

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1726 South Mint Street

SUMMARY OF REQUEST: Addition

APPLICANT: Kim Flood

The application was continued for the following items: 1) Removal of the transom window in the dormer, 2) Additional column/beam and window details, 3) Show rear porch overhang removed and 4) Move the front dormer wall back.

Details of Proposed Request

Existing Conditions

The existing structure is a one story cottage style house constructed in 1940 at the corner of South Mint Street and West Boulevard. Adjacent structures include a quadraplex and one story cottage type houses.

Proposal

The proposal is the addition of a shed dormer on the left side, new porch columns and handrails. The dormer will have wood windows and lap siding.

Revised Proposal – July 8, 2015

The revised proposal includes the removal of the transom window, porch rail and column detail, window section, dormer set back from thermal wall and note to remove rear porch overhang.

Policy & Design Guidelines - Additions

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

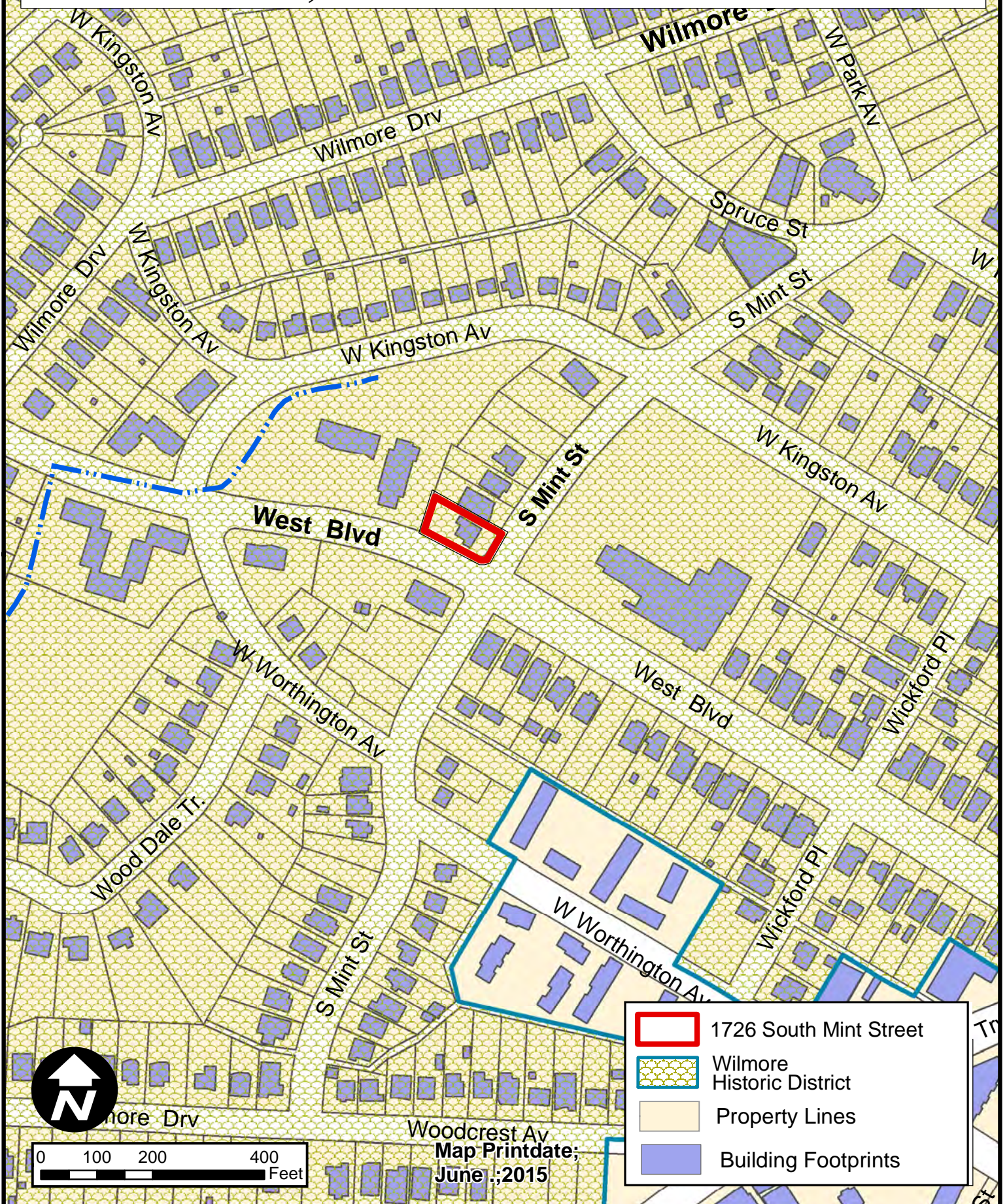
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Staff Analysis

The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission - Case 2015-107

Historic District; Wilmore



PLAT - NOT FOR RECORDATION.

EARL L. LINDBERGER

CHARLOTTE, N. C. 20211

1316-37
less 2872-340



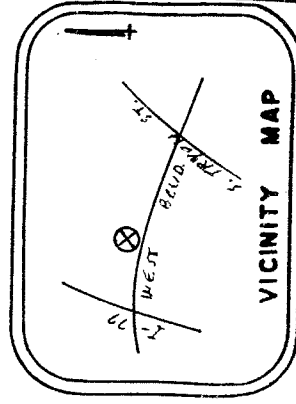
**OF
Part LOT 1 BLOCK 53**

CHARLOTTE, N.C.

