

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1335 Lafayette Avenue

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Josh Allison (Ken Doty, owner)

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a two story Colonial Revival home constructed in 1930. It is listed as a contributing structure in the Dilworth National Register of Historic Places.

*Proposal*

The proposal is a two story addition on the left side and new rear porch. The existing extension and chimney on the left side will not change. Project details include a side chimney, slate roof, wood lap siding and wood windows. The rear porch includes round columns, wood trim and a standing seam metal roof.

**Policy & Design Guidelines – Additions, page 36**

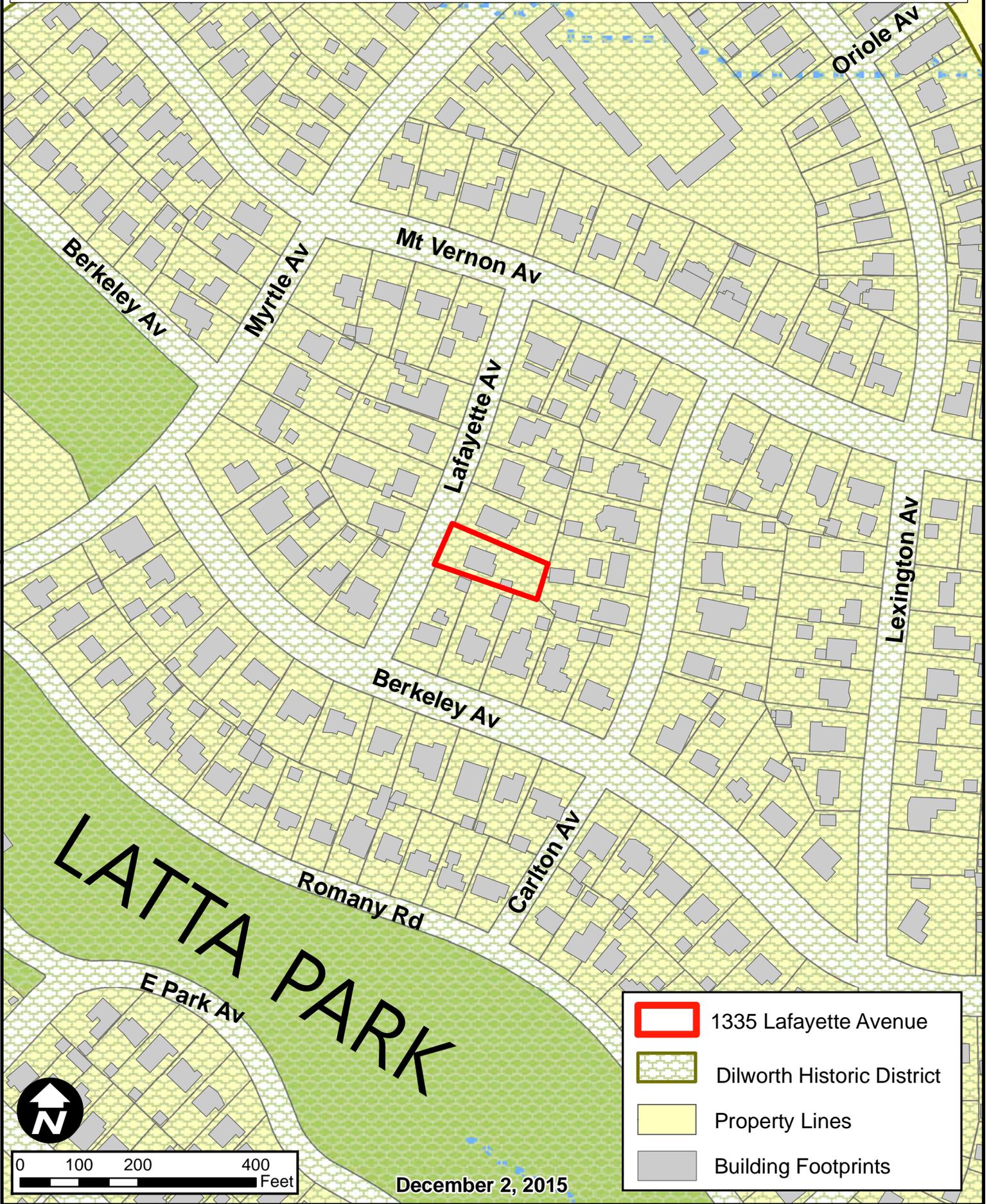
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis** - The Commission will determine if the proposal meets the applicable guidelines for additions.

