

LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 304 S. Summit Avenue

SUMMARY OF REQUEST: Addition

APPLICANT: Chris Rogers

Details of Proposed Request

Existing Conditions

The existing structure, c. 1925, is a one story bungalow with a front facing gable over a full front porch. The house is at the corner of West 4th Street and South Summit Avenue.

Proposal

The proposal is a rear shed dormer addition and the addition of paired, wood STDL windows in the existing right side gable to match the left side. Materials and details of the shed dormer will match the existing house. The dormer width is approximately 18’.

Policy & Design Guidelines - Additions

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

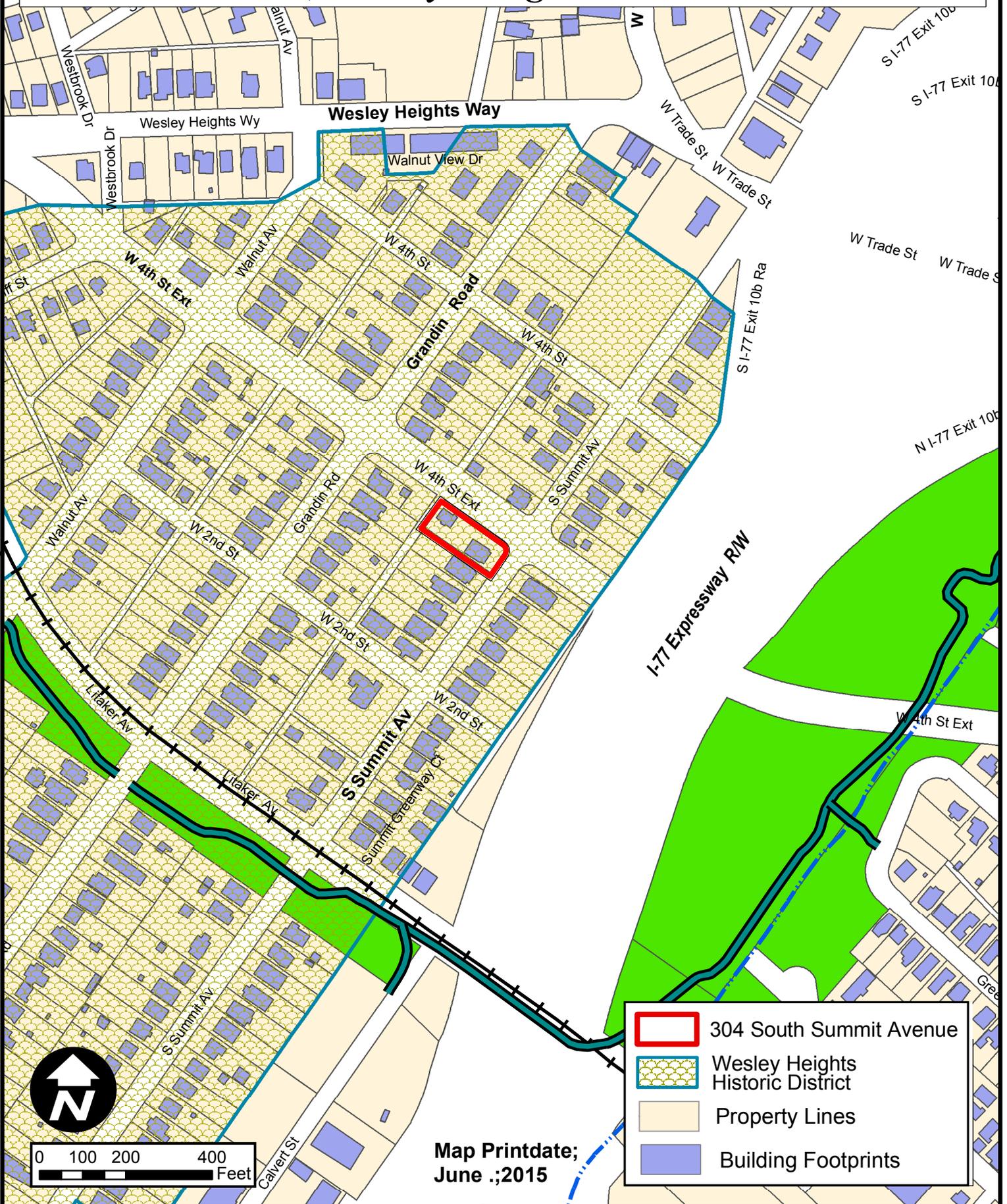
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The HDC will determine if the proposal meets the guidelines for Size, Scale, Massing, Fenestration, Rhythm, Materials and Context.