SCALE 1" = 30' 12.00

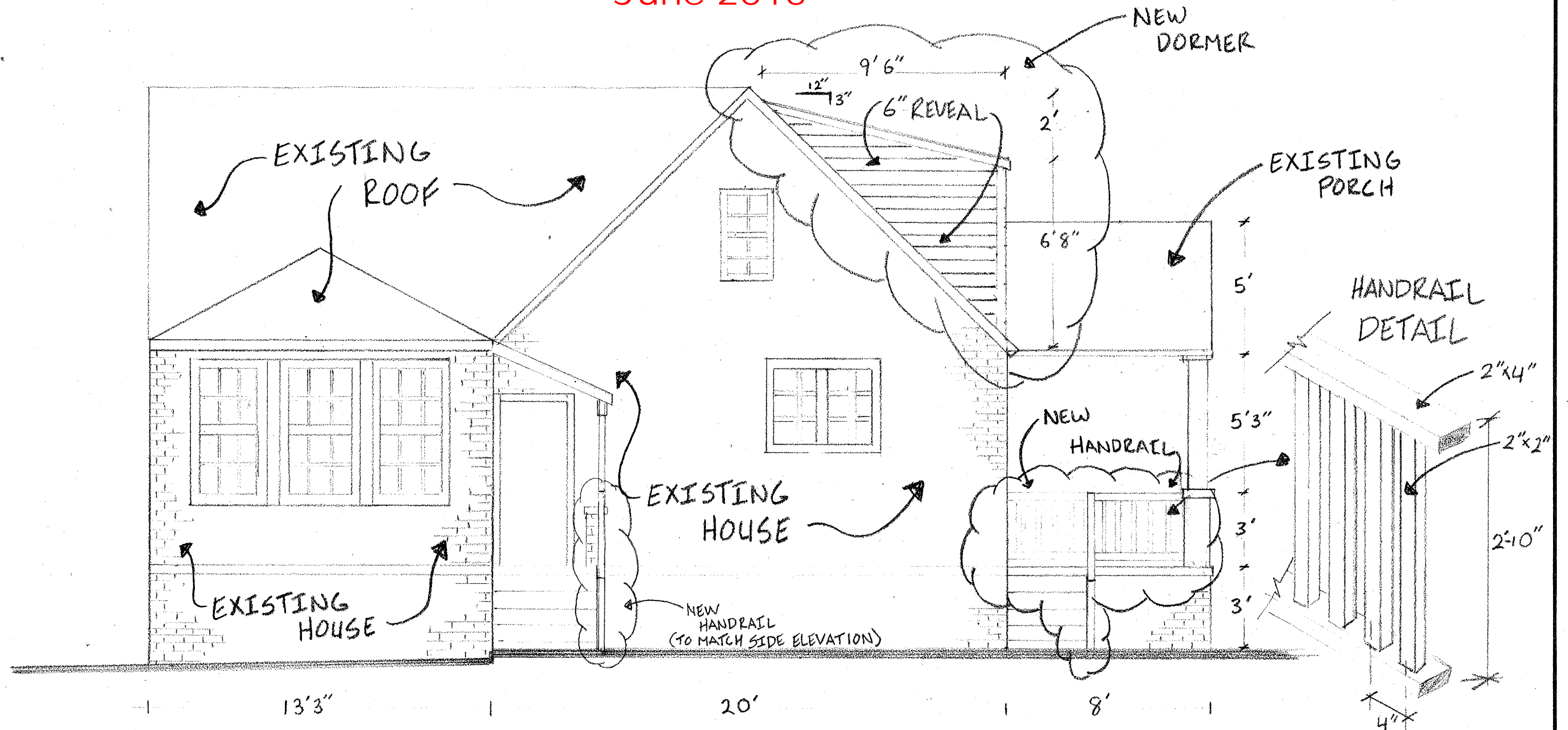
DEED BOOK 3769 PAGE 369

DEED BOOK 3769 PAGE 369
BACIC REF. 873 482 LE55 2845-600





June 2015



WEST ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED BY:

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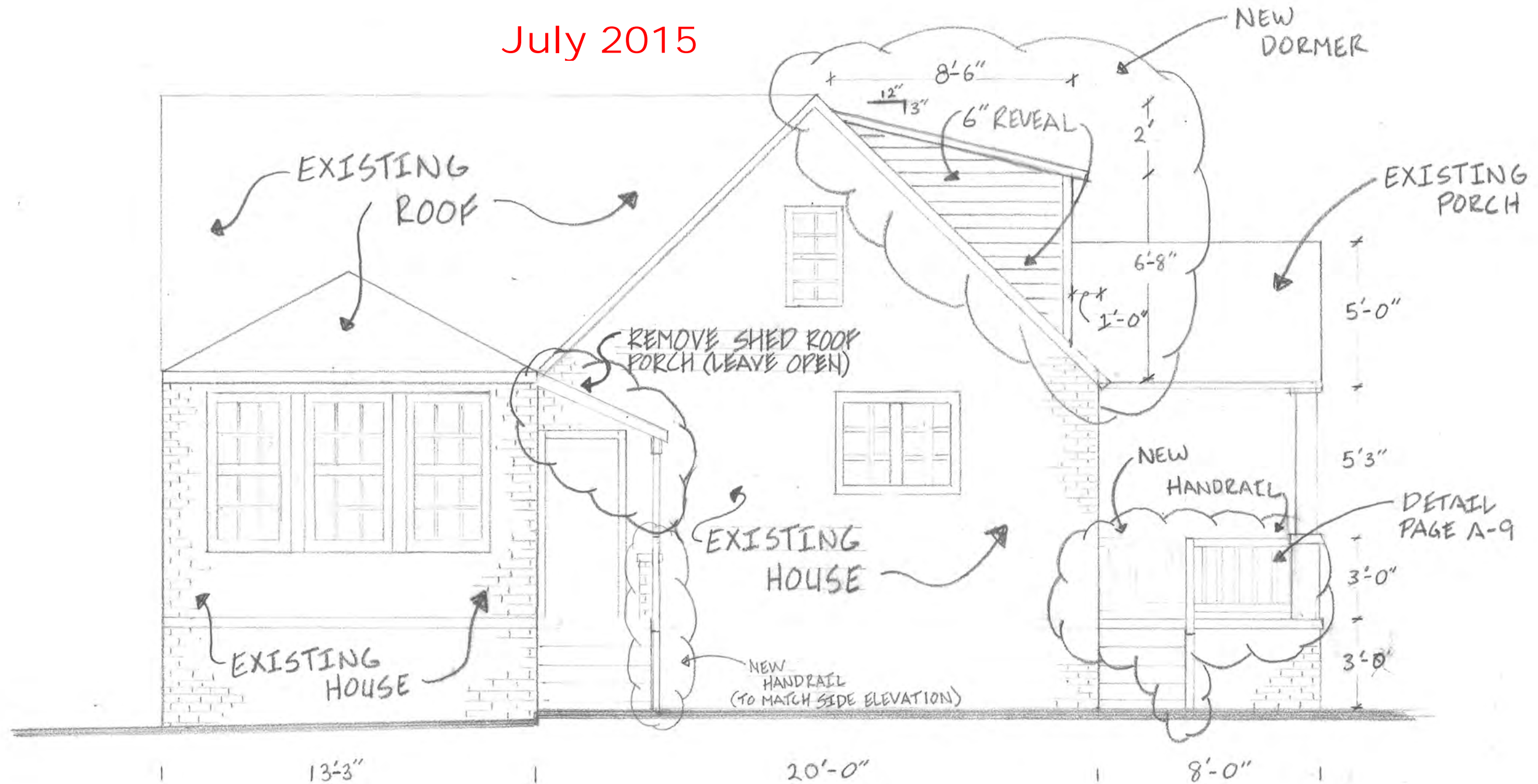
REVISED

DLP CUSTOM FINISHES

DRAWING NUMBER

A6

July 2015



WEST ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

APPROVED BY:

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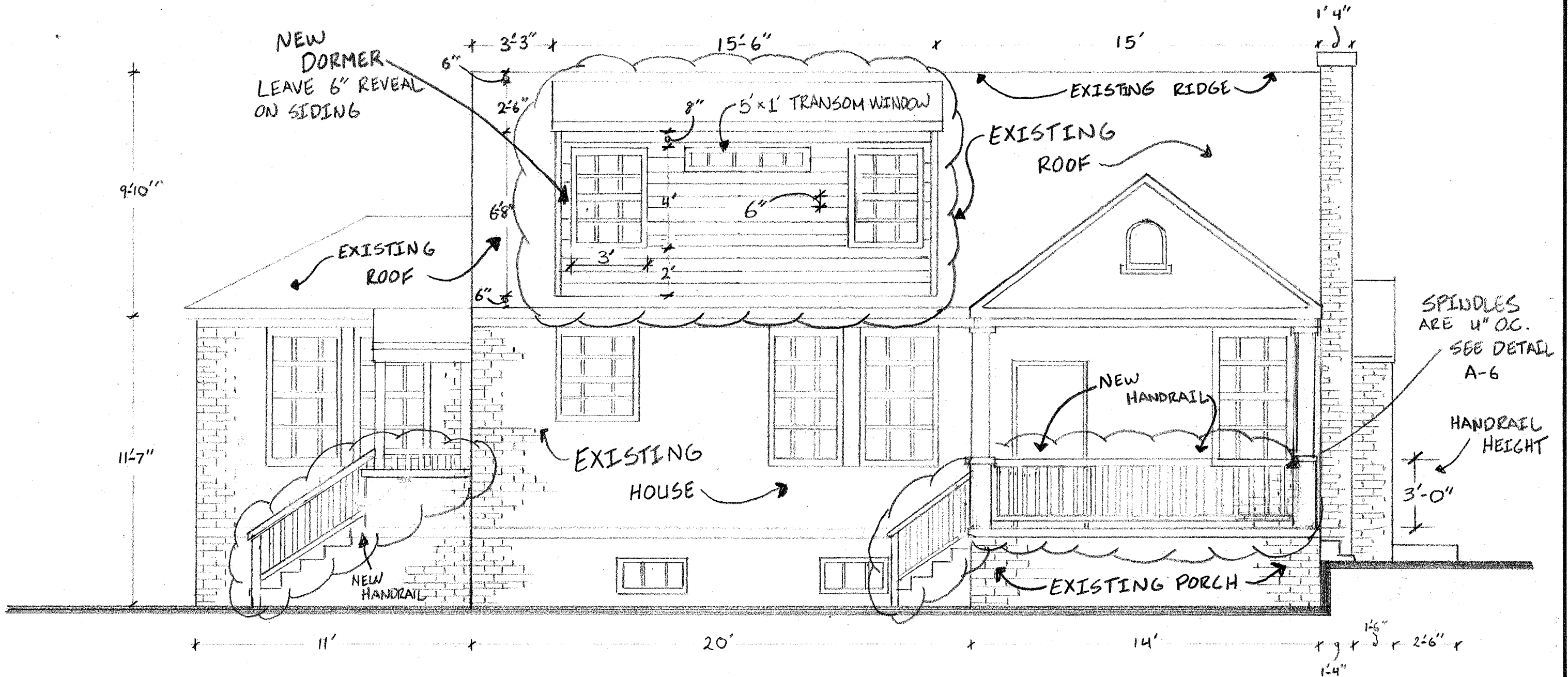
REVISED

DLP CUSTOM FINISHES

DRAWING NUMBER

A6

JUNE 2015



MATERIALS

DORMER

- * USE 2"x4"@ 16 O.C BASIC CONSTRUCTION
- * USE WOOD SIDING TO MATCH SURROUNDING HOUSES
- * WOOD OR WOOD W/CLAD WINDOWS
- * SHED ROOF TO MATCH EXISTING

HANDRAIL

- * USE WOOD TO RESEMBLE SURROUNDING HOUSES
- * SPINDLES ARE 2" x 2" @ 4" O.C.
- * TOP AND BOTTOM PLATES 2" x 4" P.T.
- * BOTH HANDRAILS ARE THE SAME

SOUTH ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

APPROVED BY:

DRAWN BY DLP

DATE:

REVISÉ

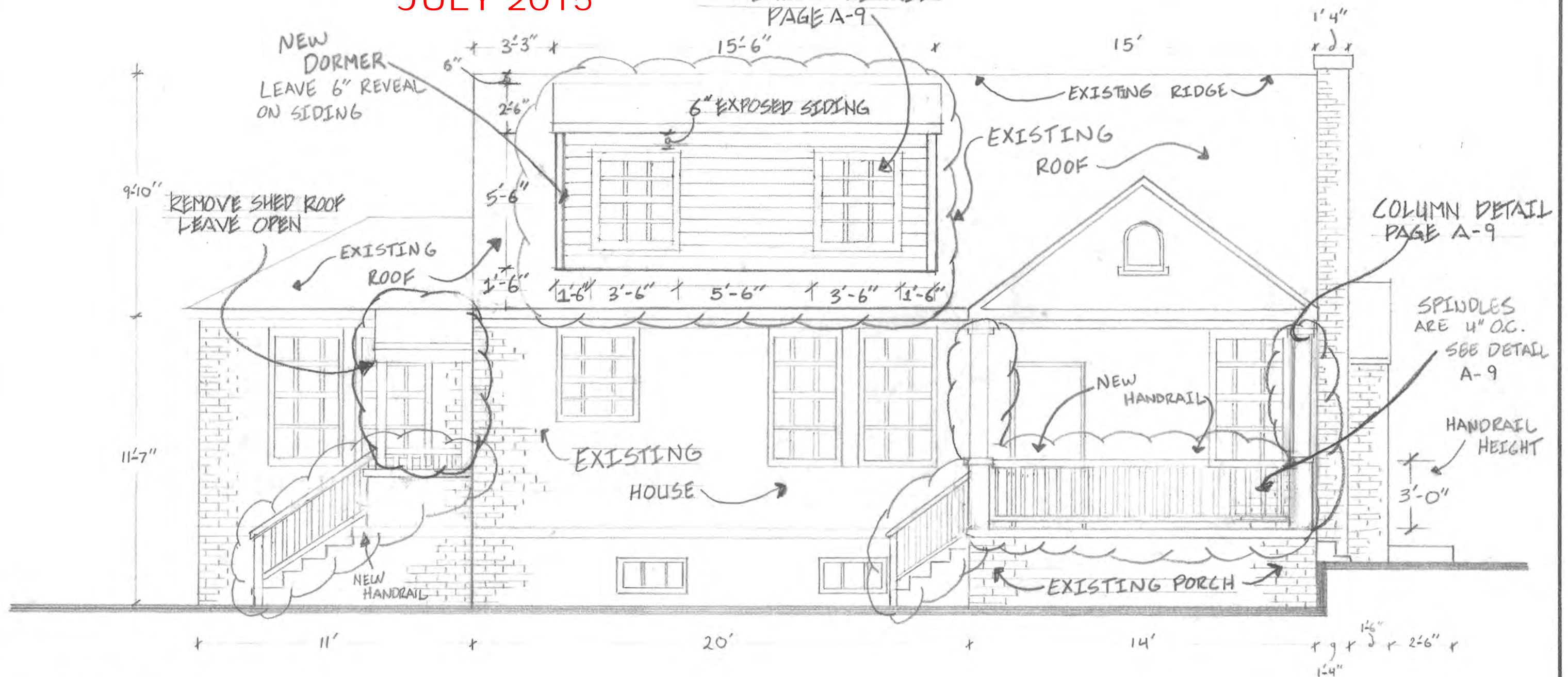
DLP CUSTOM FINISHES

DRAWING NUMBER

A5

JULY 2015

WINDOW DETAIL
PAGE A-9



MATERIALS

DORMER

- *USE 2"x4"@ 16 O.C BASIC CONSTRUCTION
- *USE WOOD SIDING TO MATCH SURROUNDING HOUSES
- *WOOD OR WOOD W/CLAD WINDOWS
- *SHED ROOF TO MATCH EXISTING