# Charlotte Historic District Commission - Case 2015-253



-  1335 Lafayette Avenue
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

December 2, 2015

# Doty Residence

Charlotte, NC



JOSH ALLISON ARCHITECTURE PLLC  
2031 Euclid Avenue  
Charlotte NC 28203  
704 996 4949  
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## Project Status

HDC Submittal  
11.24.15

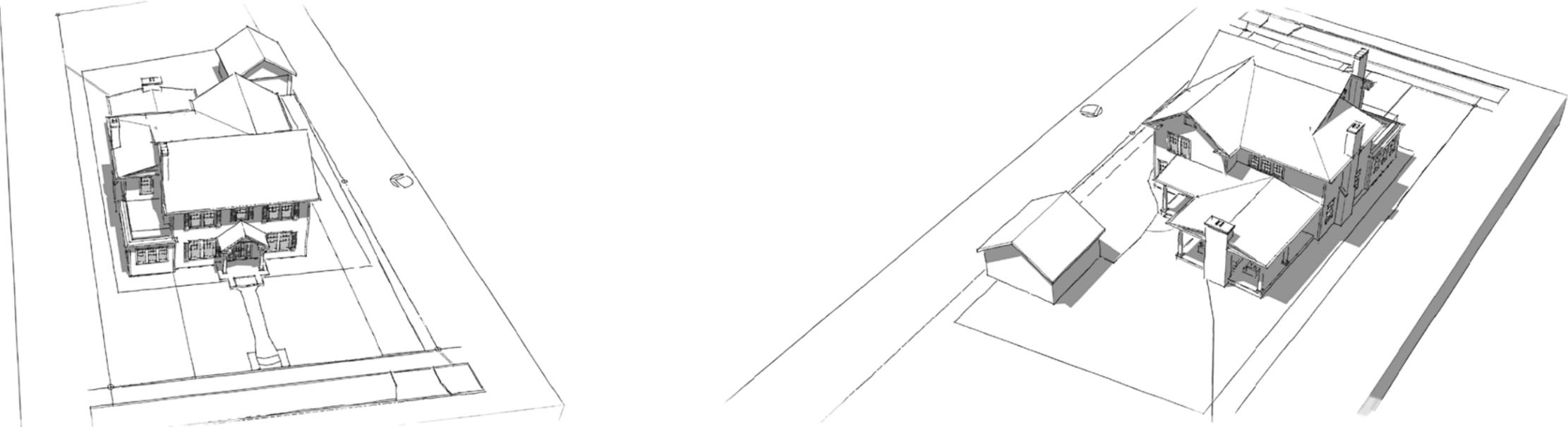
## Project Data

Owner:  
Ken and Meredith Doty  
Site Address:  
1335 Lafayette Ave  
Charlotte, NC 28203

