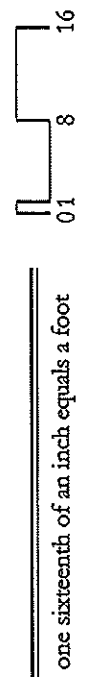


APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # 2015-067



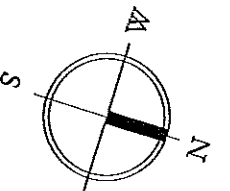
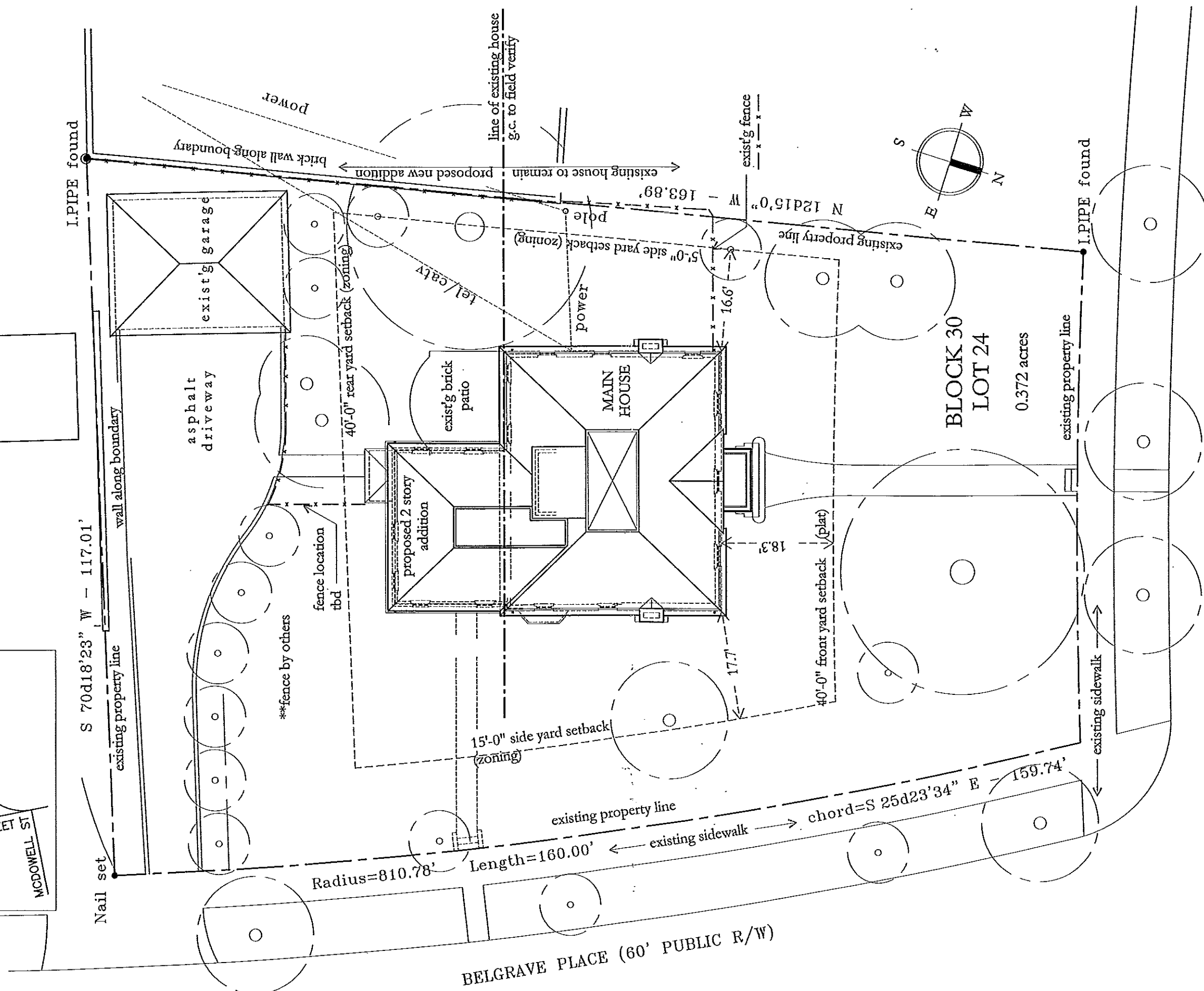
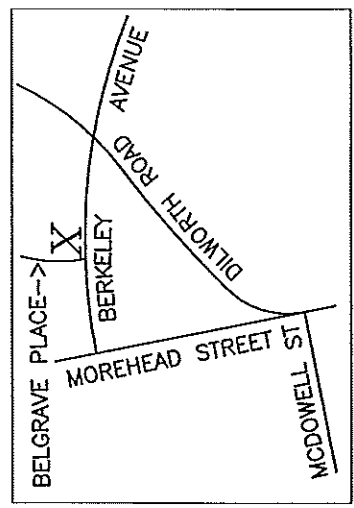
BERKELEY AVENUE (60' PUBLIC R/W)

