

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 804 East Kingston Avenue

**SUMMARY OF REQUEST:** Addition, fenestration changes, garage demolition, driveway and tree removal.

**APPLICANT/OWNER:** Keith Wesolowski

The application was continued for more information.

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a 1.5 story Bungalow constructed in 1920 and listed as a contributing structure in the Dilworth National Register of Historic Places.

The proposal includes a rear porch addition and upper level expansion that raises the existing ridge approximately 2'-5" to the principal structure. Elements of the rear of the house will be removed. The additions will have materials and details to match the existing house. A door on the left side of the front facade will be replaced with a window. New windows are wood Simulated True Divided Light (STD). A new driveway will be extended to the rear yard, a mature tree on the right side will be removed and a new tree planted in the rear yard. An existing garage will be demolished.

*Updated Proposal*

New information in the application includes an updated height survey, elevations that show the existing house and the house with proposed additions.

**Policy & Design Guidelines – Additions, page 36**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	the relationship of the project to its site
b. <b>Scale</b>	the relationship of the building to those around it
c. <b>Massing</b>	the relationship of the building's various parts to each other
d. <b>Fenestration</b>	the placement, style and materials of windows and doors
e. <b>Rhythm</b>	the relationship of fenestration, recesses and projections
f. <b>Setback</b>	in relation to setback of immediate surroundings
g. <b>Materials</b>	proper historic materials or approved substitutes
h. <b>Context</b>	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

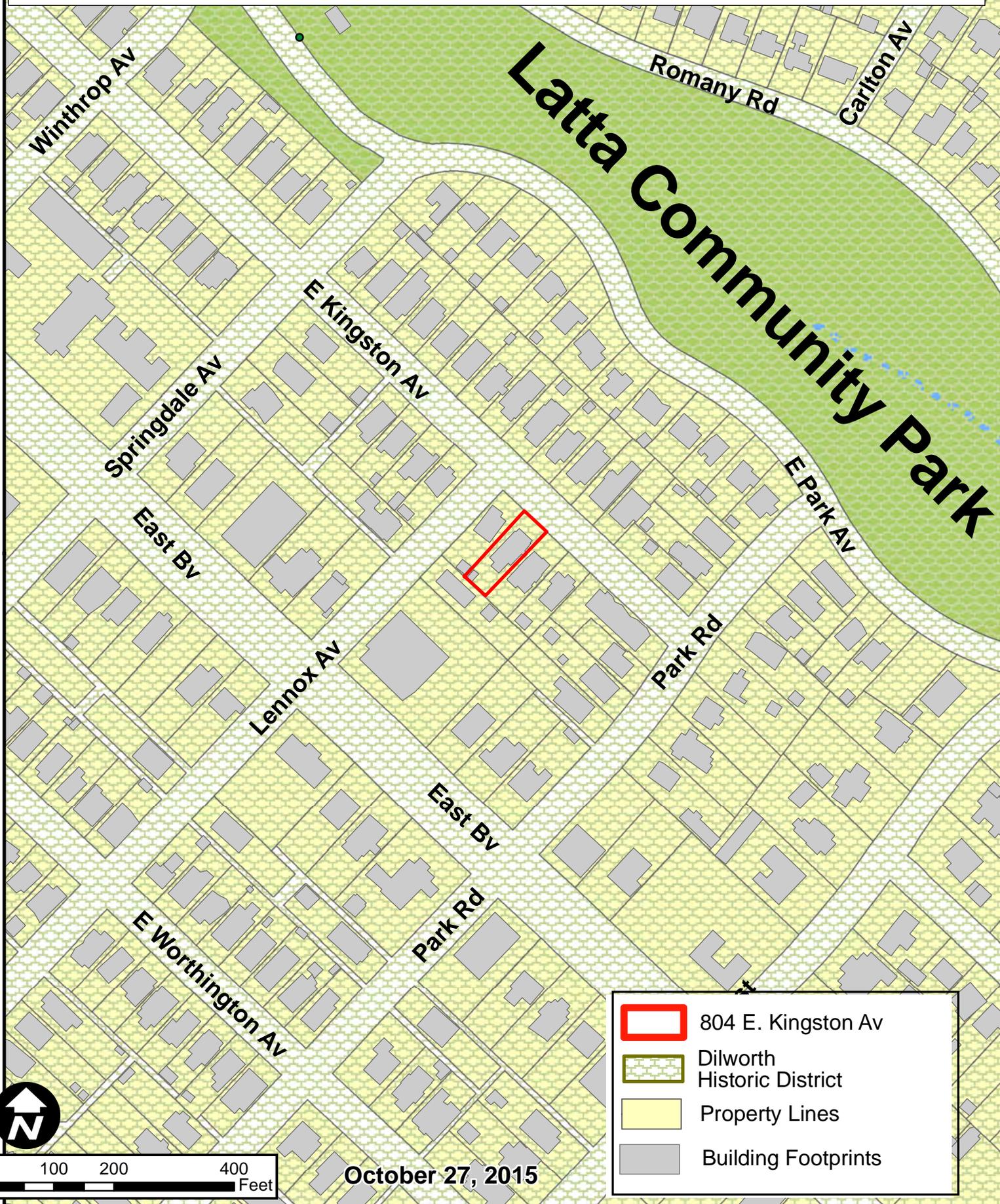
**Policy & Design Guidelines – Windows and Doors, page 26**