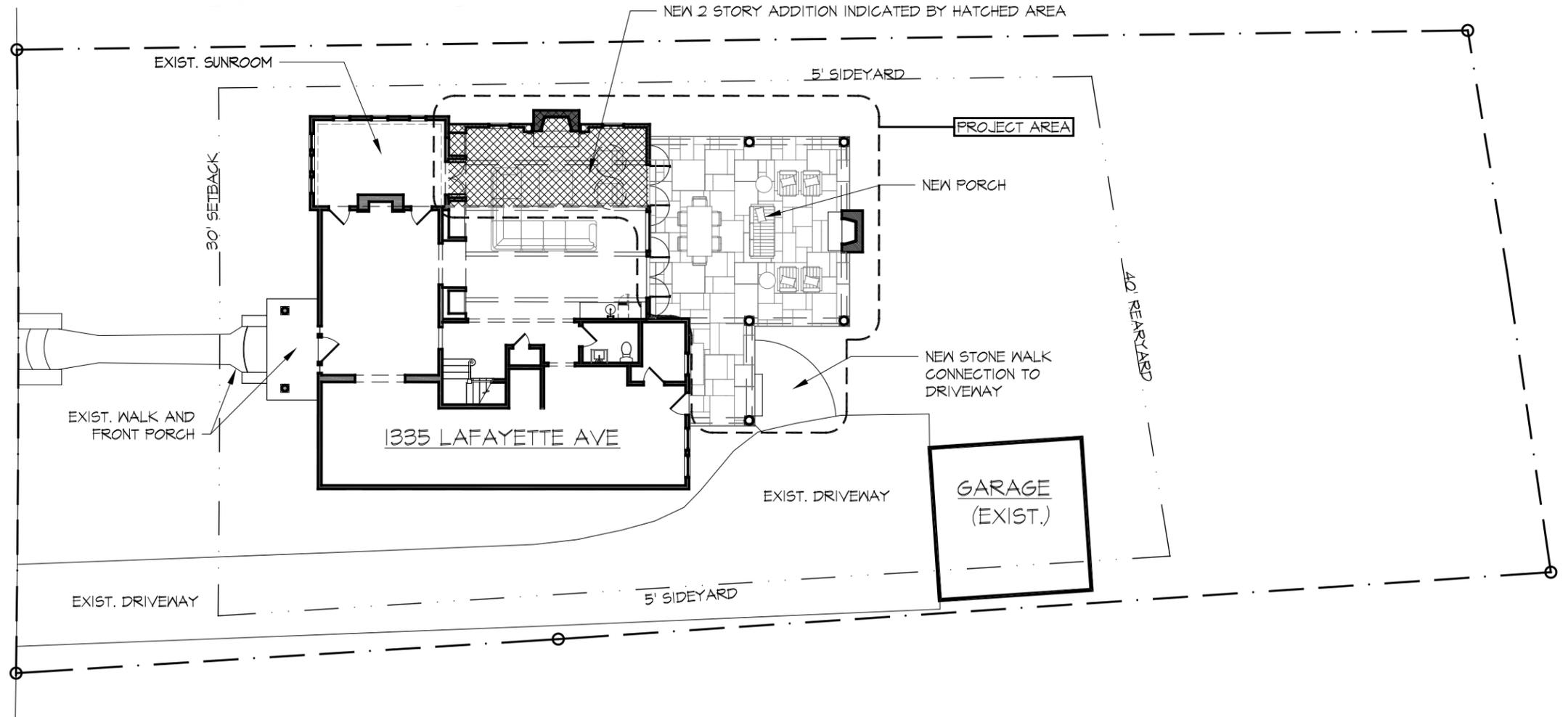
## Drawings

EX-1	Existing Streetscape
EX-2	Existing Photos
EX-3	Existing Photos
EX-4	Existing Floor Plans
EX-5	Existing Elevations
EX-6	Existing Elevations
A1.0	Site Plan
A1.1	Proposed First Floor Plan
A1.2	Proposed Second Floor Plan
A1.3	Proposed Roof Plan
A2.1	Proposed Elevations
A2.2	Proposed Elevations
A2.3	Perspectives
A2.4	Perspectives





LAFAYETTE AVE



**Doty Residence**  
Charlotte, NC

Date: 11.24.15

Project Status:  
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729 Berkely



1332 Lafayette

1326 Lafayette

1320 Lafayette

1314 Lafayette

Adjacent Structures (Opposite Side of Street)

nts



1316 Lafayette



1323 Lafayette



1329 Lafayette



1335 Lafayette  
(Proposed Site)



801 Berkeley



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Adjacent Structures (Same Side of Street)

nts



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Existing Rear Entry



Existing Window Trim (Match)



Existing Fascia and Overhang (Match)



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**02 Existing Left Side Elevation**

1/8"=1'-0"



**01 Existing Front Elevation**

1/8"=1'-0"

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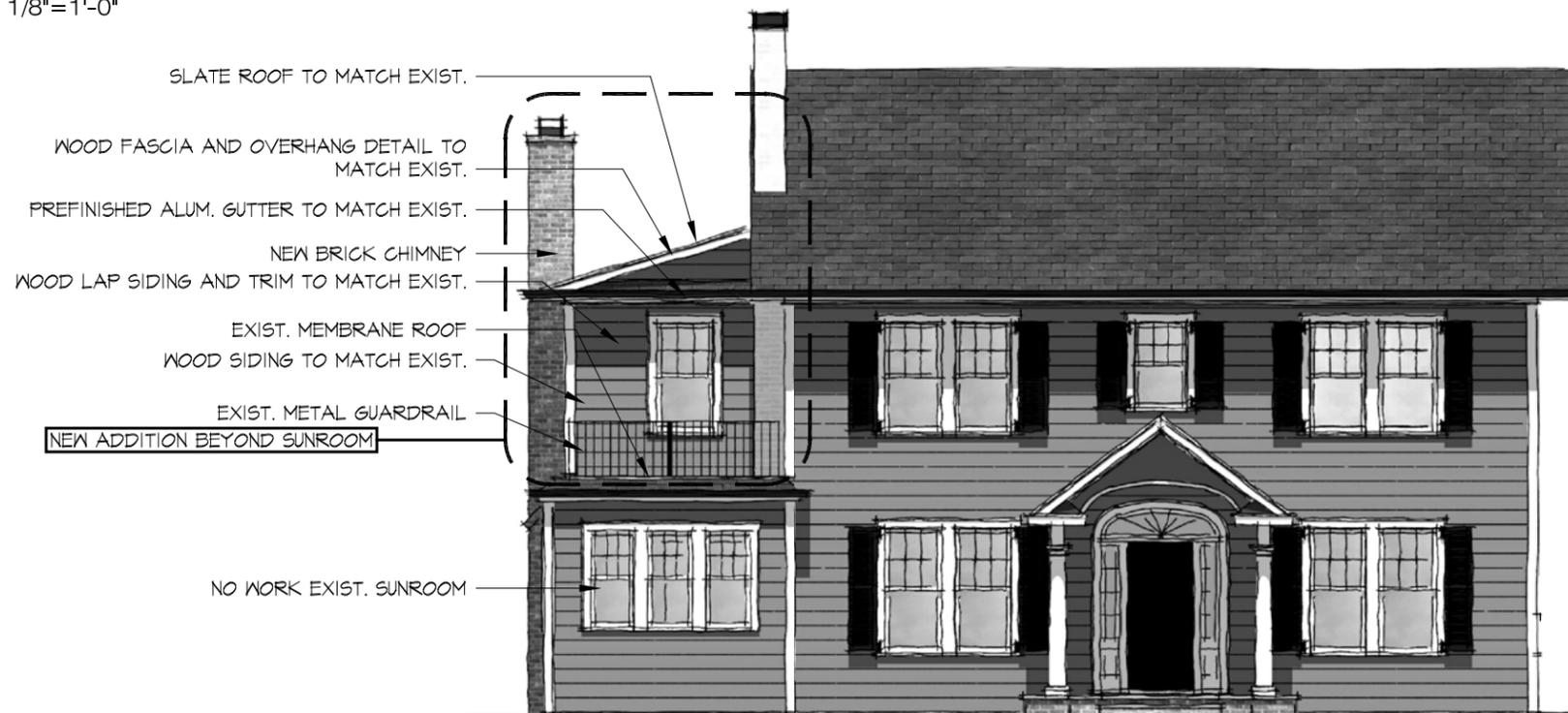
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## 02 Proposed Left Side Elevation