EXISTING SITE PLAN



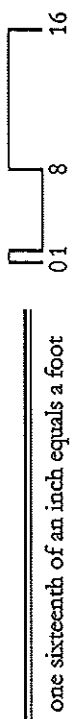
SLIDE 78

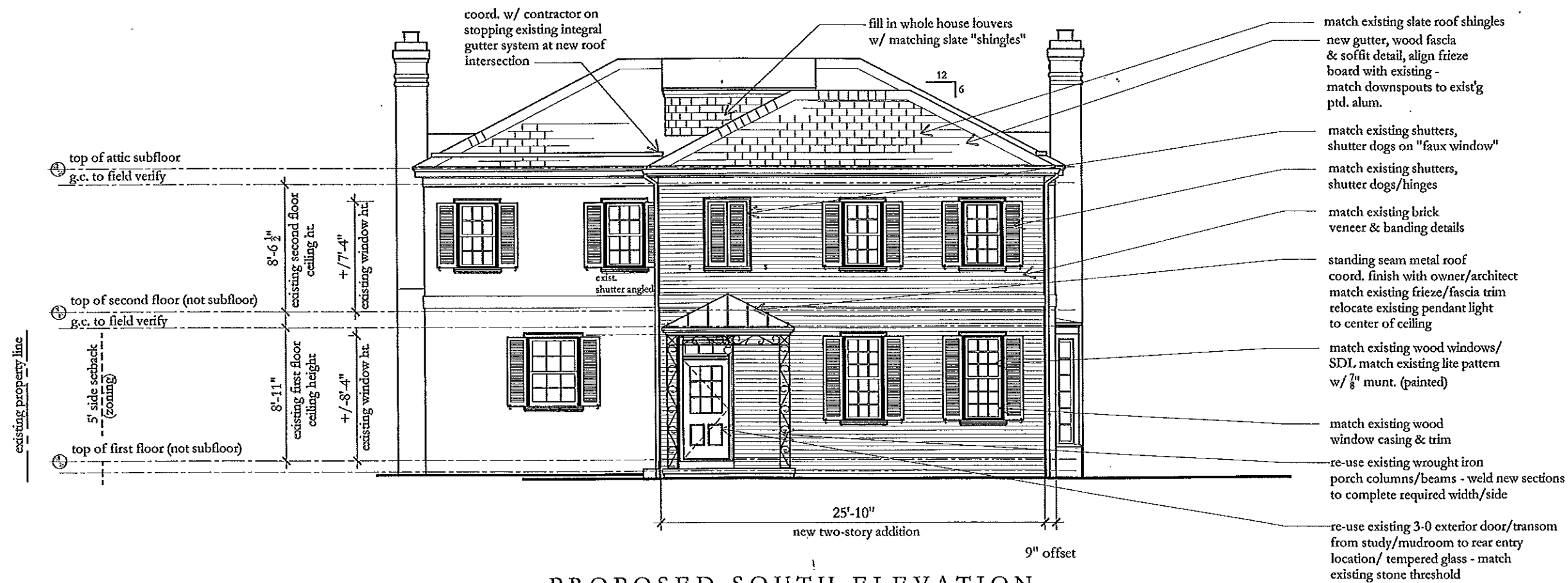
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 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness # 2015-067