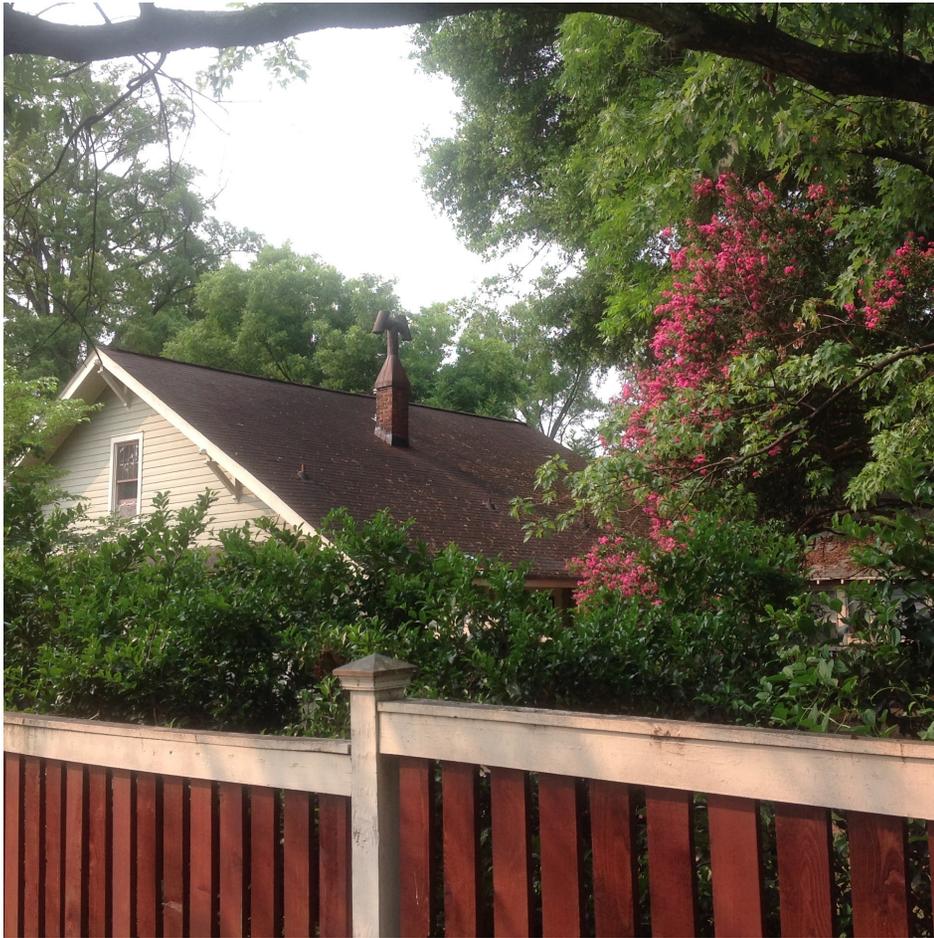
Charlotte Historic District Commission - Case 2015-130

Historic District; Wesley Heights



-  304 South Summit Avenue
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints

Map Printdate;
June ., 2015





**EXISTING
ELEVATIONS**



2³

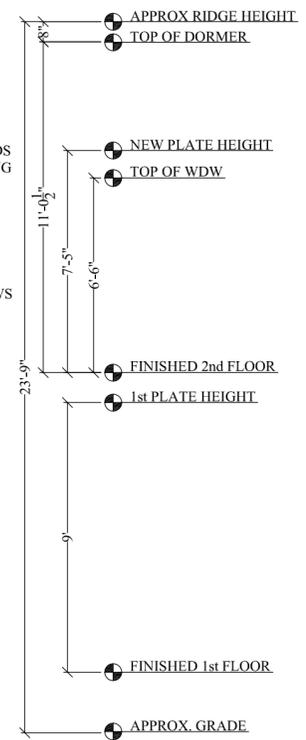
DRAFTSMAN

MATT JOHNSON
222 W. PARK AVE
CHARLOTTE, NC
28203
704.609.3253

BUILDER:



1 RIGHT ELEVATION - AS BUILT
A3 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - RENOVATED
A3 SCALE: 1/4" = 1'-0"

PROPOSED RENOVATION
ROGERS RESIDENCE
304 S. SUMMIT AVE
CHARLOTTE, NC 28208

SHEET:
A3

4. 3. 13

REV:
4.18.13

2³

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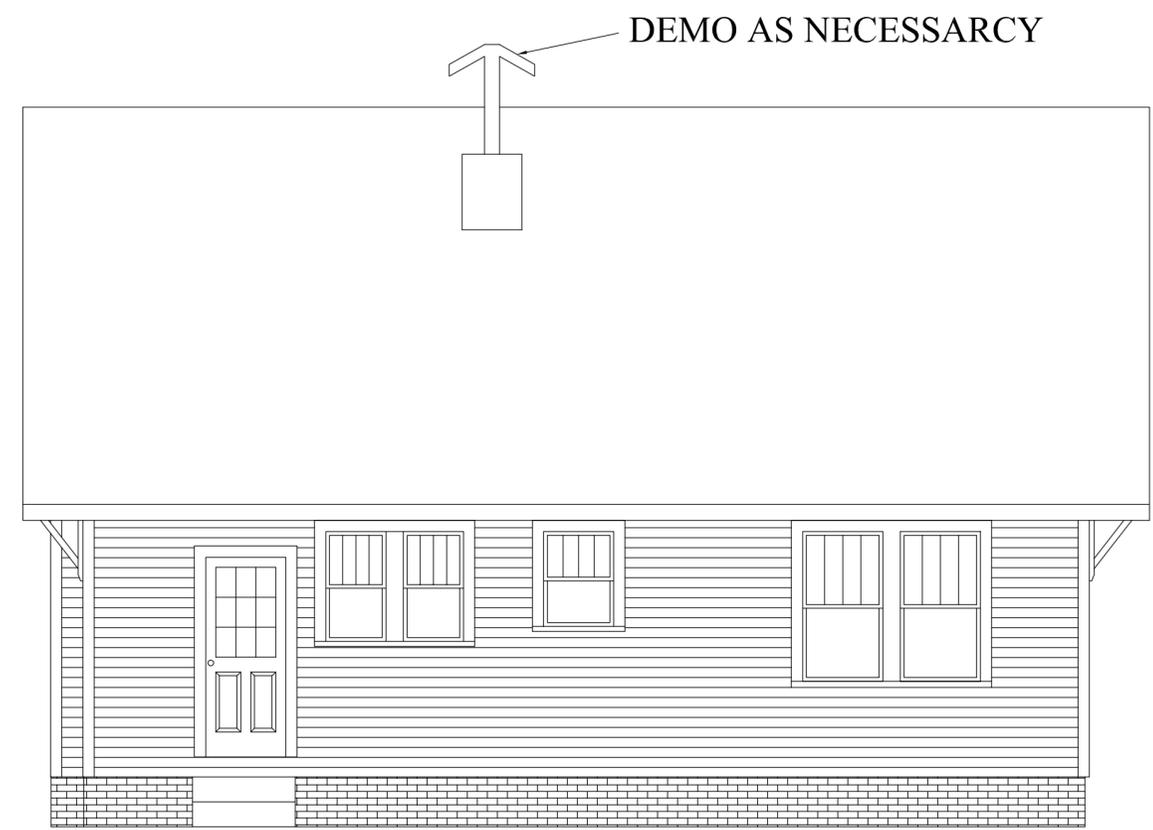
SHEET:

A4

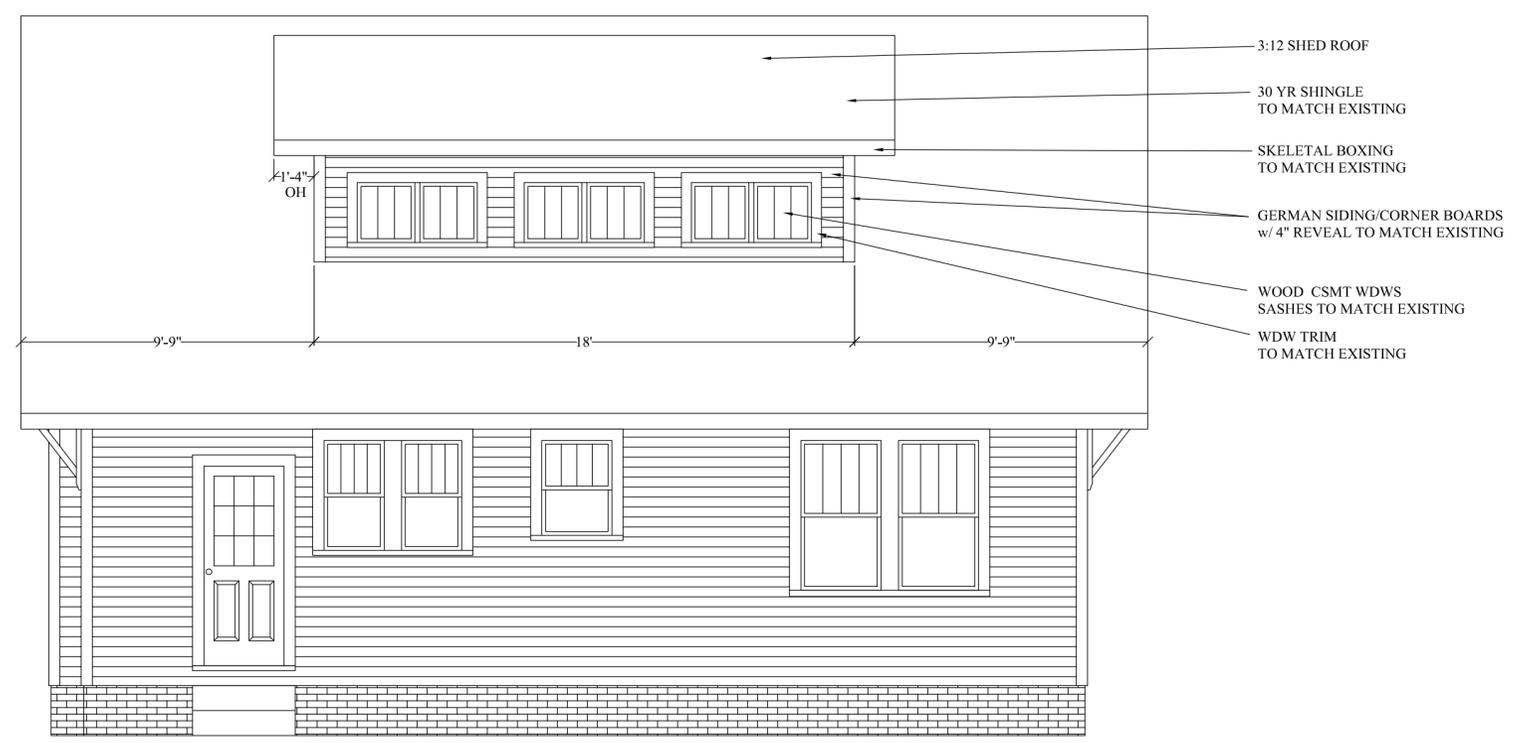
4. 3. 13

REV:
4.18.13

DEMO AS NECESSARY



1 REAR ELEVATION - AS BUILT
A4 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION - RENOVATED
A4 SCALE: 1/4" = 1'-0"

