



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2015-063

DATE: June 11, 2015

ADDRESS OF PROPERTY: 709 East Worthington Avenue

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12108303

OWNER(S): John and Sandra Reilly (Greg Miller, applicant)

DETAILS OF APPROVED PROJECT: The project is an addition to the first and second floor and redesign of the front facade. The renovation will require certain parts of the house to be removed. Details of the project include a new front porch, reduction of front roof pitch, addition of a front shed dormer and new two story rear addition. The addition will tie into the existing roof at the ridgeline. Façade materials include brick, fieldstone and wood.

The project was approved by the HDC May 13, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2015-063

701 E. NORTHLINGTON 705 E. NORTHLINGTON 709 E. NORTHLINGTON 713 E. NORTHLINGTON 717 E. NORTHLINGTON

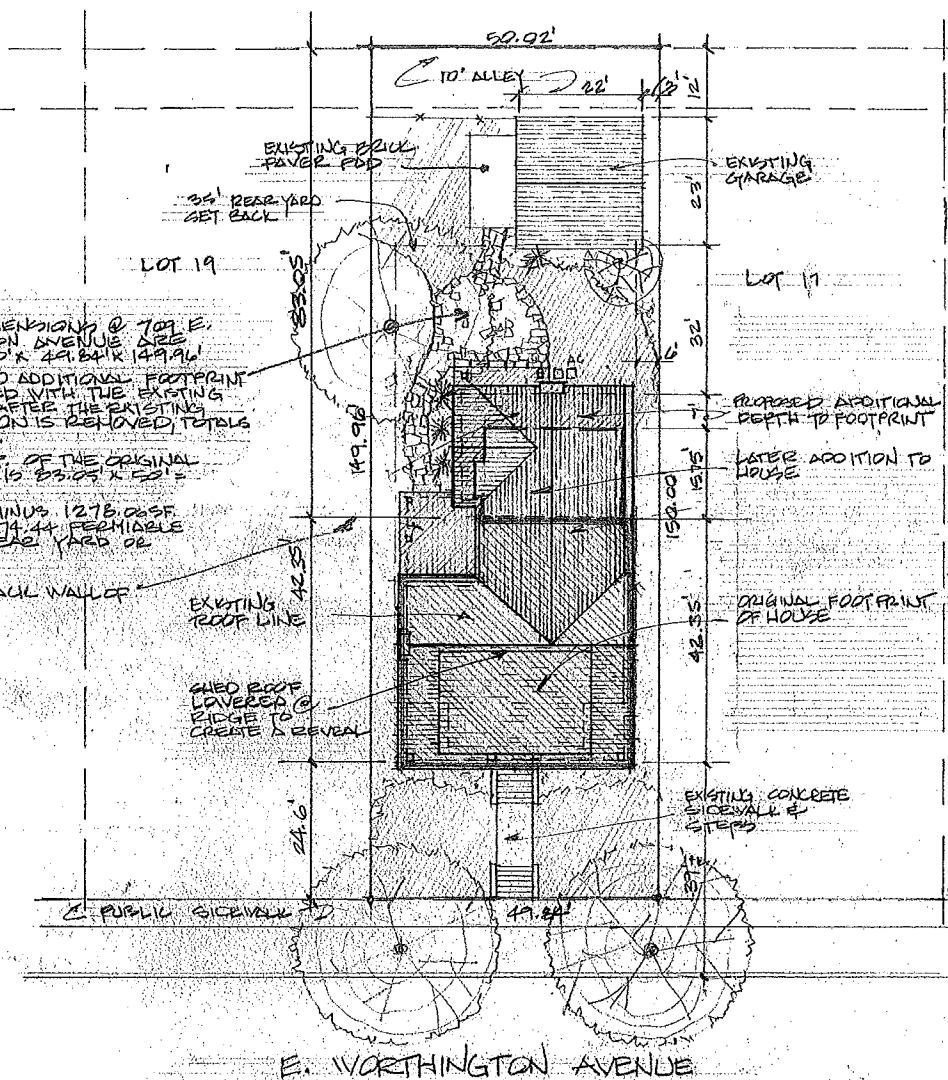
SPRINGDALE AVENUE

EAST NORTHLINGTON AVENUE

712 E. NORTHLINGTON 708 E. NORTHLINGTON 704 E. NORTHLINGTON

NOTE:

THE LOT DIMENSIONS @ 709 E. NORTHLINGTON AVENUE ARE 50.2' X 150.00' X 44.84' X 149.96'.
THE PROPOSED ADDITIONAL FOOTPRINT 21' COMBINED WITH THE EXISTING GARAGE SP. AFTER THE EXISTING LATER ADDITION IS REMOVED TOTALS 1278.06 SF.
THE TOTAL SF. OF THE ORIGINAL REAR YARD IS 53.05' X 52' = 4152.06 SF.
4152.06 SF MINUS 1278.06 SF LEAVES 2874.00 FEET SQUARE SF. IN THE REAR YARD OR 41' X 70'.
ORIGINAL BACK WALL OF HOUSE



SITE PLAN

SCALE 1" = 20'-0"

REV 5.12.15

REV 4.29.15

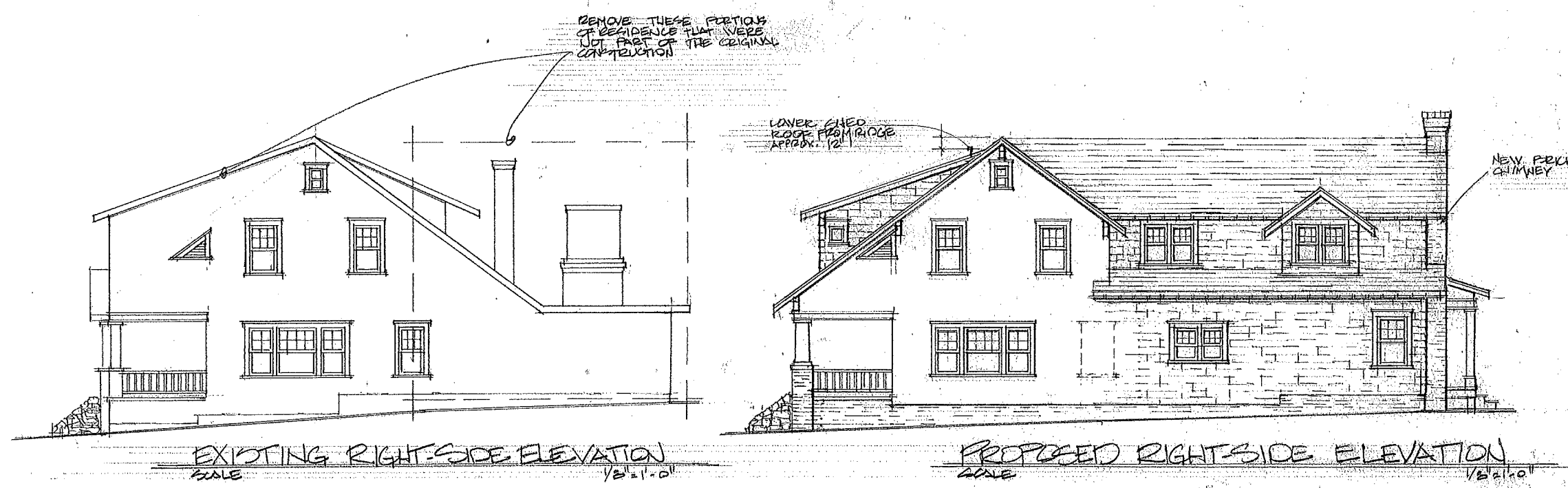
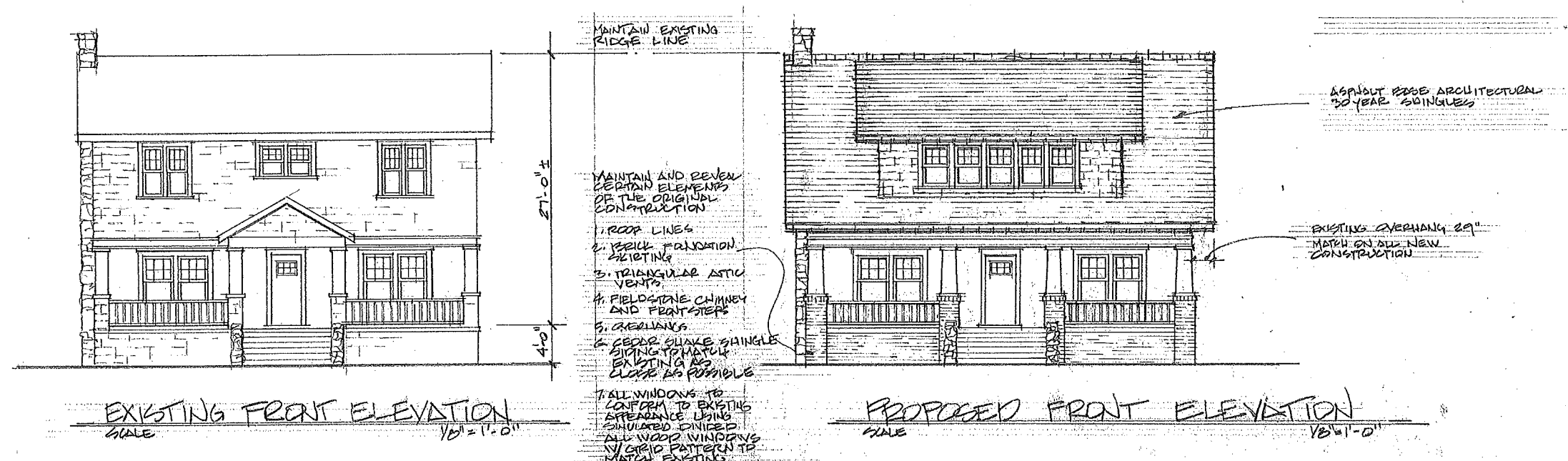
PROPOSED RENOVATION FOR:

709 EAST NORTHLINGTON AVENUE

704-09-000

3/16/15

1 of 6



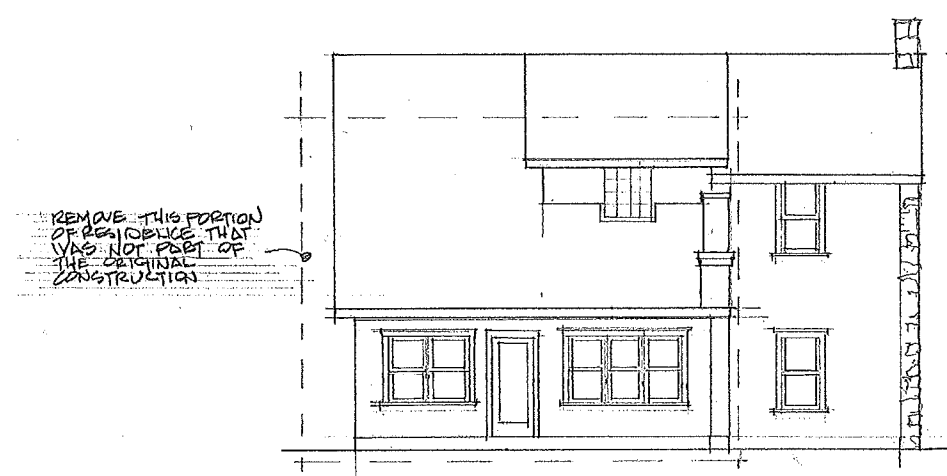


APPROVED

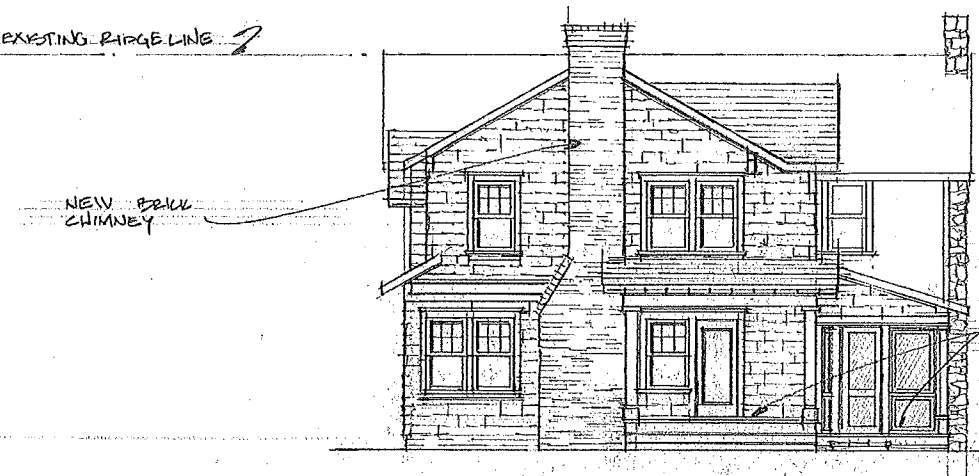
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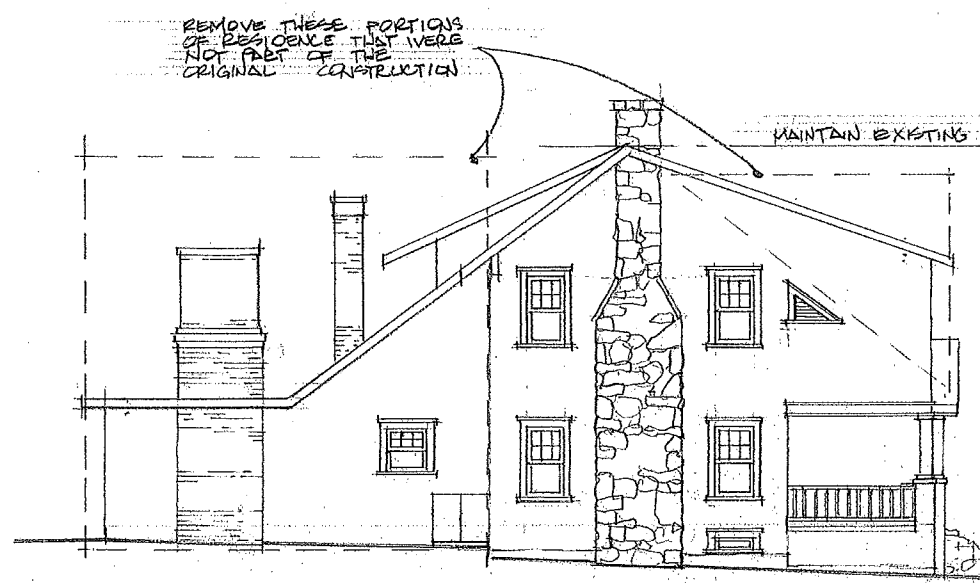
2015-063