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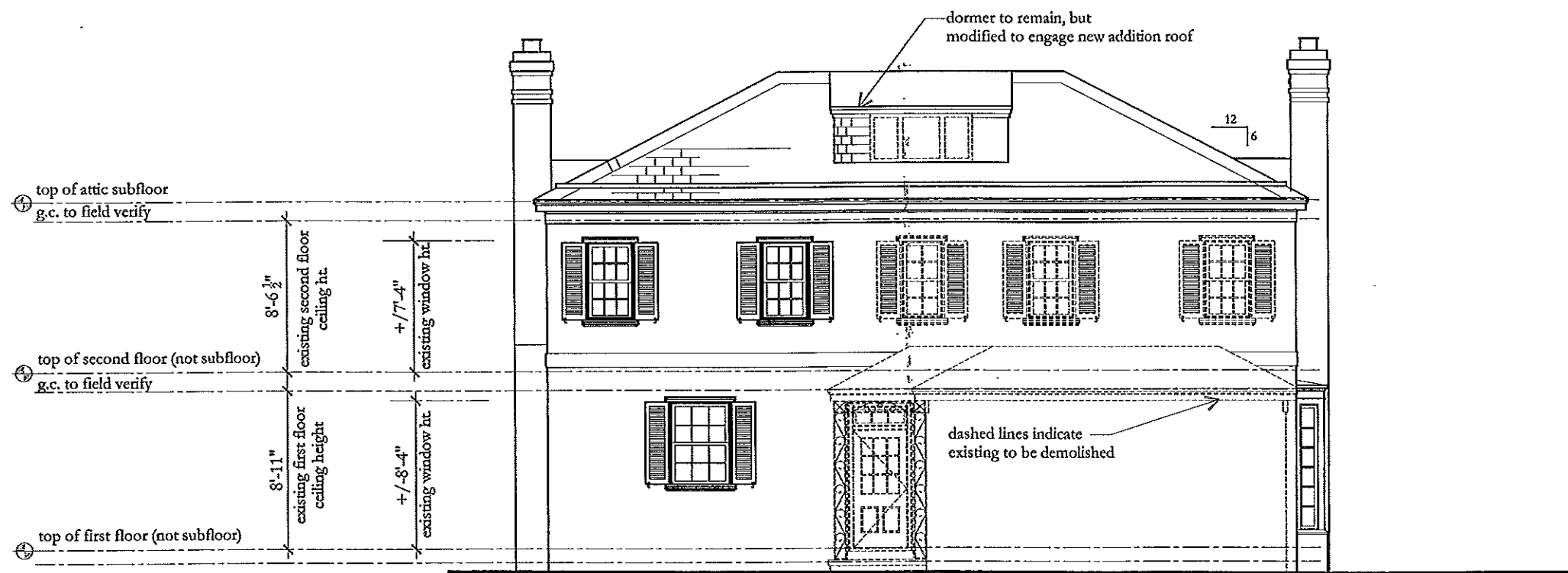
PROPOSED SITE PLAN





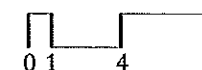
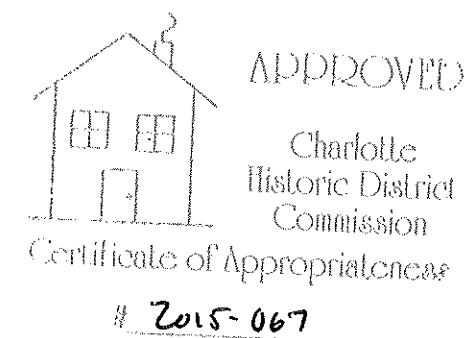
PROPOSED SOUTH ELEVATION

scale: 1/8" = 1'-0"