2³

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BUILDER:



1 LEFT ELEVATION - AS BUILT
A5 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION - RENOVATED
A5 SCALE: 1/4" = 1'-0"

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SHEET:

A5

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REV:

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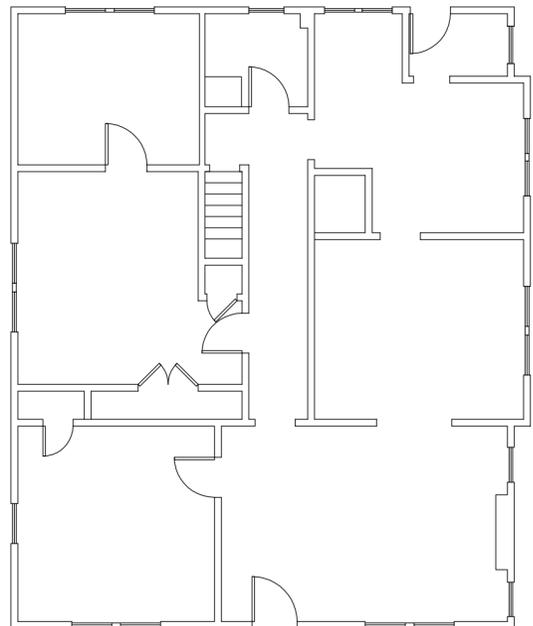
SHEET:

A1

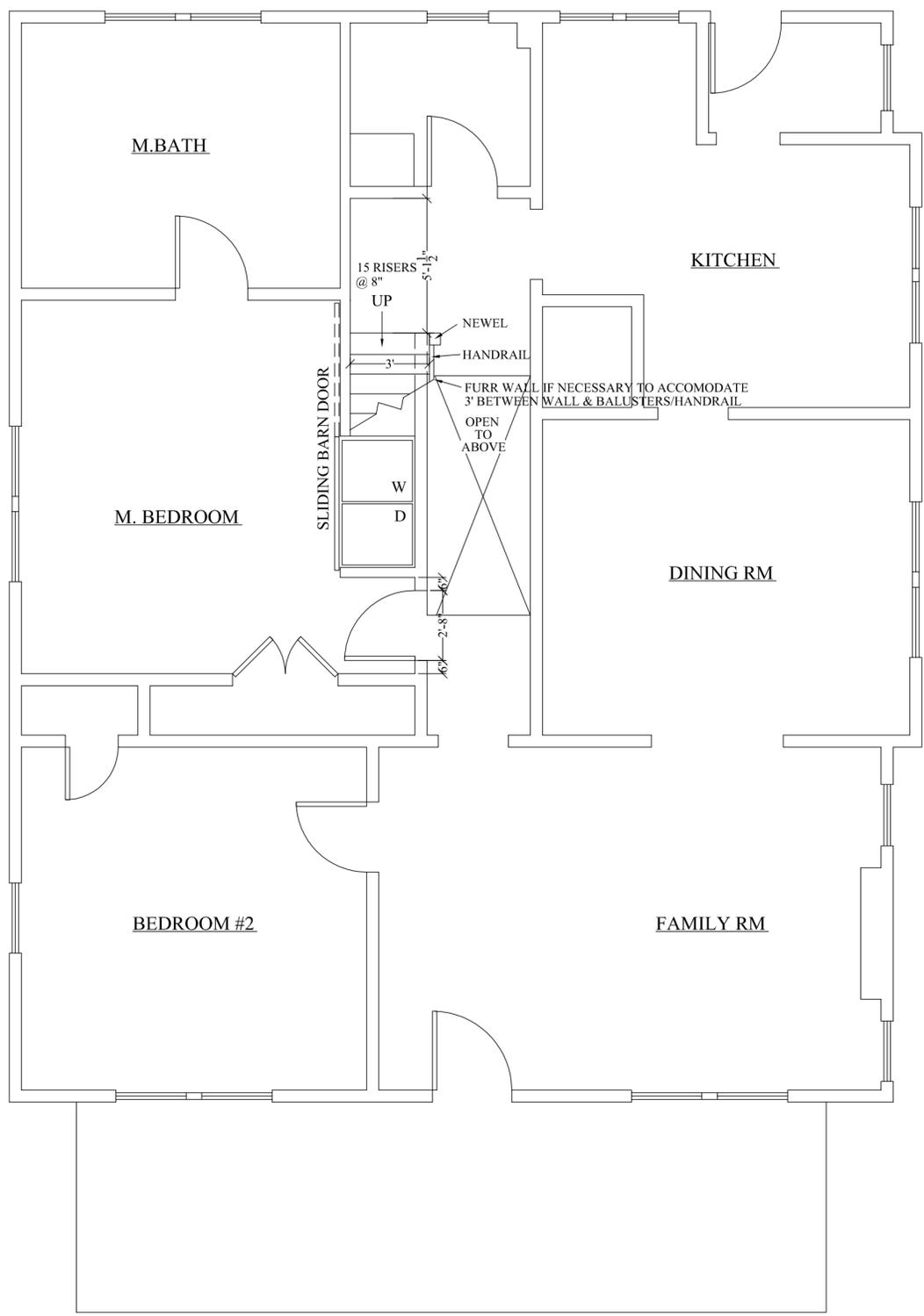
4. 3. 13

REV:
4.18.13

NOTE:
CONTRACTOR TO FIELD VERIFY
ALL MEASUREMENTS
ALL EXT WALLS ARE MEASURED
FROM THE EXT. FACE OF STUD. ALL
INT WALLS ARE MEASURED TO THE
CENTERLINE. EXACT RO'S FOR WDWS
AND DOORS ARE TO BE OBTAINED
FROM MANUFACTURER/SUPPLIER.



2 A1 1st FLOOR PLAN - AS BUILT
SCALE: 1/8" = 1'-0"



1 A1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

1415 SQ. FT. HEATED ON 1ST

2³

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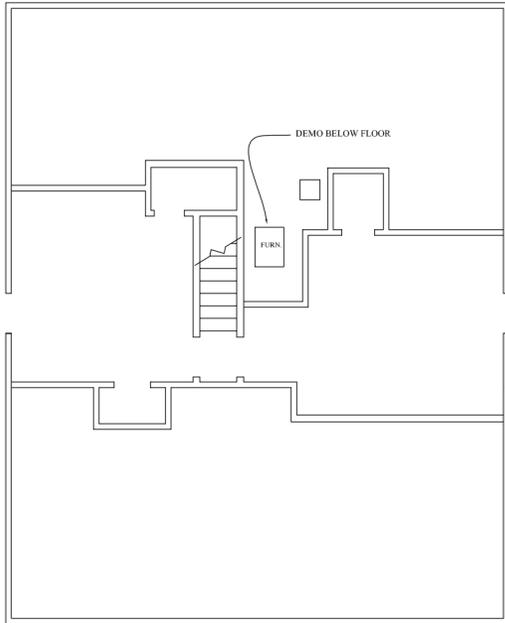
A2