1. All replacement doors and windows should retain the same configuration and details as the originals.
2. Replacing panes with stained, leaded, or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
3. All replacement windows must have either true divided lights, or molded exterior muntins, if appropriate. Flat exterior or interior false muntins are not in keeping with the character of most older structures. Muntin design must reflect the original window configuration. False muntin bars, if used, will be permanently affixed to the exterior of the new windows.
4. Ideally, window and door openings cannot be reduced or enlarged in size. When approved, alterations to window and door openings must remain in proper proportion to the overall design of the building.
5. All newly installed and replacement windows must have proper trim that recognizes historic precedent on the building and its context.
6. Sensitively designed exceptions to these guidelines will be considered by the Historic District Commission when such proposals are intended to accommodate the adaptive reuse of older structures.
7. Glass block replacement windows are allowed only on side and rear elevations. Only one such change is allowable per elevation. Such windows are eligible for administrative approval if the window opening is not altered.

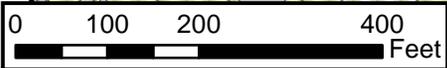
**Staff Analysis**

The HDC will determine if the project meets the Additions guidelines for Size, Scale, Massing, Context, Rhythm, Fenestration and Materials.

# Charlotte Historic District Commission - Case 2015-238



	804 E. Kingston Av
	Dilworth Historic District
	Property Lines
	Building Footprints



October 27, 2015

804 E. KINGSTON AS SEEN FROM THE STREET



DEMO CHIMNEY NOT SEEN FROM ROAD



PICTURE SHOWING TREE BLOCKING ACCESS TO REAR YARD

PICTURE SHOWING REAR OF HOUSE LOOKING DOWN LEFT SIDE  
SHED ADDITION SHOWN ON LEFT OF PHOTO



SHED ADDITION AS SHOWN FROM REAR



DECK AND SHED ADDITION FROM REAR



POSSIBLY CONVERTED PORCH FOUNDATION



STREET VIEW FRONT LEFT



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Restoration/Renovation  
804 E. Kingston Ave  
Charlotte, NC 28203

DRAWINGS PROVIDED BY:  
Ram Design Build  
401 Rensselaer Ave  
Charlotte, NC 28203

DATE:

11/30/2015

SCALE:

SHEET:

A-1

STREET VIEW

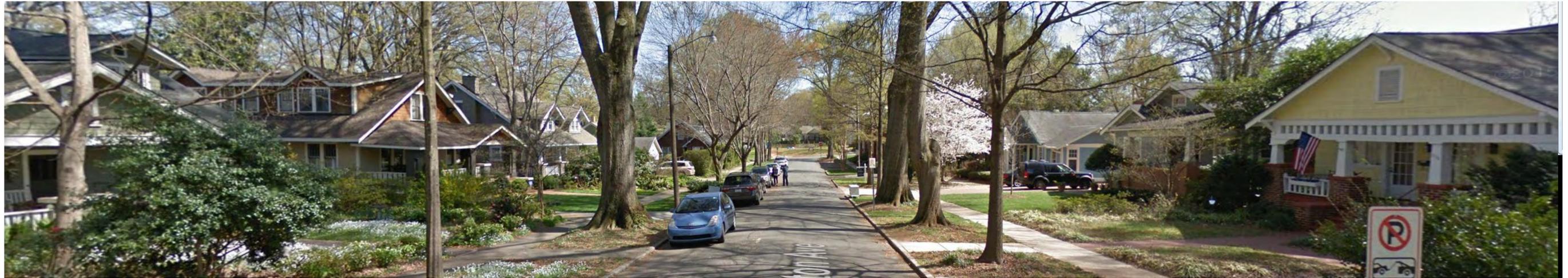


808 E. KINGSTON AVE.

804 E. KINGSTON AVE.

802 E. KINGSTON AVE.

STREET VIEW



VIEW OF 804 AS SEEN FROM LENNOX



REAR EXISTING 804 E. KINGSTON



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11/30/2015

SCALE:

SHEET:

A-2





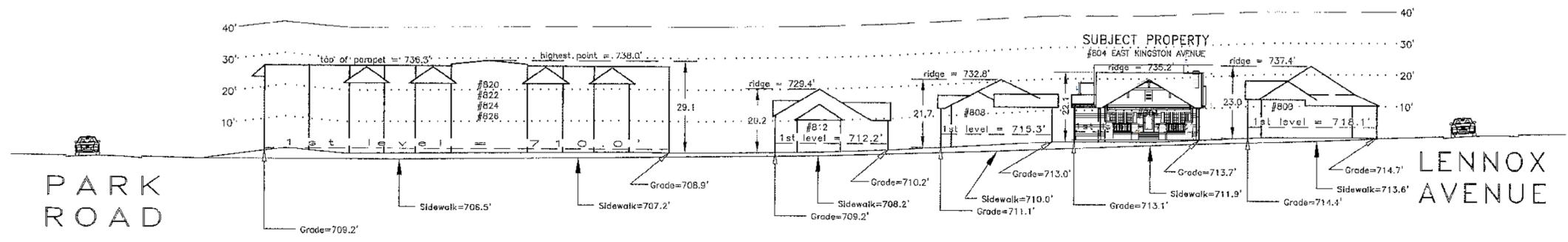
I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon and is not intended to meet G.S. 47-30 recording requirement

This 9th day of November, 2015.