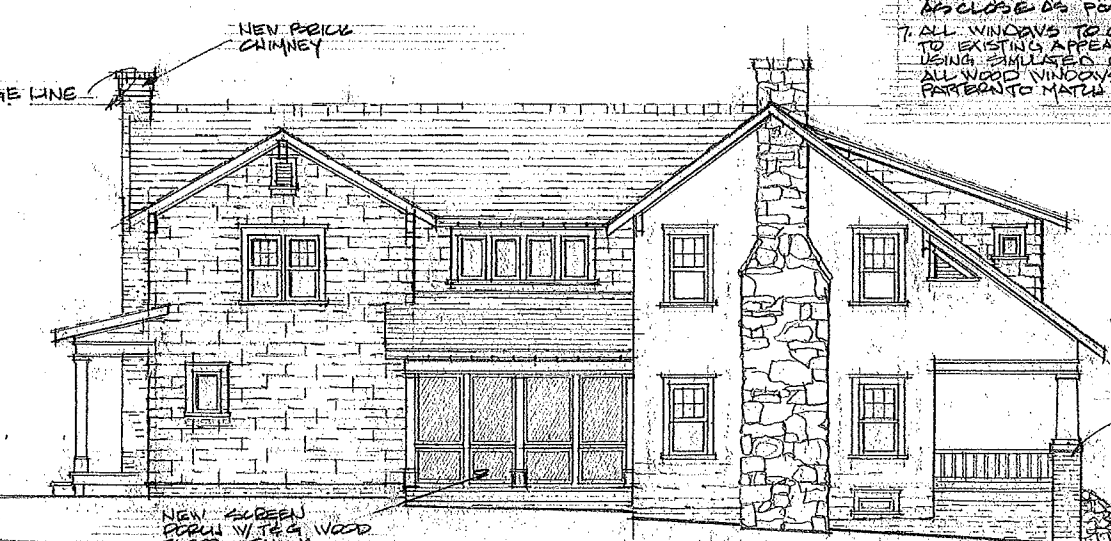
EXISTING REAR ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED REAR ELEVATION
SCALE 1/8" = 1'-0"