HANDRAIL

- *USE WOOD TO RESEMBLE SURROUNDING HOUSES
- *SPINDLES ARE 2"x2"@ 4" O.C.
- *TOP AND BOTTOM PLATES 2"x4" P.T.
- *BOTH HANDRAILS ARE THE SAME

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED BY:

DRAWN BY DLP

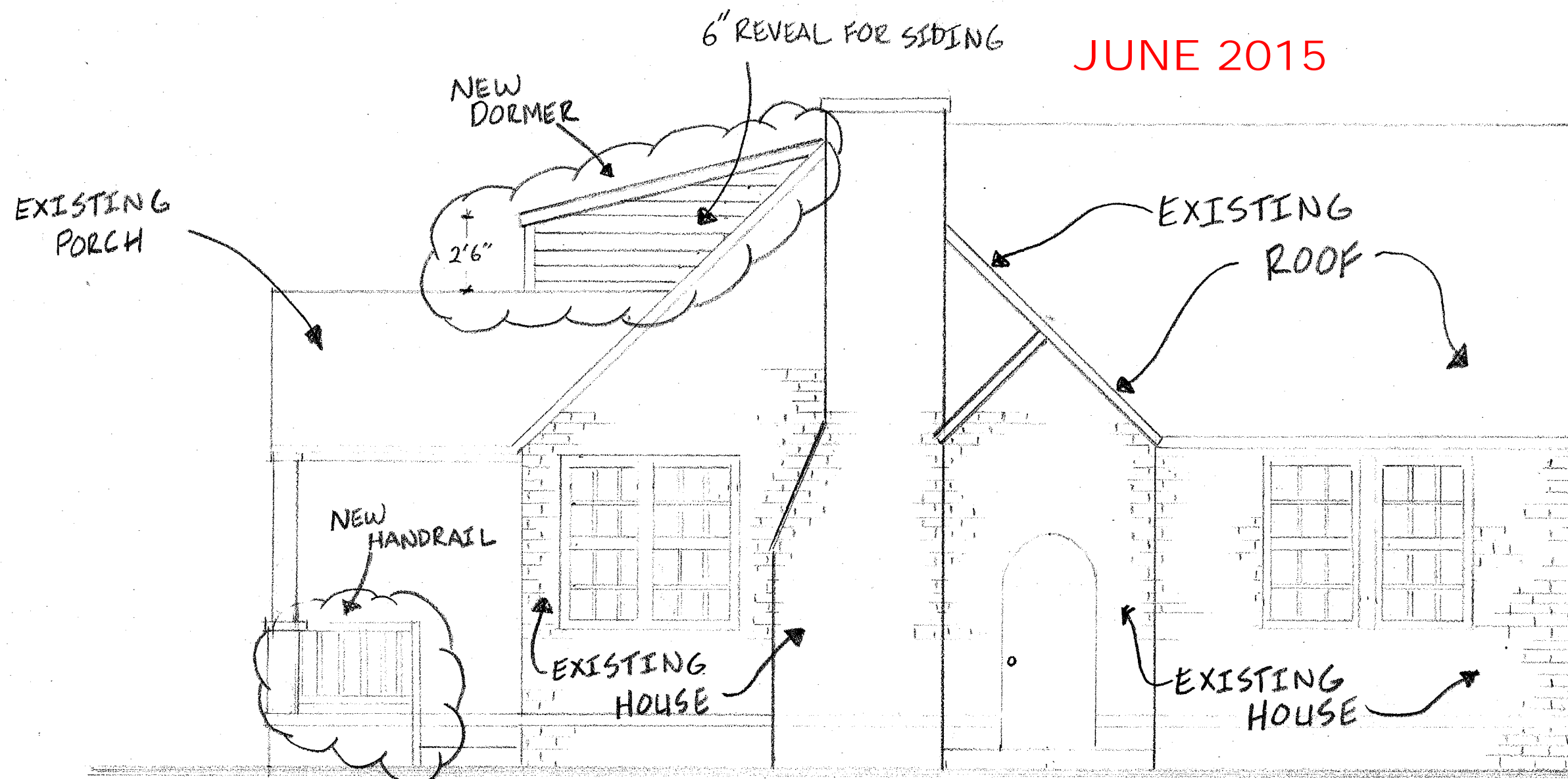
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REVISED