A.G. Zoi  
Andrew G. Zoi  
Professional Engineer  
NC License No.

NUMBER	DATE	REVISION	DESCRIPTION



# EAST KINGSTON AVENUE

**A.G. ZOUTEWELLE**  
**SURVEYORS**  
 1418 East Fifth St. Charlotte, NC 28204  
 Phone: 704-372-9444 Fax: 704-372-9555  
 Firm Licensure Number C-1054

Copyright 2015  
 Building Heights Sketch of  
**800 BLOCK of EAST KINGSTON AVENUE**  
 FACING SOUTHWEST - EVEN SIDE  
 CHARLOTTE, MECKLENBURG COUNTY, N.C.  
 for Charlotte-Mecklenburg Planning Department  
 November 09, 2015

General Notes:  
 1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearward or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural

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SCALE:

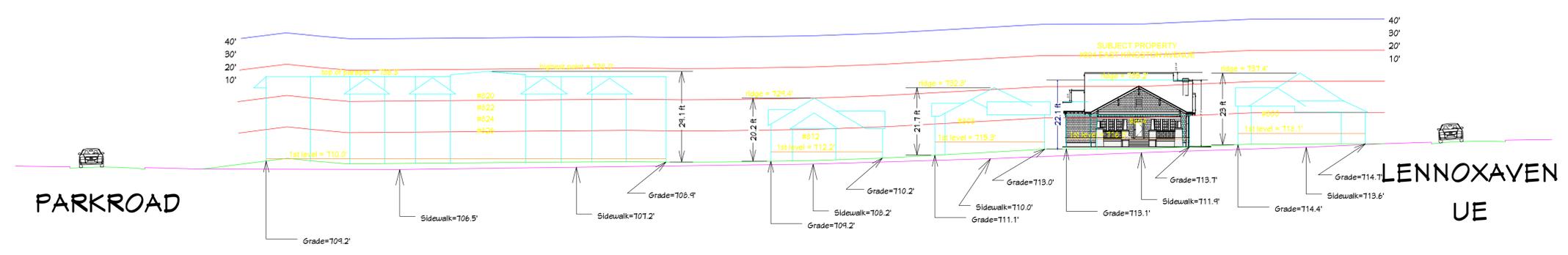
1"=20'

SHEET:

A-7



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# EAST KINGSTON AVENUE

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401 Rensselaer Ave.  
Charlotte, NC 28203

DATE:

11/10/2015

SCALE:

1"=20'

SHEET:

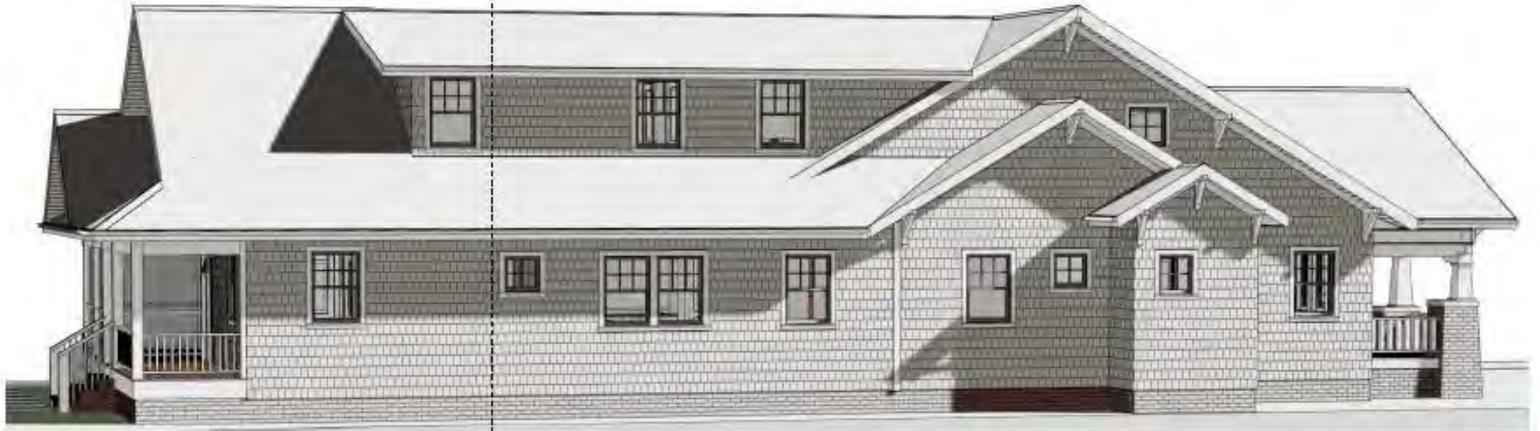
A-7

804 KINGSTON AVE  
PRELIMINARY DRAWINGS



Addition Area - Remove Deck and Existing Addition

804 KINGSTON AVE  
PRELIMINARY DRAWINGS



Proposed Left View



Proposed Rear View



NUMBER	DATE	REVISION	DESCRIPTION

AS-BUILT AND SURVEY

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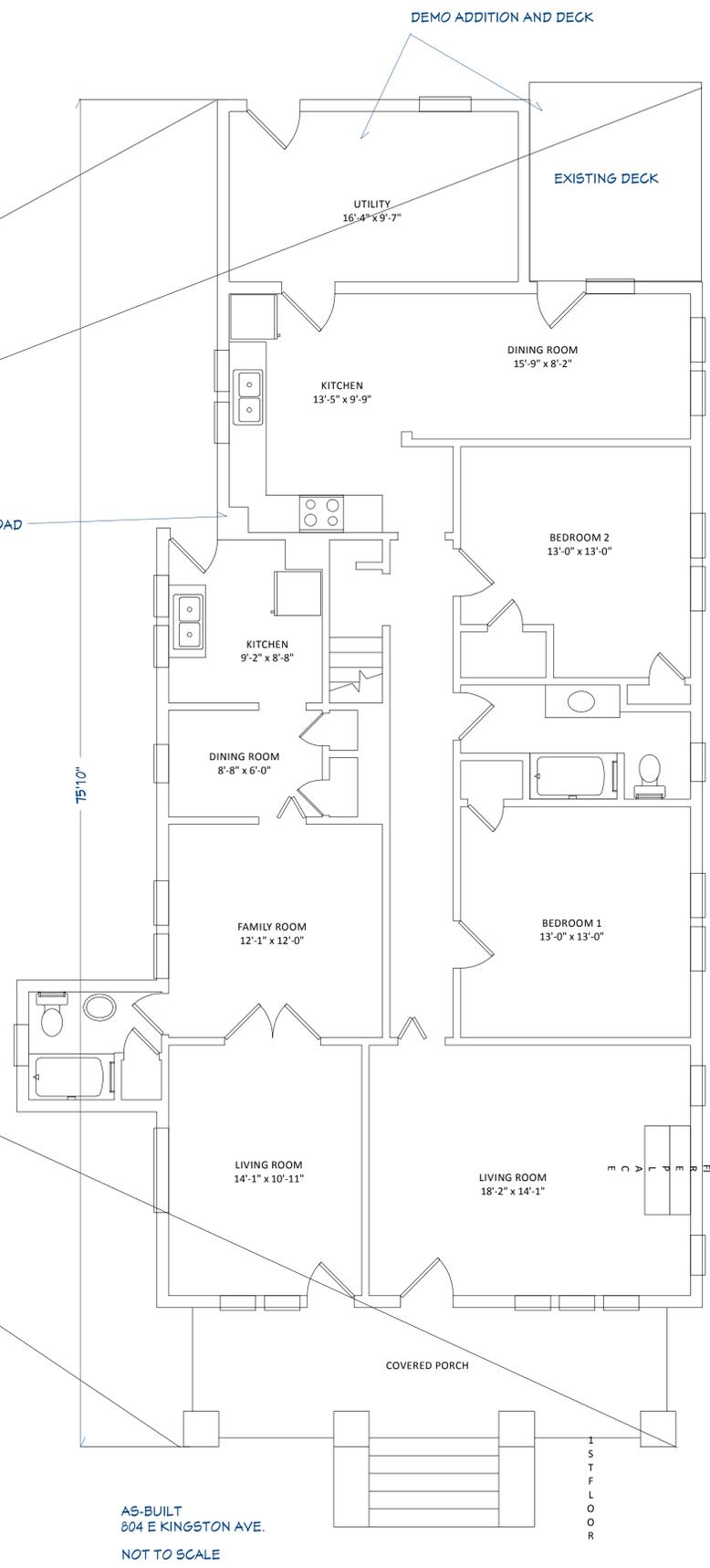
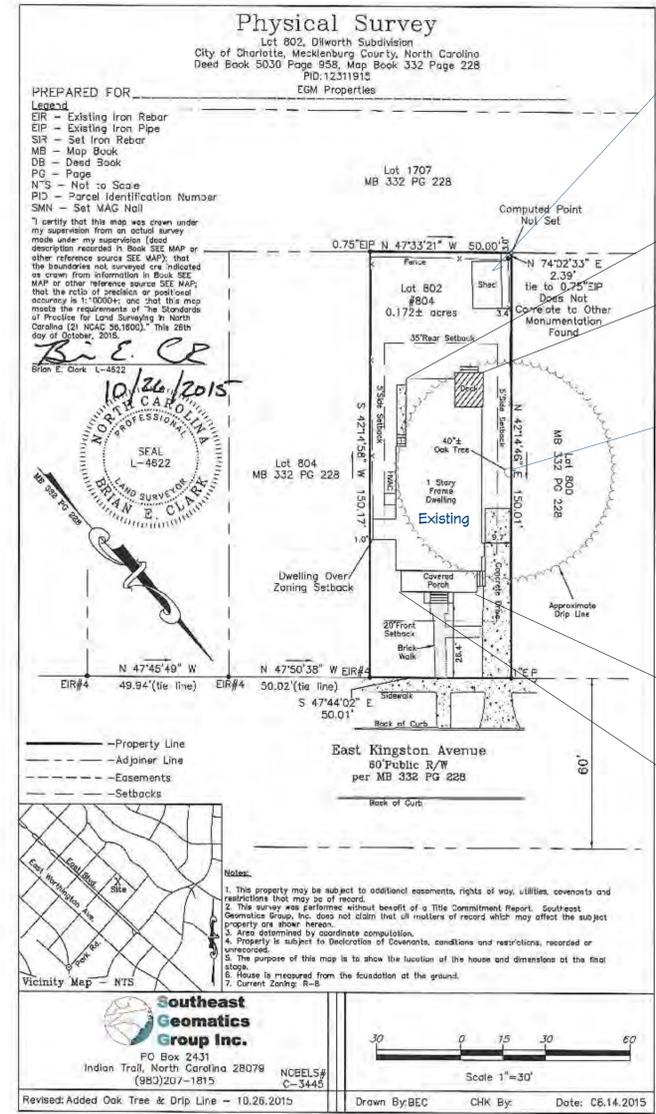
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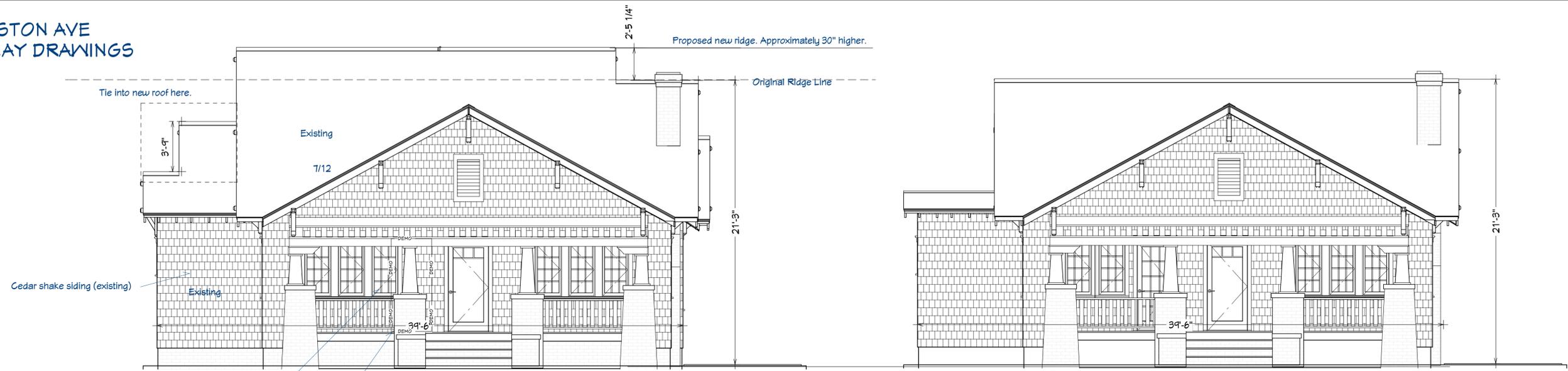
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SHEET:

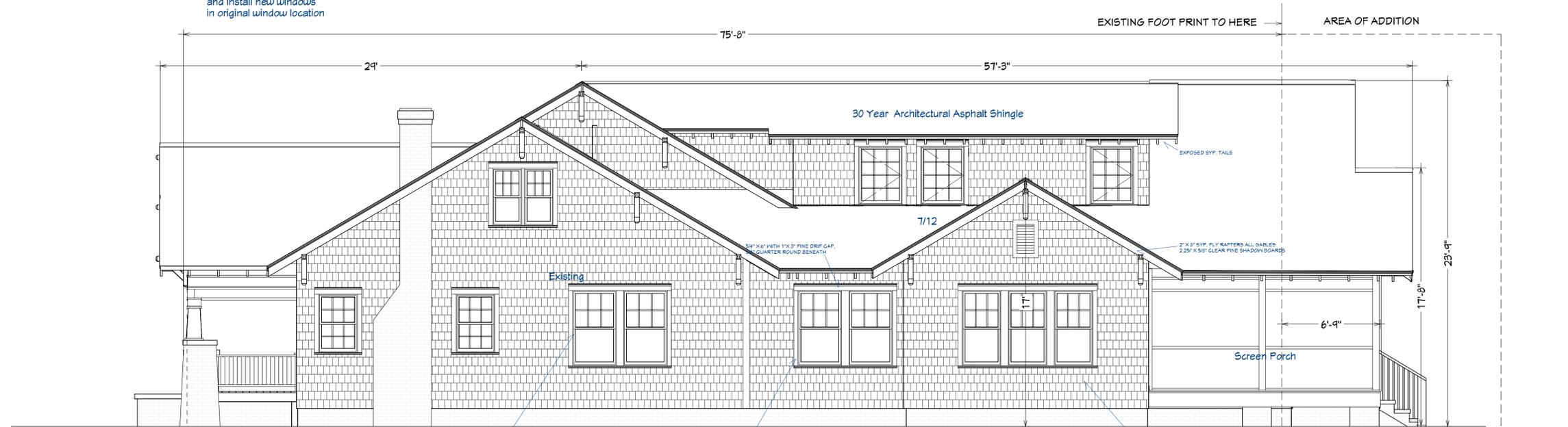
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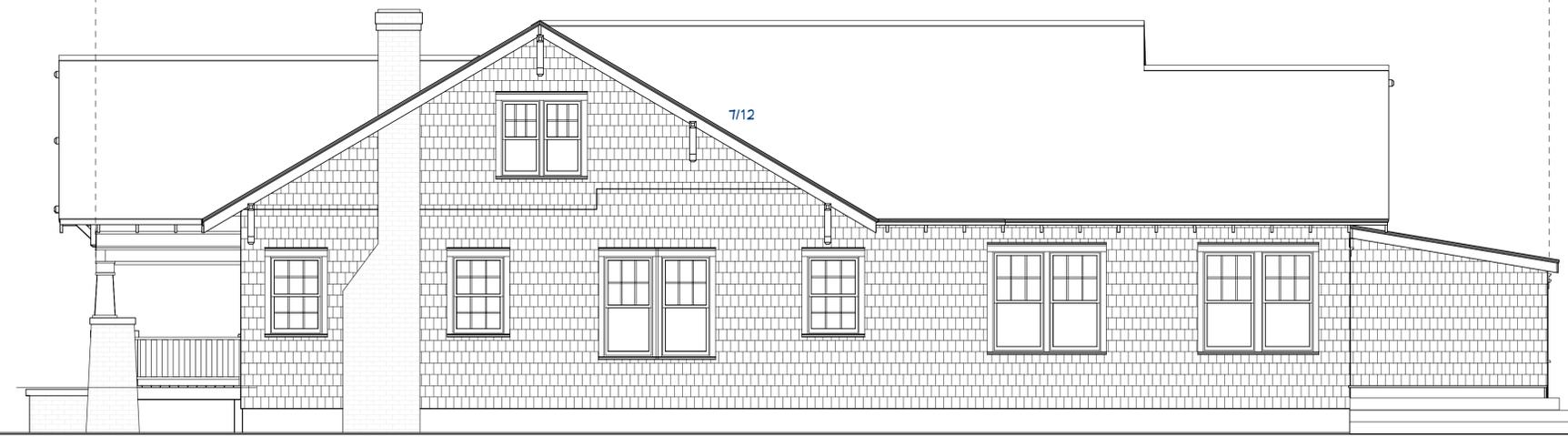