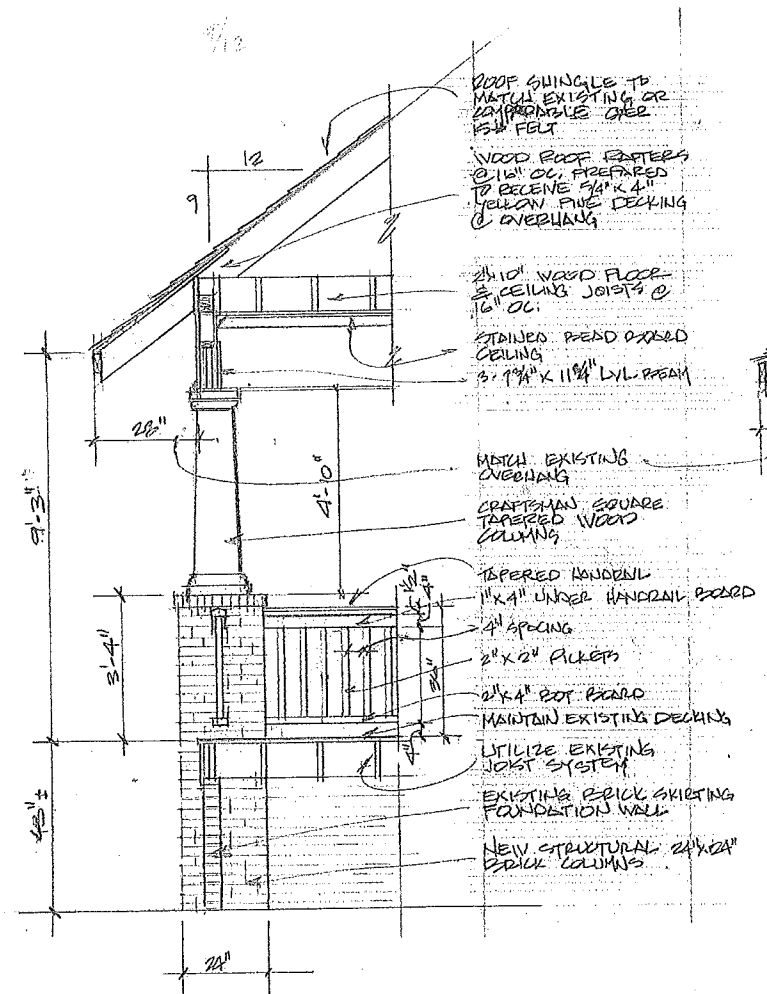
EXISTING LEFT-SIDE ELEVATION
SCALE 1/8" = 1'-0"



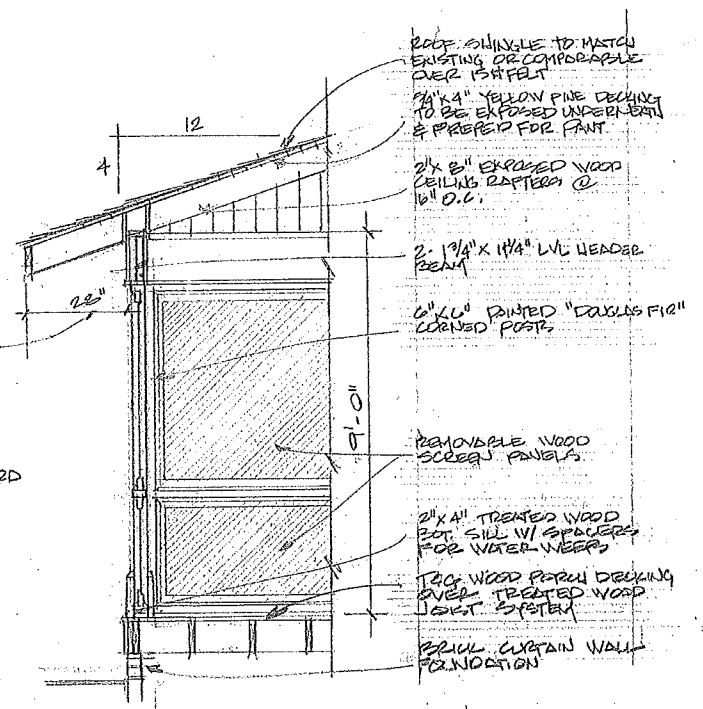
PROPOSED LEFT-SIDE ELEVATION
SCALE 1/8" = 1'-0"

- MAINTAIN AND REVEAL CERTAIN ELEMENTS OF THE ORIGINAL CONSTRUCTION:
1. ROOF LINES
 2. BRICK FOUNDATION EXISTING
 3. TRIANGULAR ATTIC VENT
 4. FIELDSTONE CHIMNEY & PORCH EUTERS
 5. OVERHANG 28"-30"
 6. CEDAR SHAKE SHINGLE SIDING TO MATCH EXISTING AS CLOSE AS POSSIBLE
 7. ALL WINDOWS TO CONFORM TO EXISTING APPEARANCE USING SIMILATED DIVIDED ALL WOOD WINDOWS W/ LEAD PAPER TO MATCH EXISTING