DLP CUSTOM FINISHES

DRAWING NUMBER

A5



JUNE 2015

EAST ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

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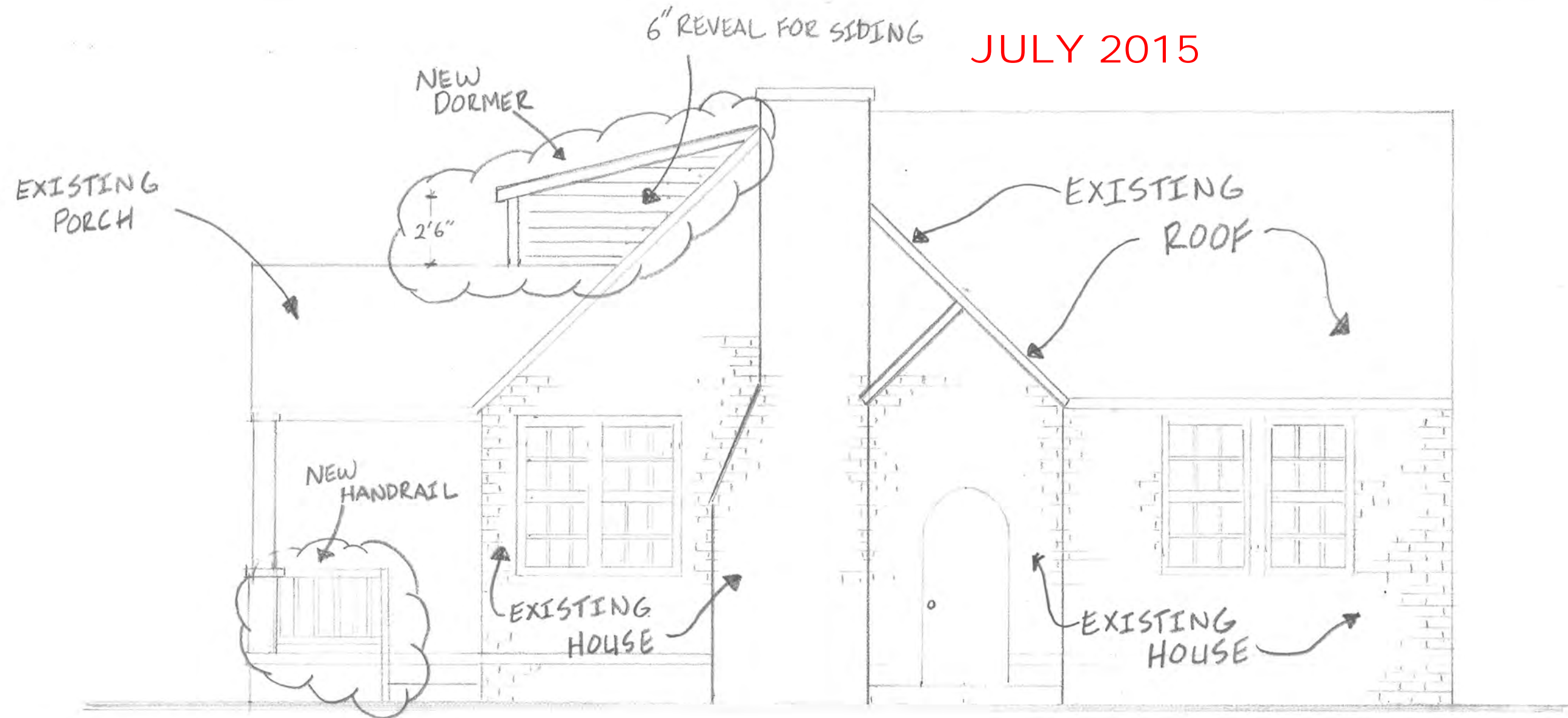
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DRAWING NUMBER

A7

JULY 2015



EAST ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

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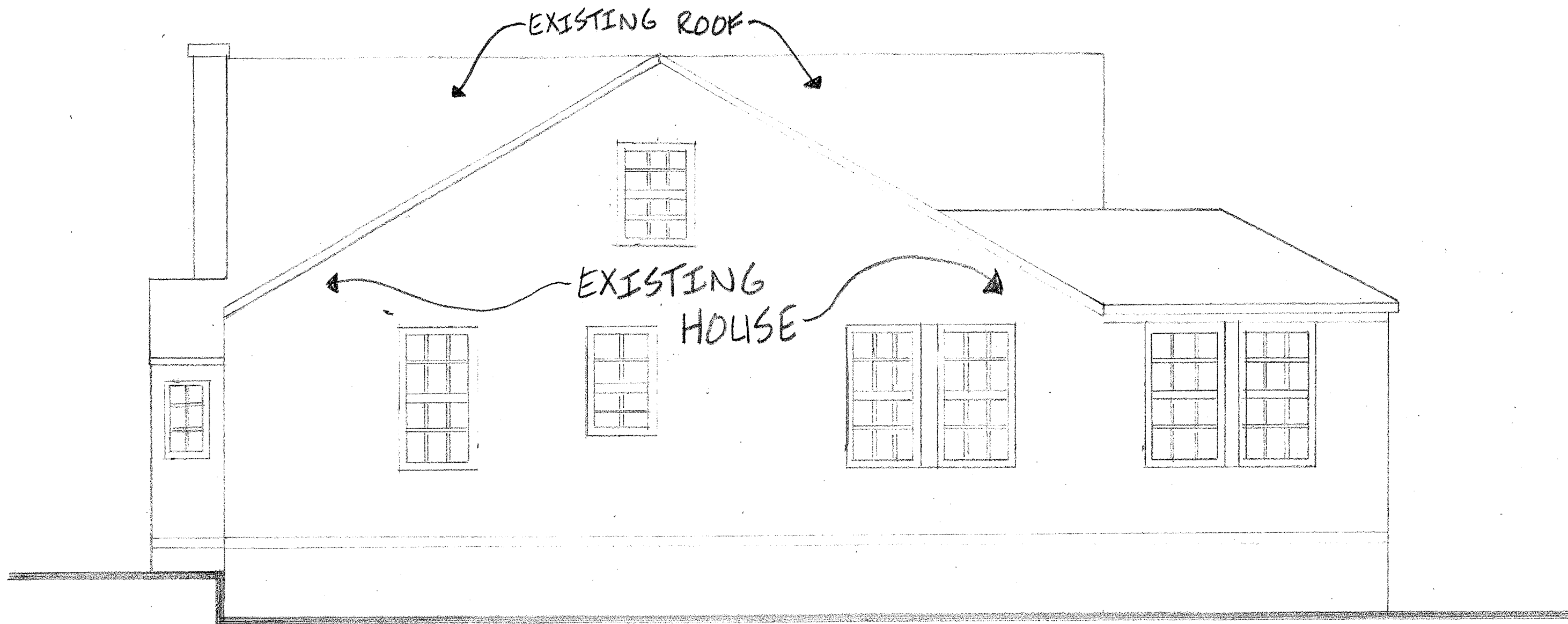
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DRAWING NUMBER