1/8"=1'-0"



## 01 Proposed Front Elevation

1/8"=1'-0"

### Typical Exterior Material Notes

#### MASONRY

- BRICK FOUNDATION: MATCH EXIST. COLOR AND SIZE AS CLOSELY AS POSSIBLE.
- BRICK CHIMNEYS: MATCH EXIST. FOUNDATION COLOR AND SIZE AS CLOSELY AS POSSIBLE.
- PORCH FLOOR: BLUE STONE SET IN ASHLAR PATTERN.

#### WOOD SIDING & TRIM

- SIDING: PINE- LAP PROFILE (8" EXPOSURE) TO MATCH EXIST. INSTALLED W/ HAND DRIVEN STAINLESS STEEL FASTENERS
- CORNER BOARDS: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND). FIELD VERIFY TYPICAL DIMENSIONS
- WINDOW TRIM: MATCH EXIST. DETAIL (5/4 X 5 W/ BACK BAND, 2" SILL) FIELD VERIFY TYPICAL DIMENSIONS.
- FASCIA, SHINGLE MOULD, FRIEZE AND SOFFIT: MATCH EXIST- FIELD VERIFY TYPICAL DIMENSIONS.
- ALL EXTERIOR SIDING AND TRIM TO BE PRE-PRIMED

#### WINDOWS AND DOORS

- WINDOWS AND DOORS: JELD WEN SITELINE-EX WOOD WINDOWS OR EQ. WINDOWS SHALL HAVE 7/8" SDL MUNTIN BARS PERMANENTLY ATTACHED TO INTERIOR AND EXTERIOR FACE OF GLASS WITH INTERNAL SPACER BAR BETWEEN GLASS. SEE ELEVATIONS FOR MUNTIN BAR PATTERN.

#### ROOFING

- SLATE SHINGLES: MATCH EXIST. SLATE AND INSTALL TO CREATE SEAMLESS TRANSITION BETWEEN NEW AND EXIST. AREAS. INSTALL PER MFR. RECOMMENDATIONS AND CODE REQUIREMENTS
- METAL ROOFING: PREFINISHED METAL PANEL WITH STANDING SEAMS. INSTALL PER MFR. RECOMMENDATIONS AND ALL CODE REQUIREMENTS.
- GUTTERS AND DOWNSPOUTS: INSTALL PREFINISHED METAL GUTTER (OGEE PROFILE) AND DOWNSPOUTS TO MATCH EXIST.

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02 Existing Right Side Elevation

1/8"=1'-0"



01 Existing Rear Elevation

1/8"=1'-0"

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**02 Proposed Right Side Elevation**

1/8"=1'-0"



**01 Proposed Rear Elevation**

1/8"=1'-0"