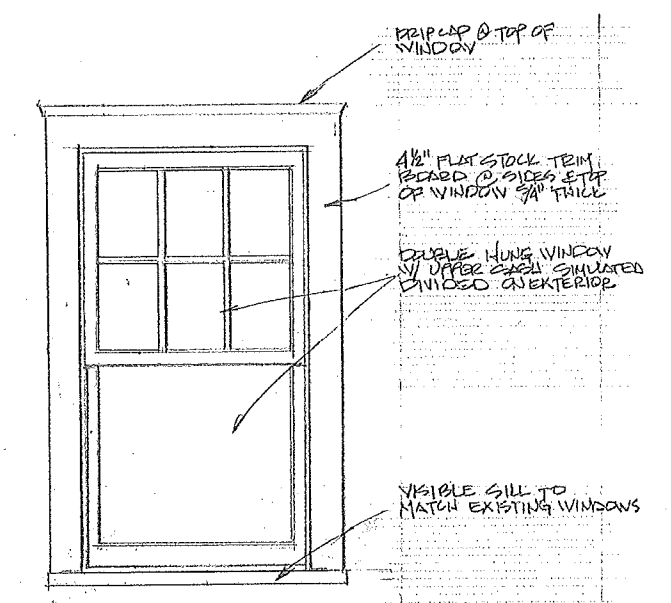
PROPOSED RENOVATION FOR:
709 E. WORTHINGTON AVENUE 709-29-4050
REV. 5.18.15
REV. 4.29.15
3066



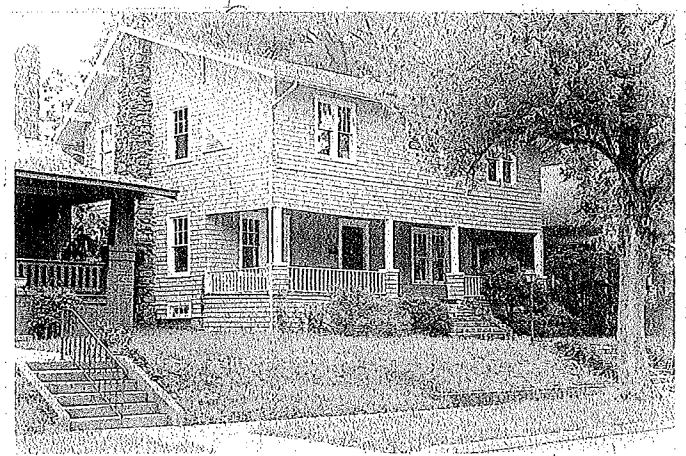
PROPOSED FRONT PORCH WALL SECTION
 SCALE 3/8" = 1'-0"



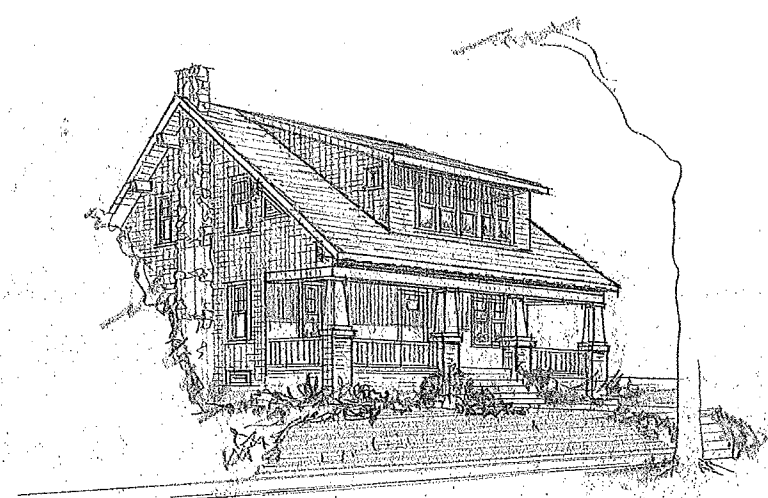
PROPOSED SCREEN PORCH WALL SECTION
 SCALE 3/8" = 1'-0"



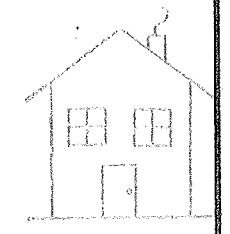
PROPOSED TYPICAL WINDOW
 SCALE 3/4" = 1'-0"



PAST AND PRESENT APPEARANCE



PROPOSED APPEARANCE



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Certificate of Appropriateness

2015-063

REV. 5.12.15
 REV. 4.29.15

PROPOSED RENOVATION FOR: 701 E. WORTHINGTON AVENUE	3.16.15 6066
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