A7

JUNE 2015

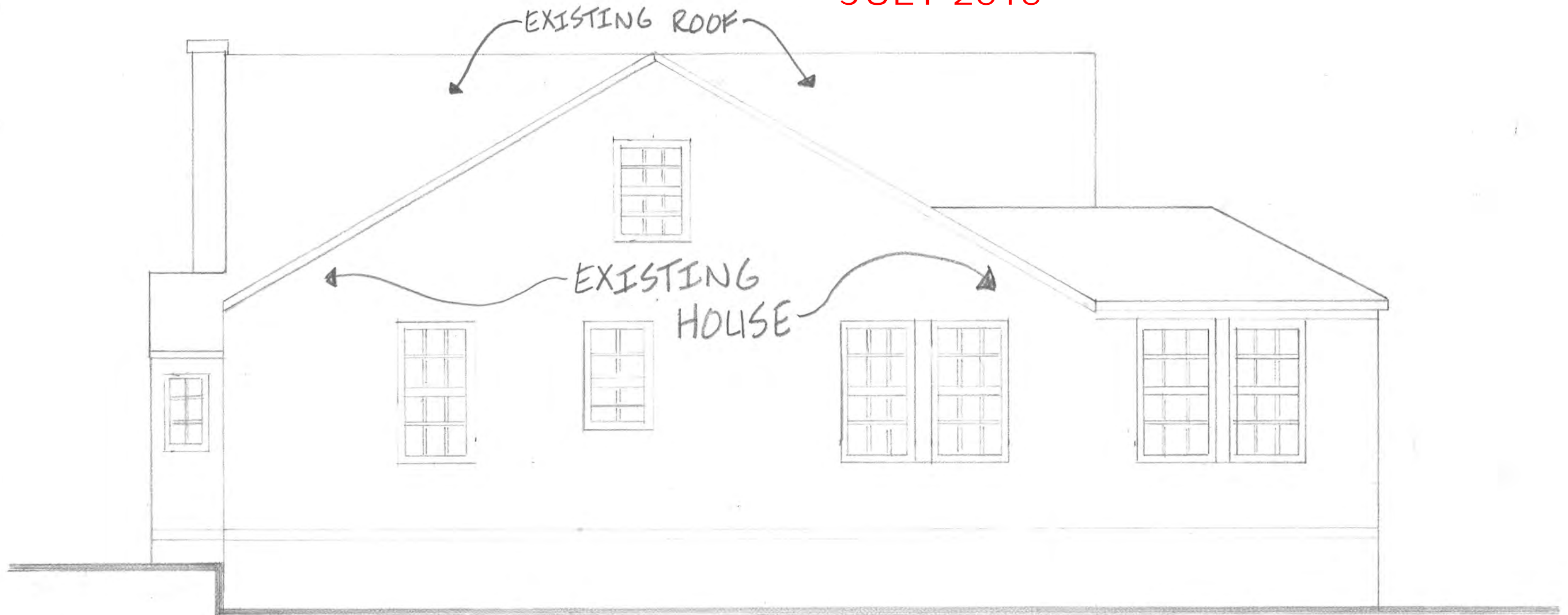


NOTE:

* NOTHING NEW IS VISIBLE
FROM THIS ELEVATION

NORTH ELEVATION		
SCALE: $\frac{1}{4}" = 1'-0"$	APPROVED BY:	DRAWN BY
DATE:		REVISED
		DRAWING NUMBER
		A8

JULY 2015



NOTE:

* NOTHING NEW IS VISIBLE
FROM THIS ELEVATION

NORTH ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

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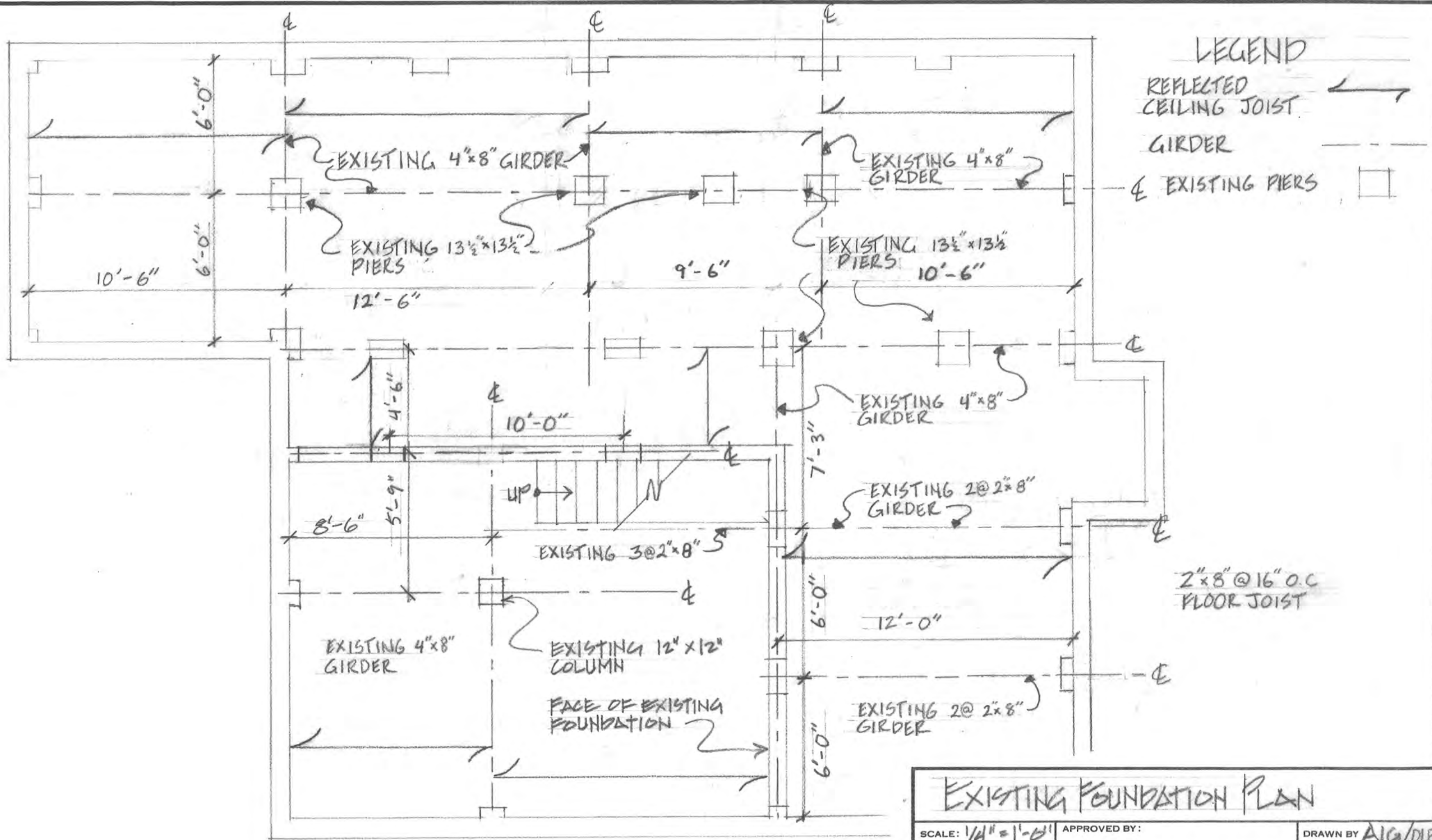
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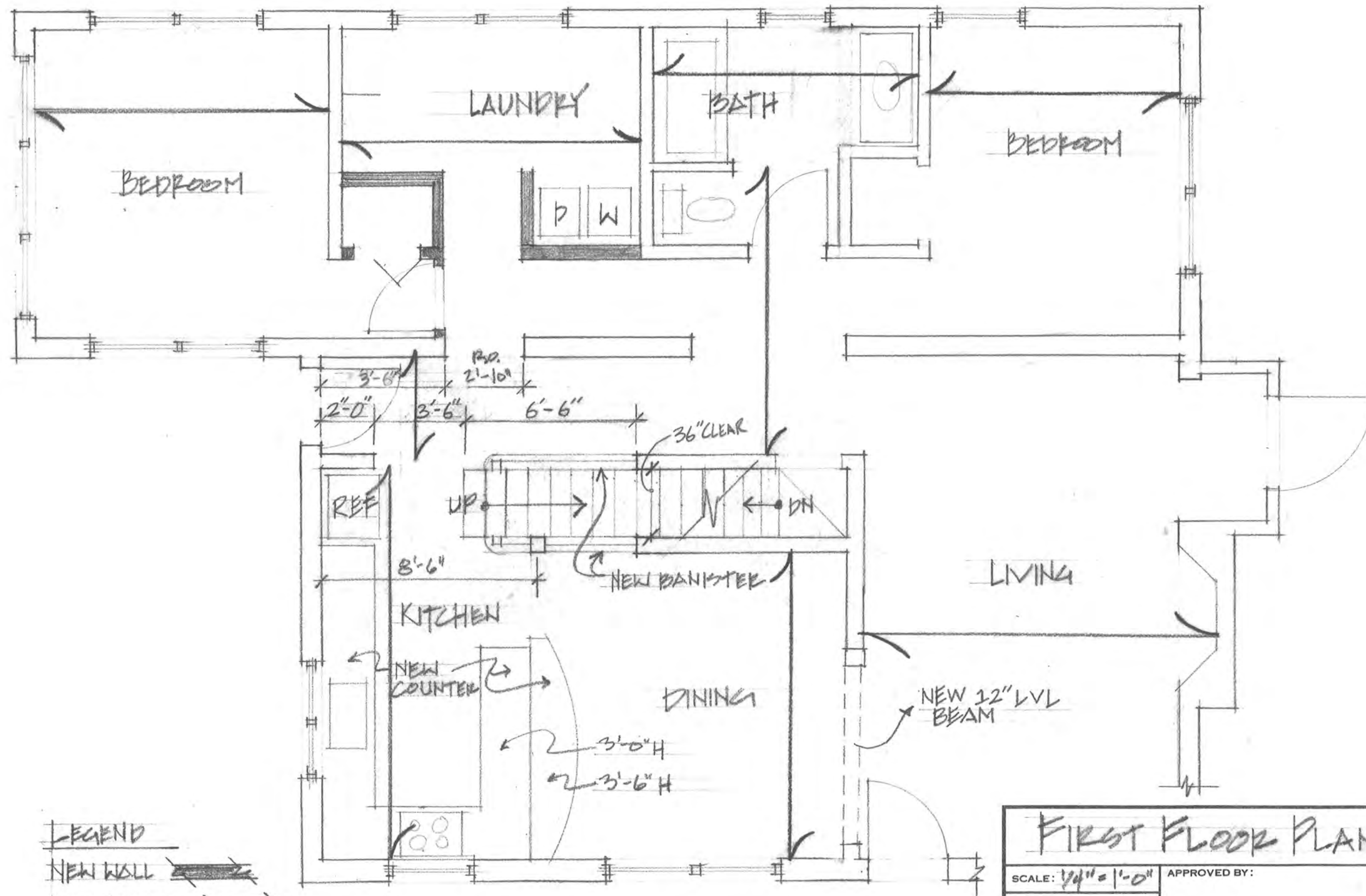
REVISED