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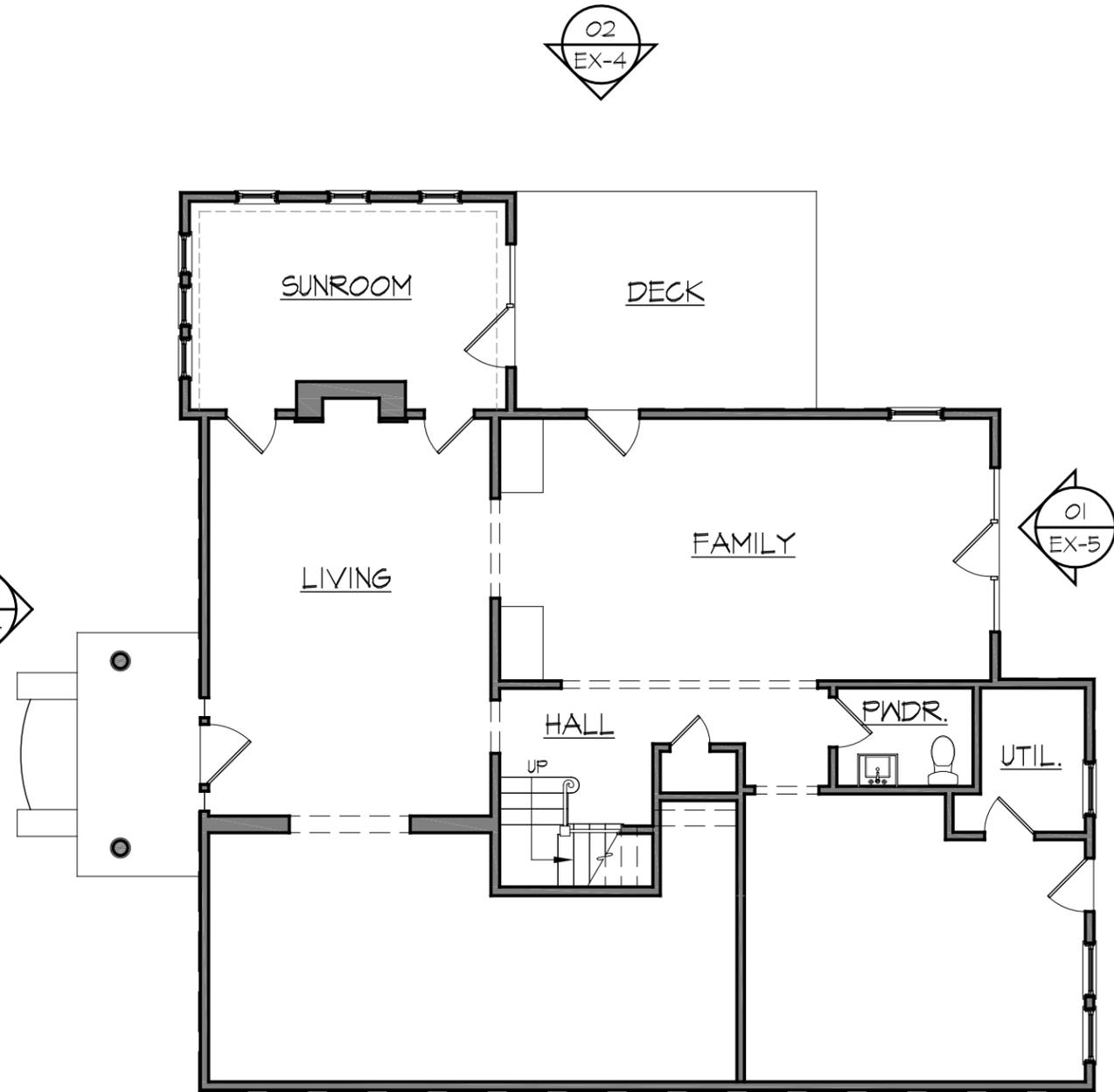
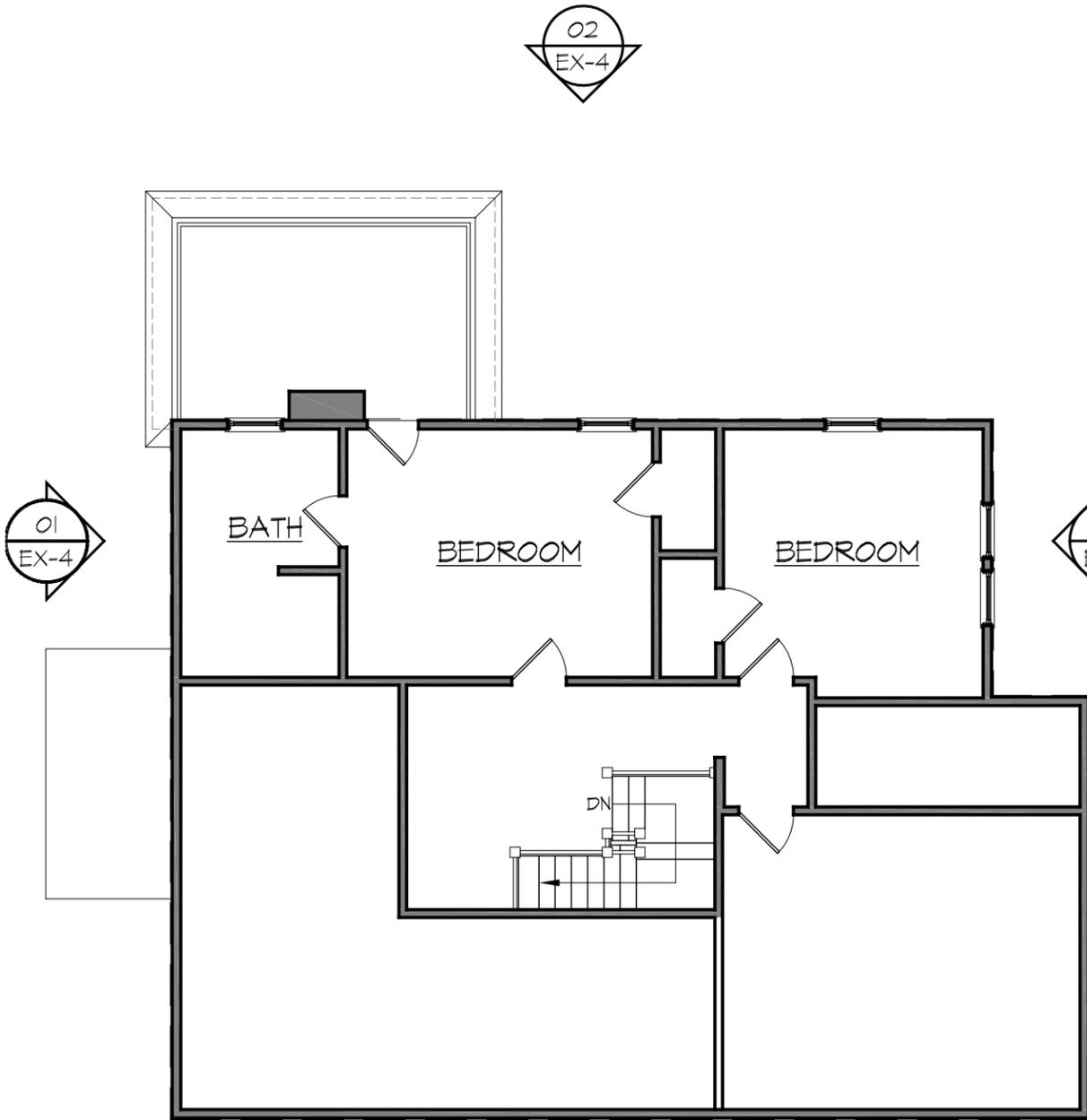
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