**Proposed Front Elevation**  
New windows to match existing (All wood - Jeld-Wen Site Line EX)  
Remove duplex entry door and install new windows in original window location

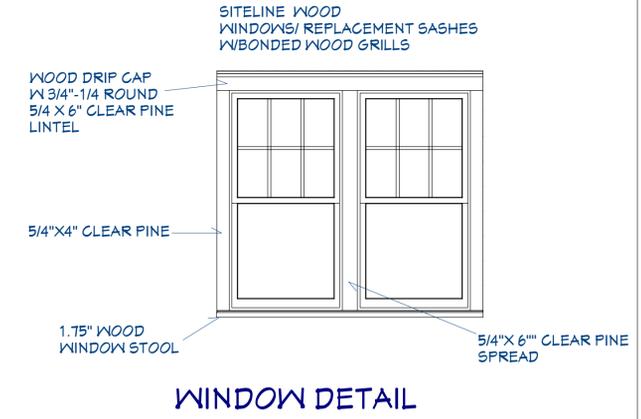
**Existing Front Elevation**



**Proposed Right Elevation**  
New Jeld-Wen Sitaline All wood with bonded grill.  
CEDAR SHAKE TO MATCH EXISTING



**Existing Right Elevation**



**WINDOW DETAIL**

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ELEVATIONS

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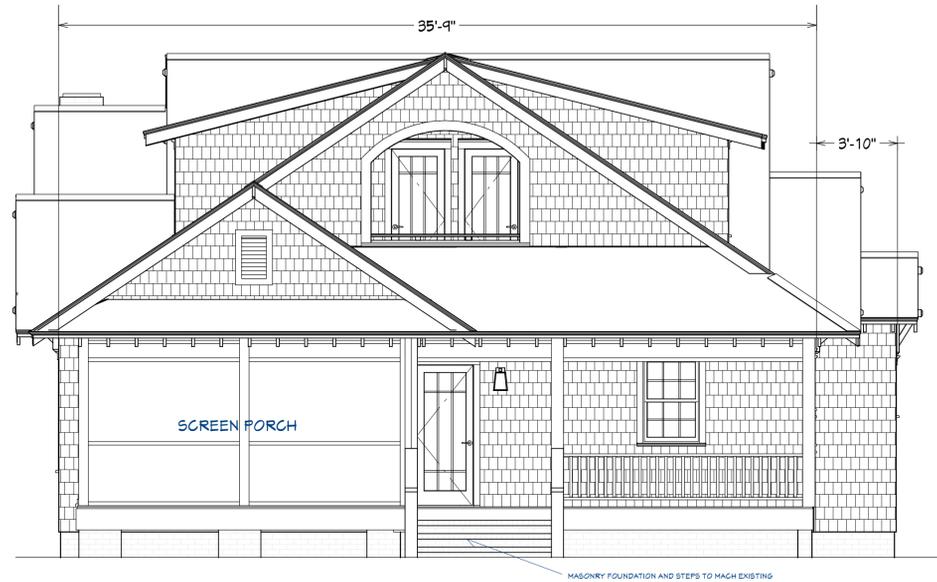
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SCALE:

1/4"=1'

SHEET:

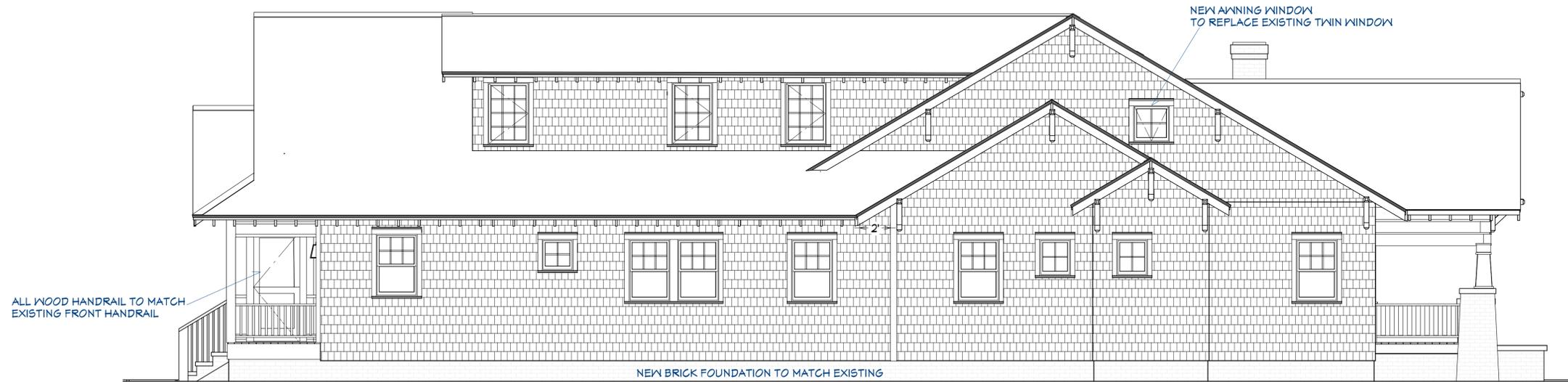
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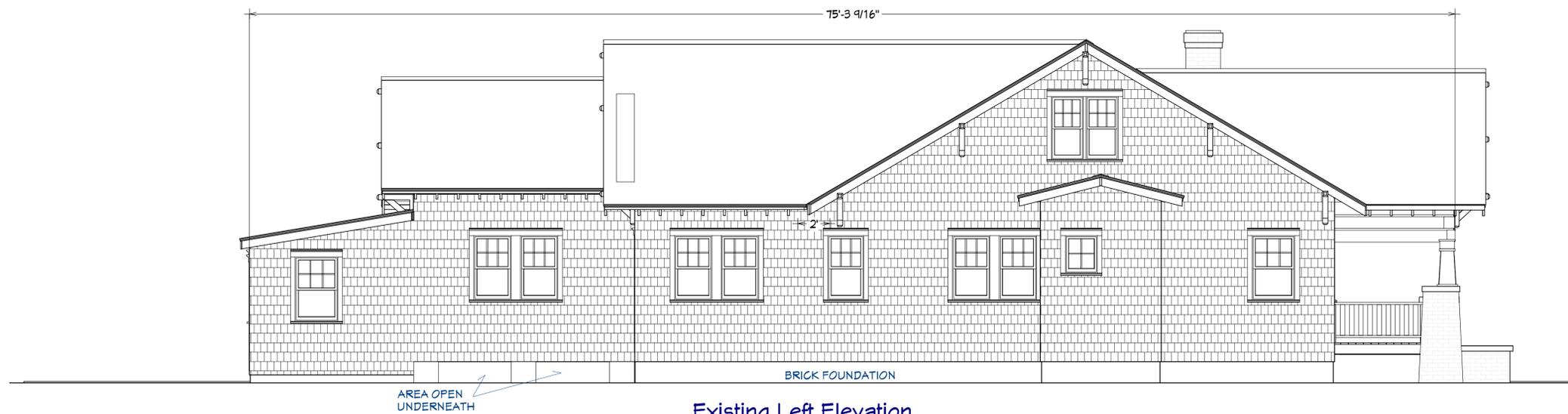
Proposed Rear Elevation



Existing Rear Elevation



Proposed Left Elevation



Existing Left Elevation

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DATE:

11/30/2015

SCALE:

1/4"=1'

SHEET:

A-5

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PLOT PLAN

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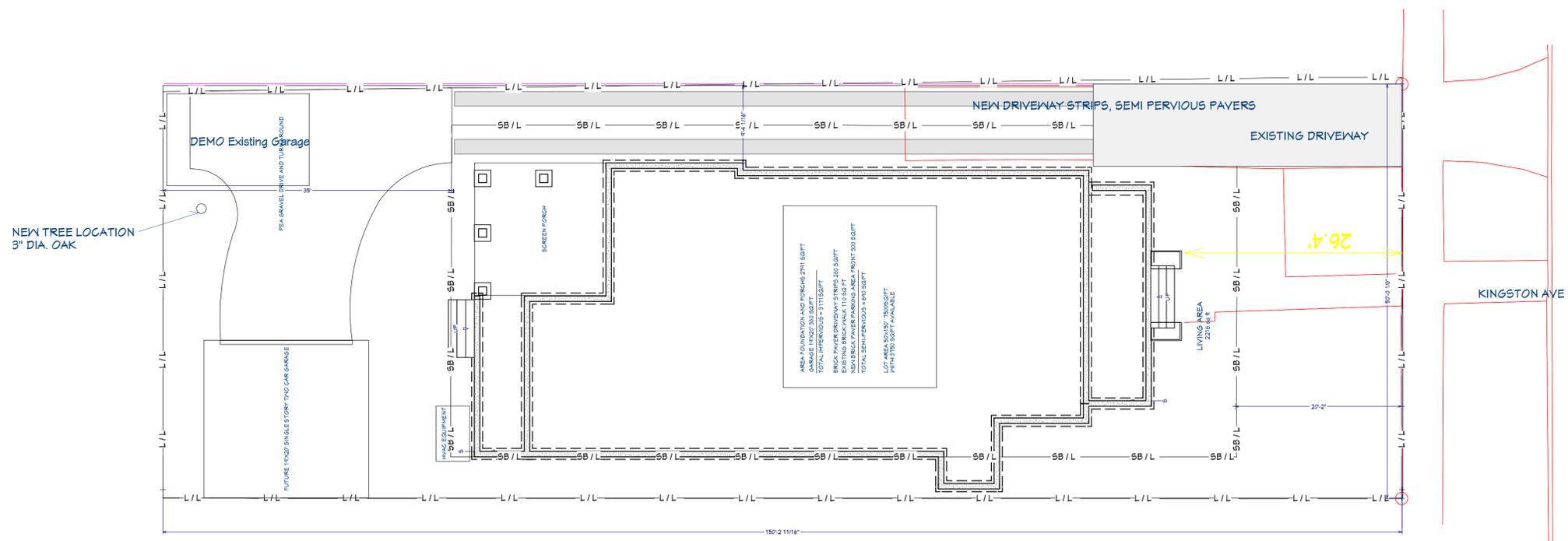
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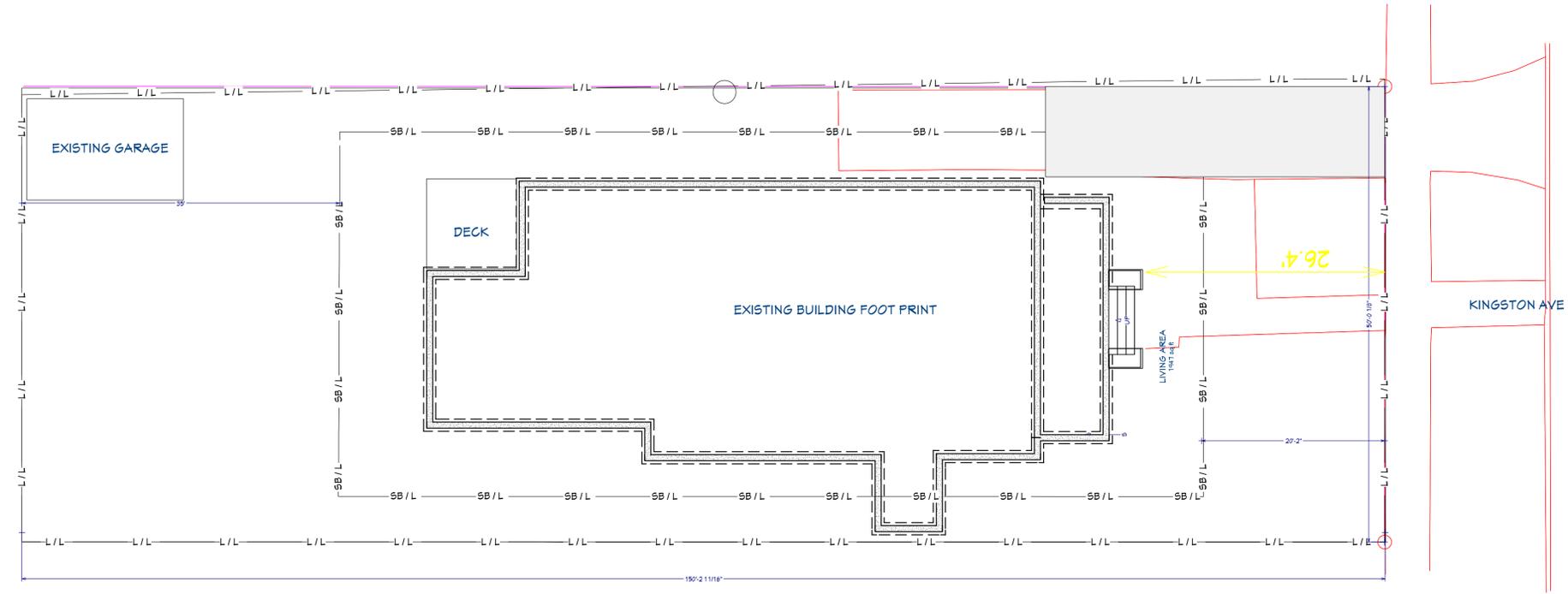
1/8"=1'

SHEET:

A-6



Proposed Plot Plan



Existing Plot Plan



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FRONT RENDERING WITH RIDGE EXTENSION



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