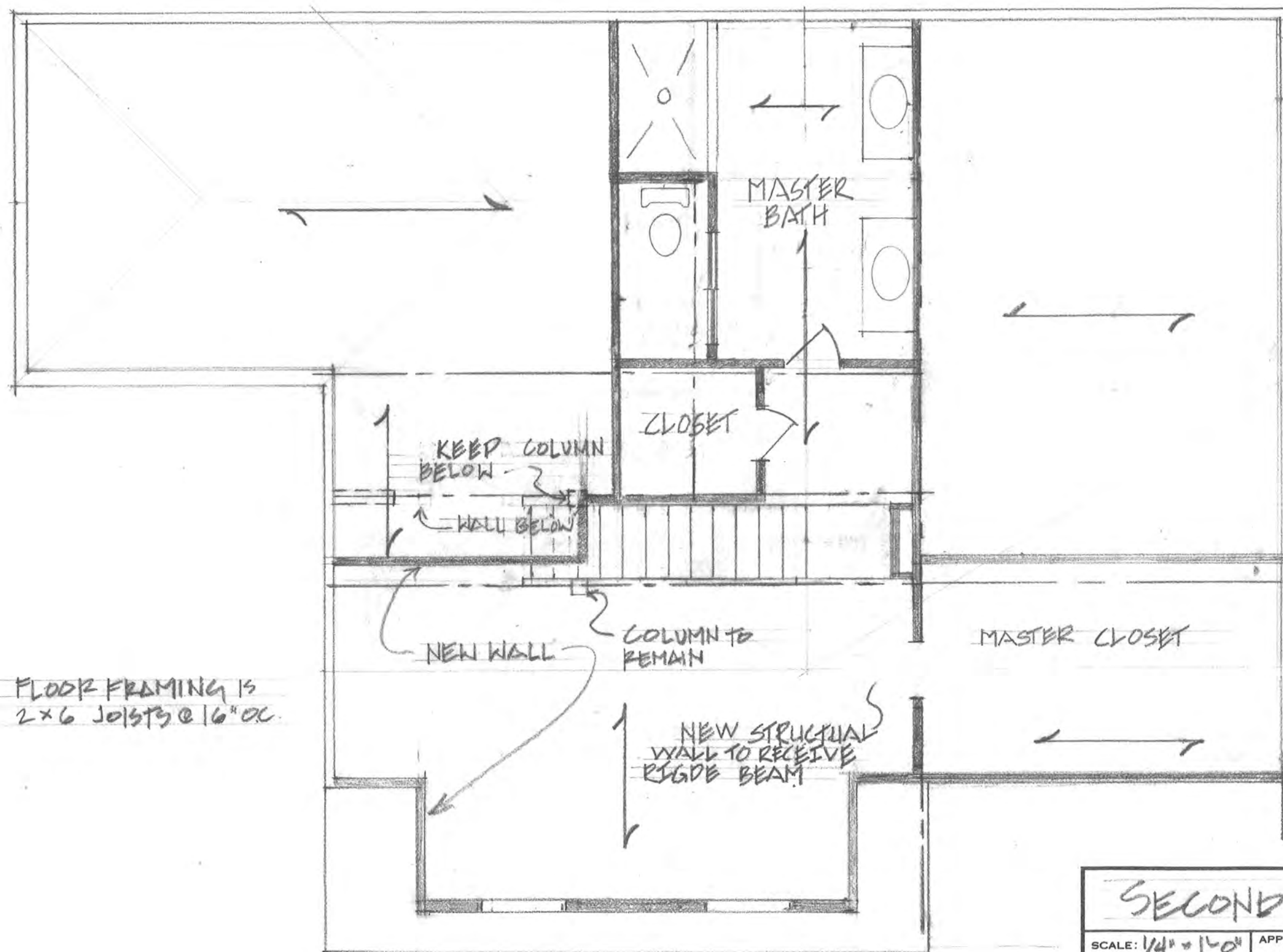
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A8



EXISTING FOUNDATION PLAN		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: AG/DLP
DATE: 2.15.15		REVISED:
DLP CUSTOM FINISHES		
		DRAWING NUMBER: AI





FLOOR FRAMING IS
2x6 JOISTS @ 16" OC.