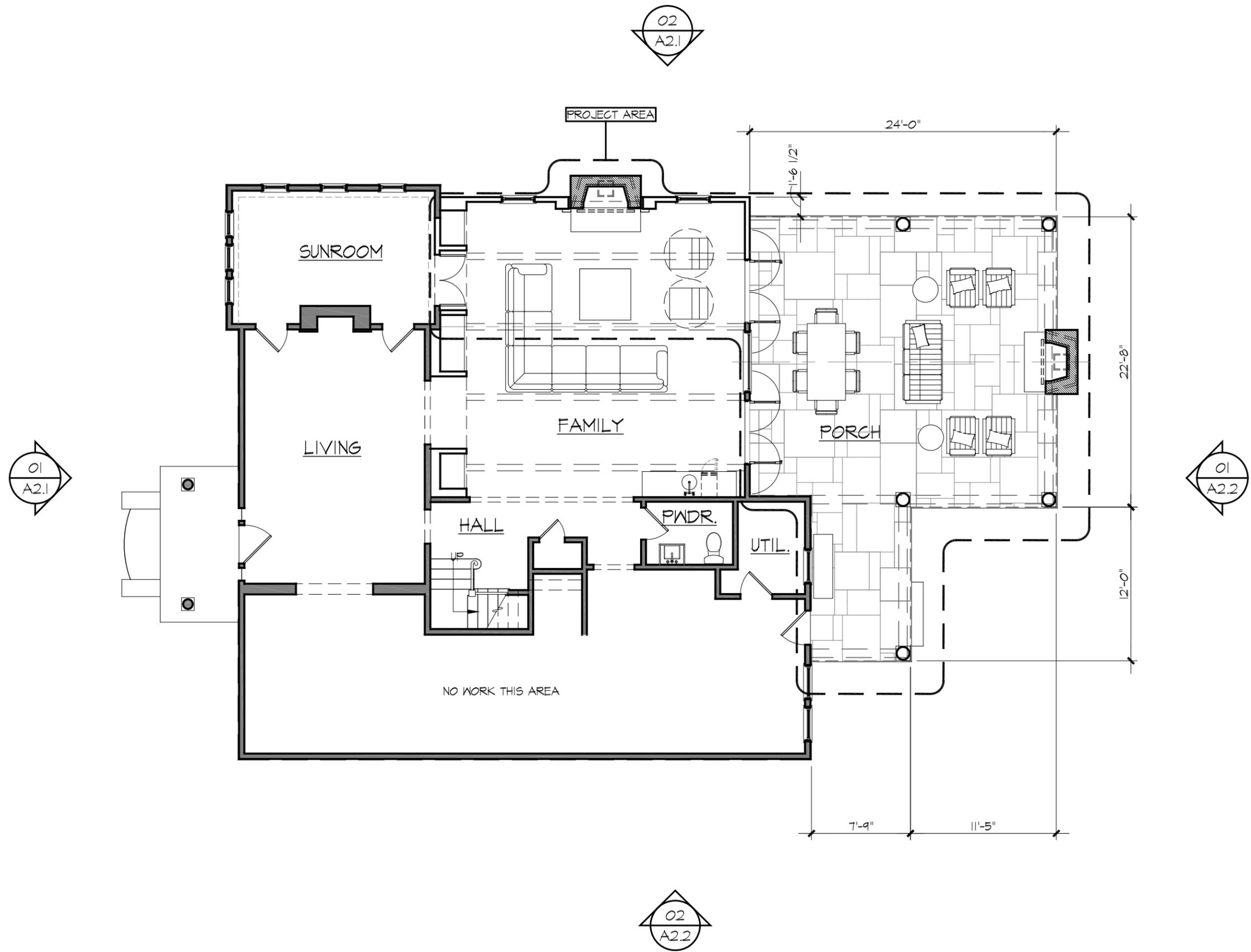
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**02 Existing Second Floor Plan**  
1/8"=1'-0"