4. 3. 13

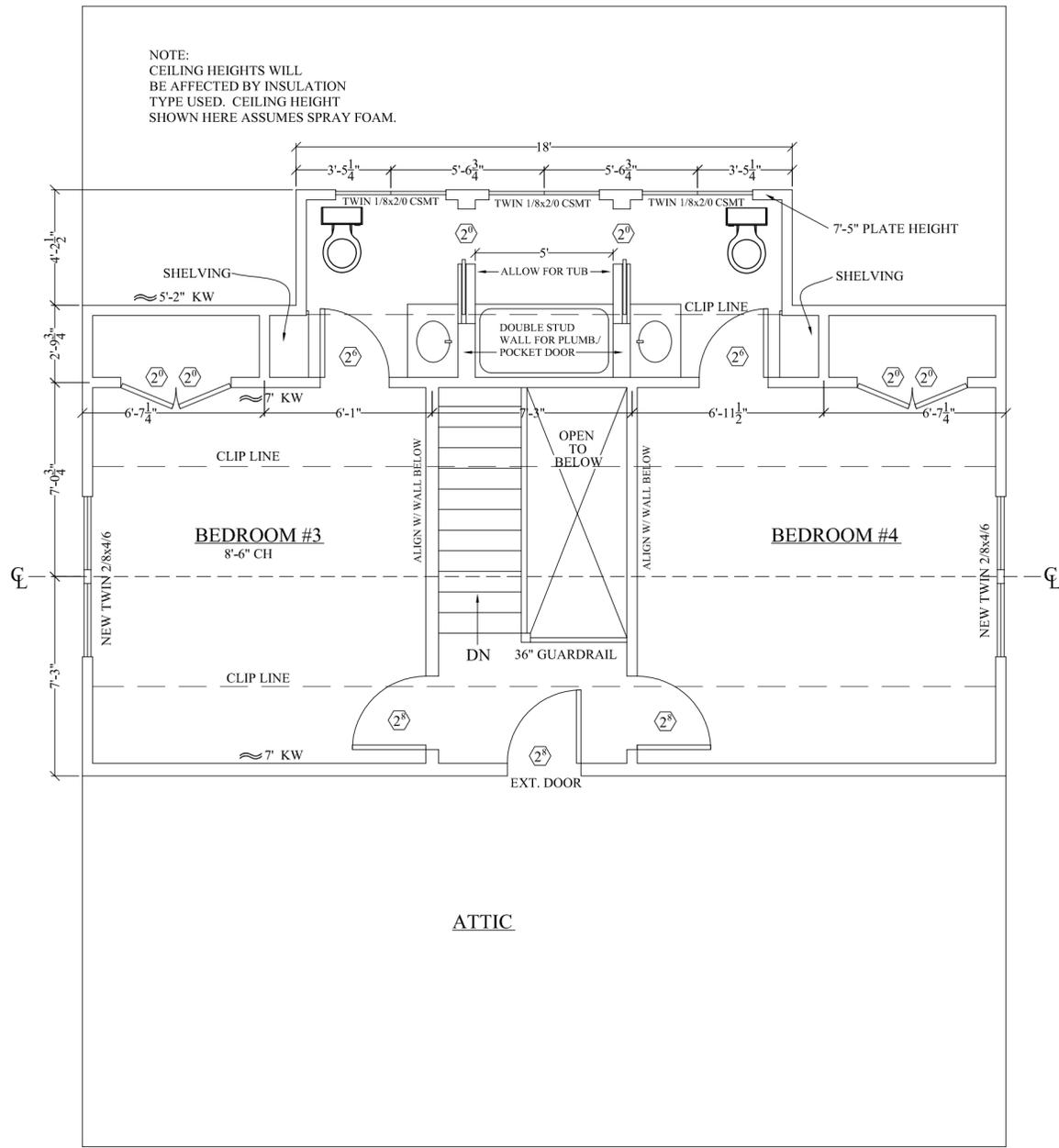
REV:
4.18.13

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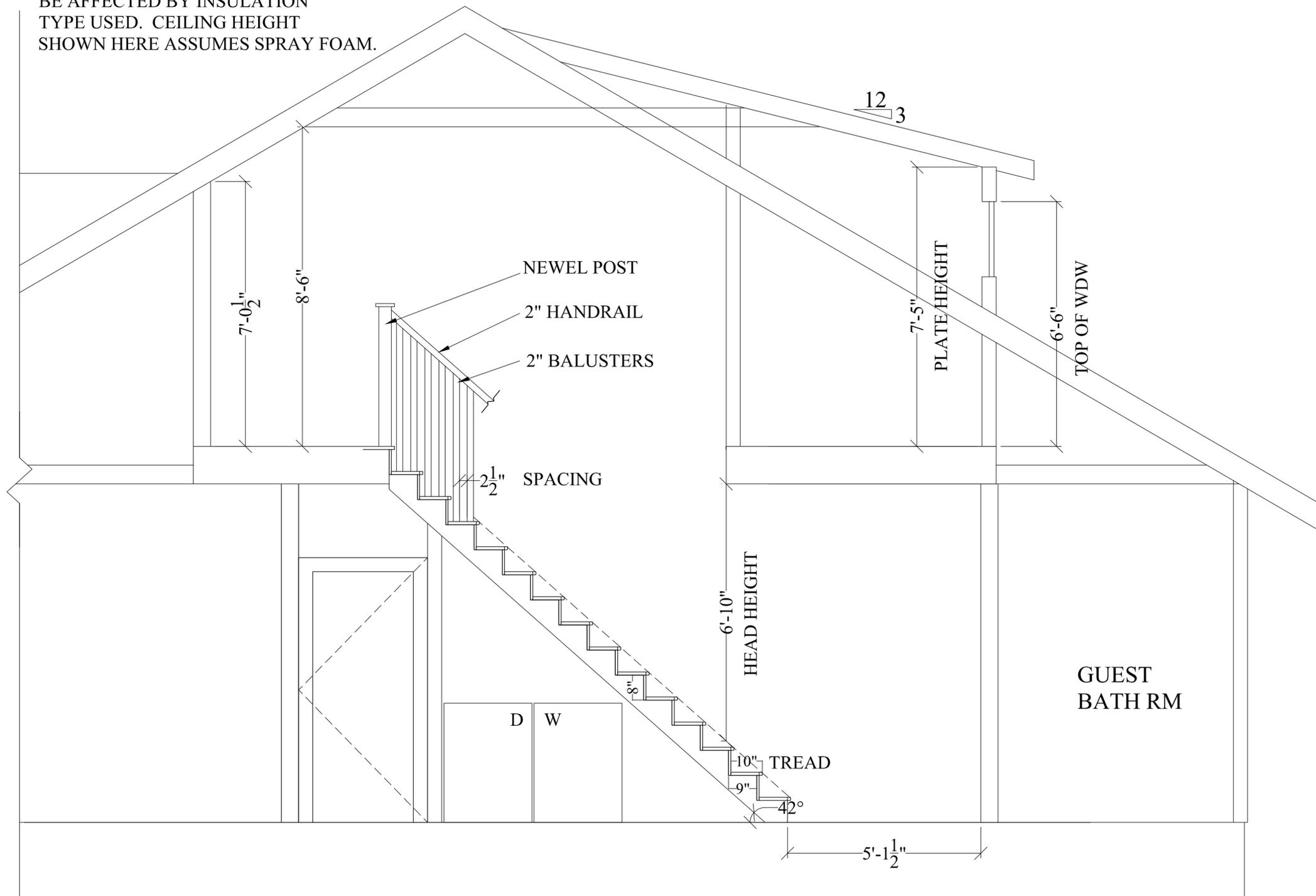
2 2nd FLOOR PLAN
A2 SCALE: 1/8" = 1'-0"



1 2nd FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"

649 SQ. FT. HEATED ON 2ND

NOTE:
 CEILING HEIGHTS WILL
 BE AFFECTED BY INSULATION
 TYPE USED. CEILING HEIGHT
 SHOWN HERE ASSUMES SPRAY FOAM.



1 SECTION
 A6 SCALE: 1/2" = 1'-0"

2³

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SHEET:

A6

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