SECOND FLOOR FRAMING		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: AJG
DATE: 2.15.15		REVISED
DLP CUSTOM FINISHES		
		DRAWING NUMBER A3

ROOF FRAMING IS
2x6 JOISTS @ 16" O.C.

EXISTING ROOF
TO REMAIN

RIDGE

SECOND FLOOR
WALL BELOW

OUTLINE OF NEW
DORMER - REMOVE
EXISTING 2x6 FRAMING

1'-0" FROM FACE OF
WALL BELOW

FACE OF
WALL BELOW

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

APPROVED BY:

DRAWN BY ALG

DATE: 2.15.15

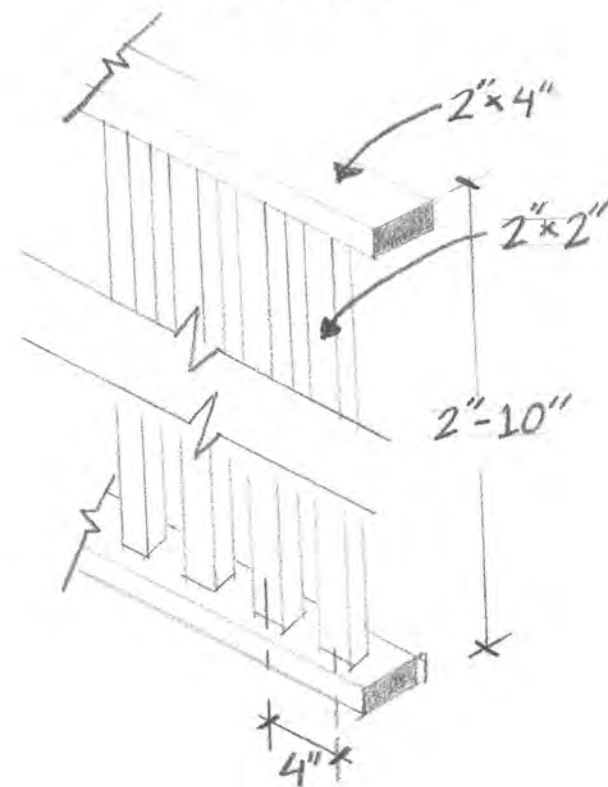
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DLP CUSTOM FINISHES

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A4

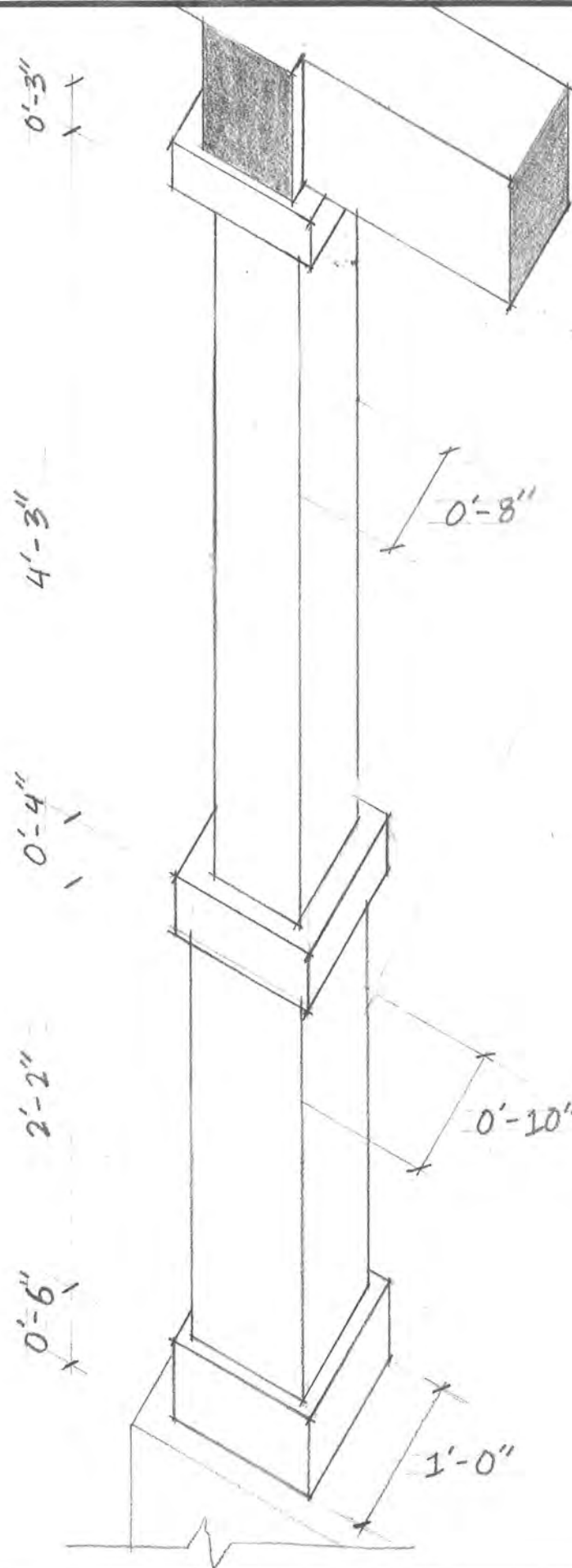
HANDRAIL DETAIL



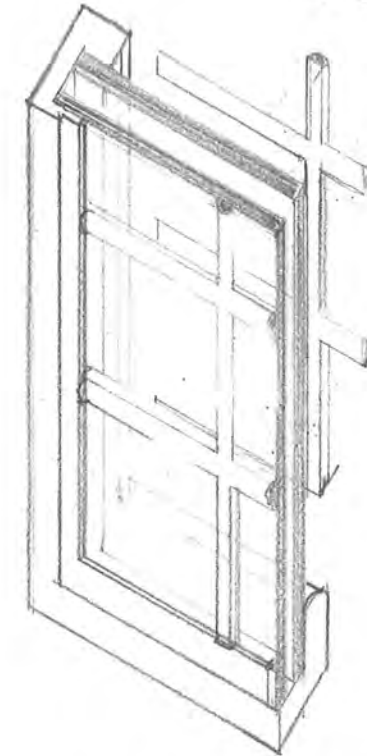
NOTE:

ALL MATERIALS USED
ARE NATURAL AND SIMILAR
TO SURROUNDING
STRUCTURES

COLUMN DETAIL



WINDOW DETAIL



- ANDERSON 400 SERIES
- SIMULATED DIVIDED LIGHT
 - PERMANENT GRILLS
 - INTERIOR (WOOD)
 - EXTERIOR (CLAD)
 - GRILL (6 OVER 6) TO MATCH EXIST.

DETAILS

SCALE: 1"=1'-0"

APPROVED BY:

DRAWN BY DLP

DATE:

REVISED

DLP CUSTOM FINISHES

DRAWING NUMBER

A-9