**01 Existing First Floor Plan**  
1/8"=1'-0"



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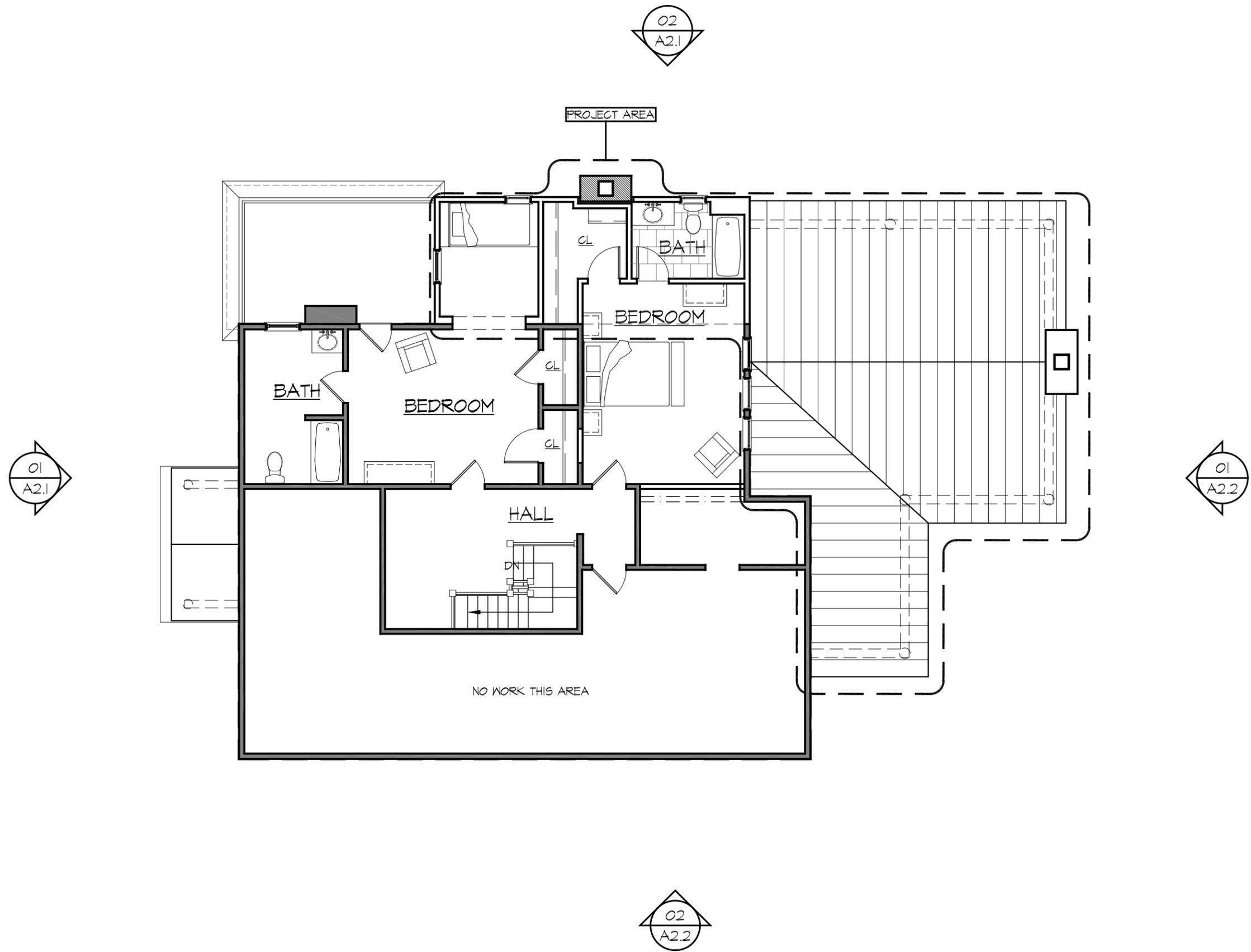
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**01 Proposed First Floor Plan**