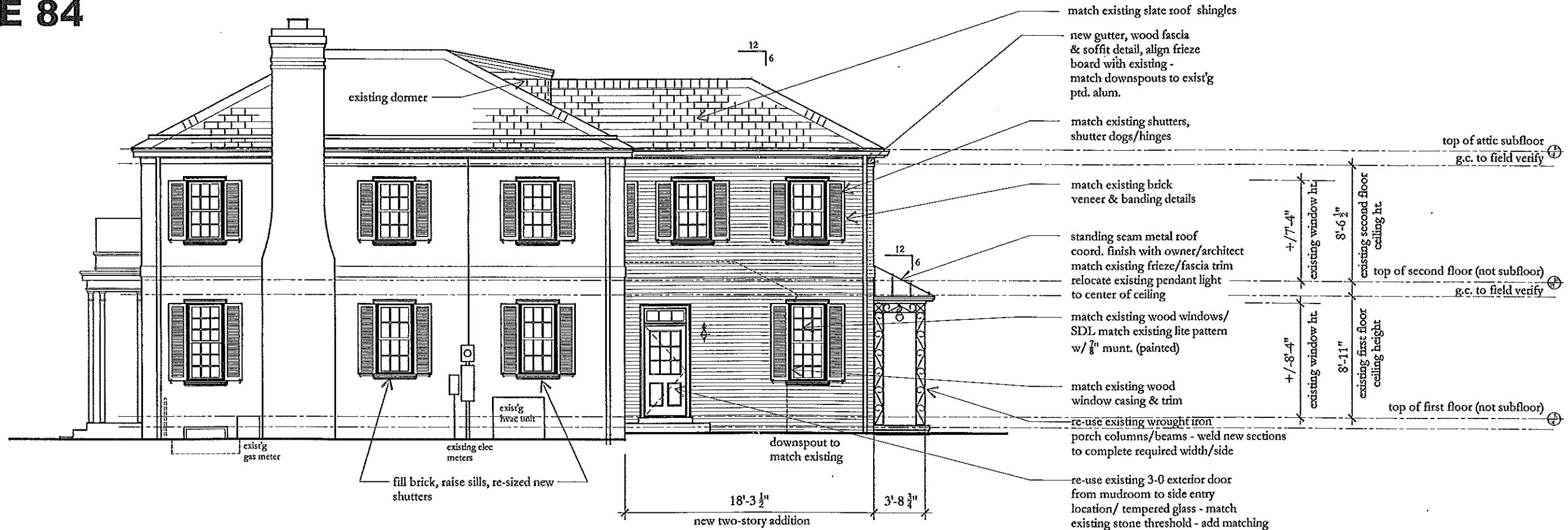


EXISTING SOUTH ELEVATION

scale: 1/8" = 1'-0"

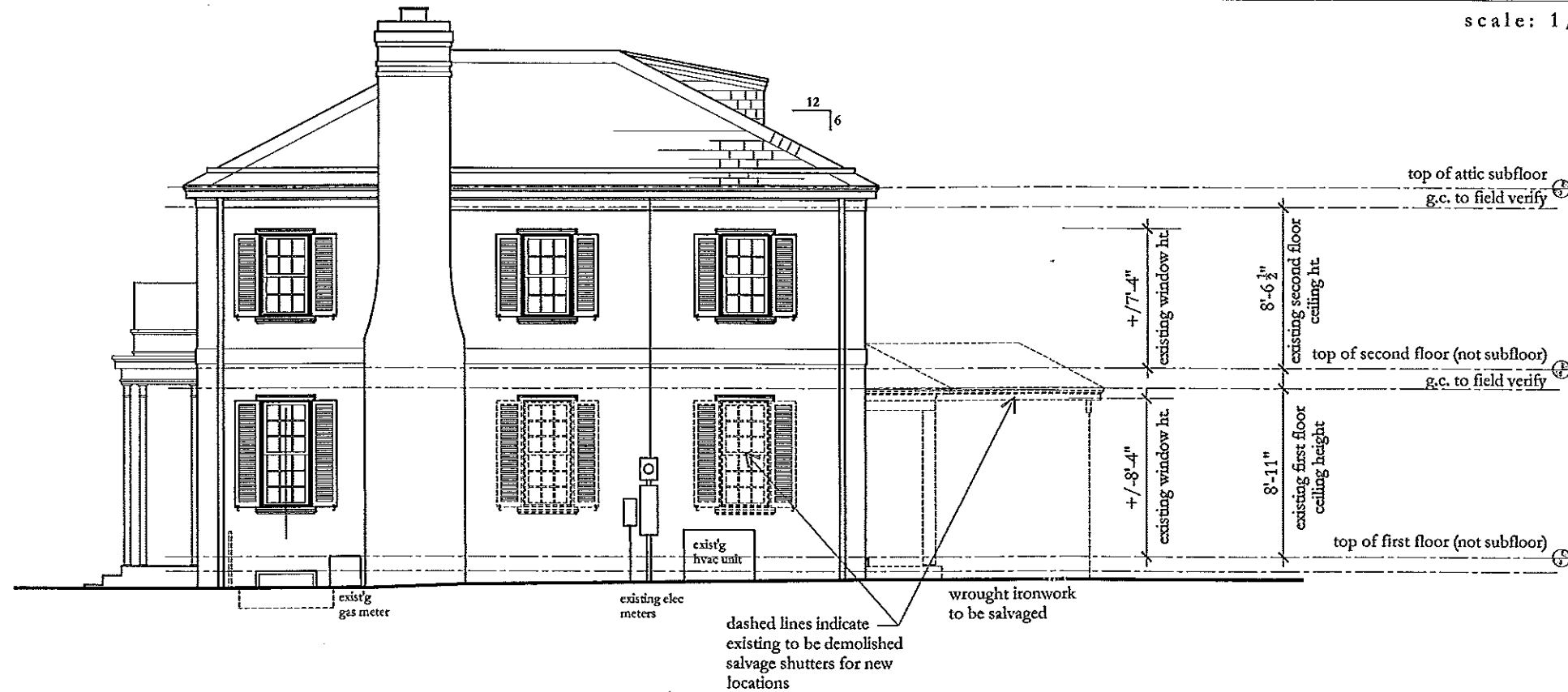


SLIDE 84



PROPOSED WEST ELEVATION

scale: 1/8" = 1'-0"