1/8"=1'-0"



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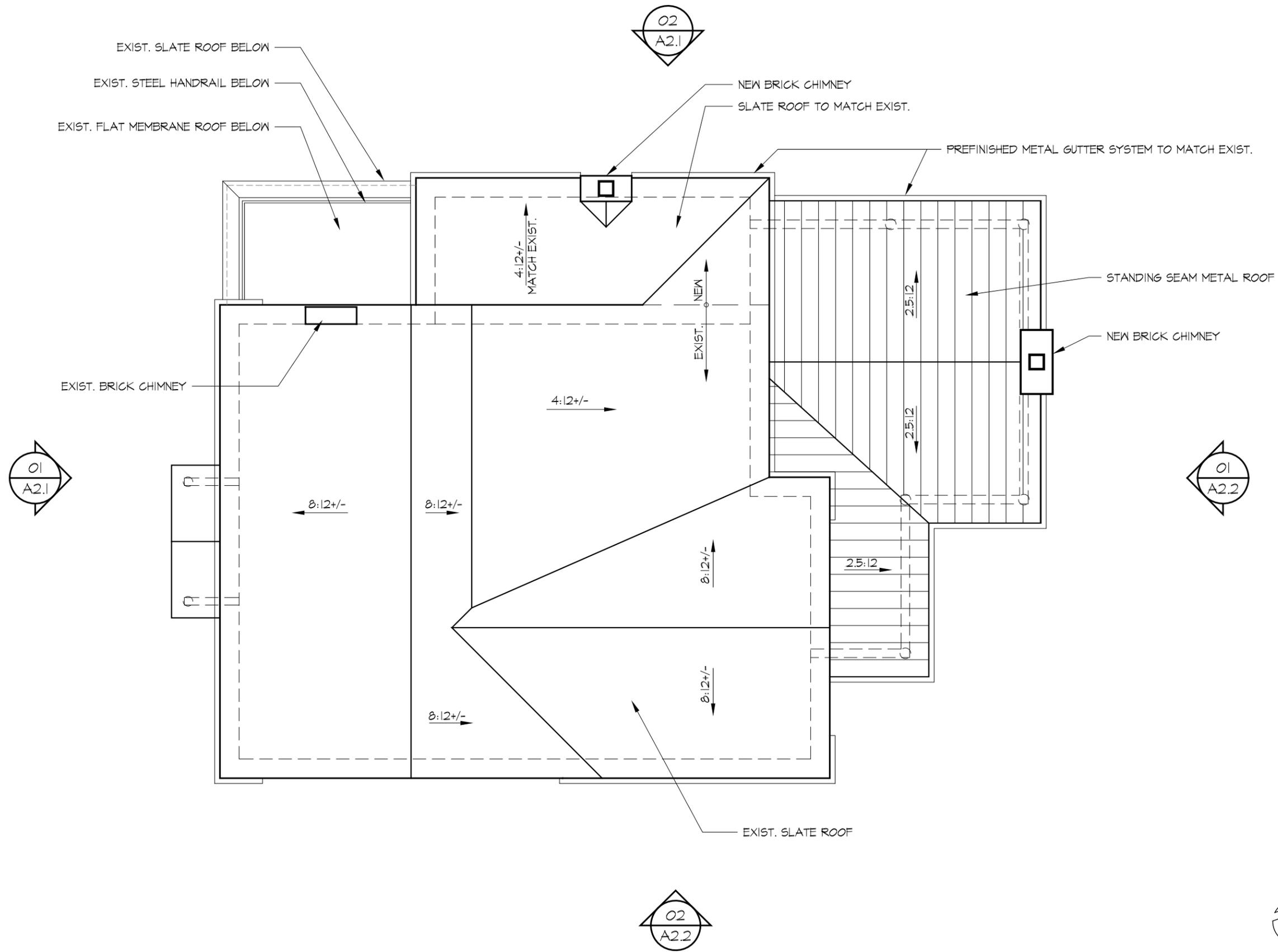
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**01 Proposed Second Floor Plan**

1/8"=1'-0"



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**01 Proposed Roof Plan**

1/8"=1'-0"