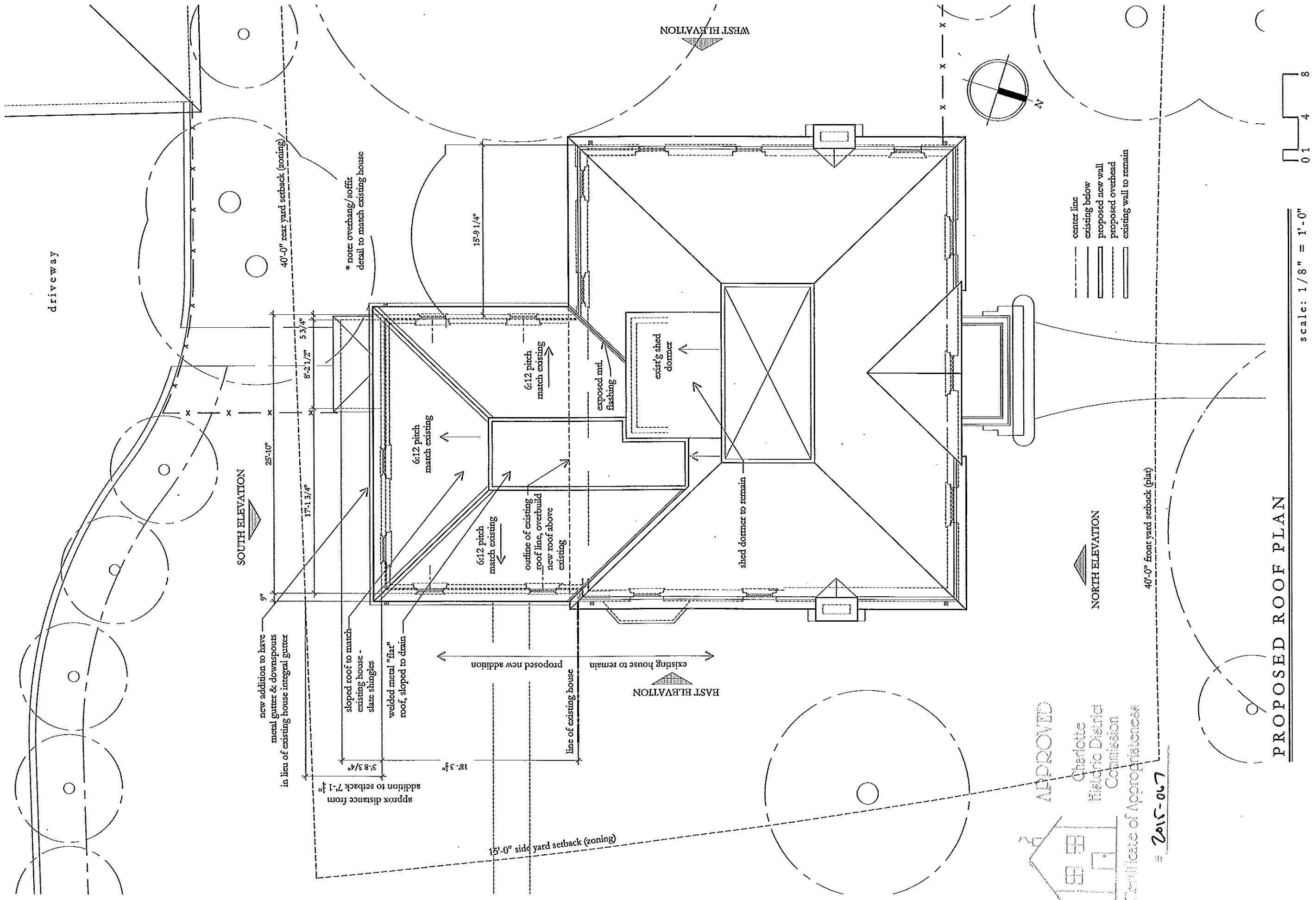


EXISTING WEST ELEVATION

scale: 1/8" = 1'-0"



SLIDE 90



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- center line
- existing below
- proposed new wall
- proposed overhang
- existing wall to remain

PROPOSED ROOF PLAN

scale: 1/8" = 1'-0"
 0 1 4 8