

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 2131 Wilmore Drive

SUMMARY OF REQUEST: Addition, tree removal, chimney removal

APPLICANT: Jason Murphy

Details of Proposed Request

Existing Conditions

The existing structure is a one story cottage ranch style duplex constructed in 1940. The surrounding context is a similar variety of 1 and 1.5 story homes.

Proposal

The proposal is a conversion to a single family house including an addition of columns and roof over the front porch, new windows, removal of a tree in the front yard and removal of chimneys. Other improvements are a new driveway, sidewalk and a new tree planted further from the house in the front yard. Porch columns are brick with wood posts. Trim materials and windows are wood.

Policy & Design Guidelines - Additions

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.

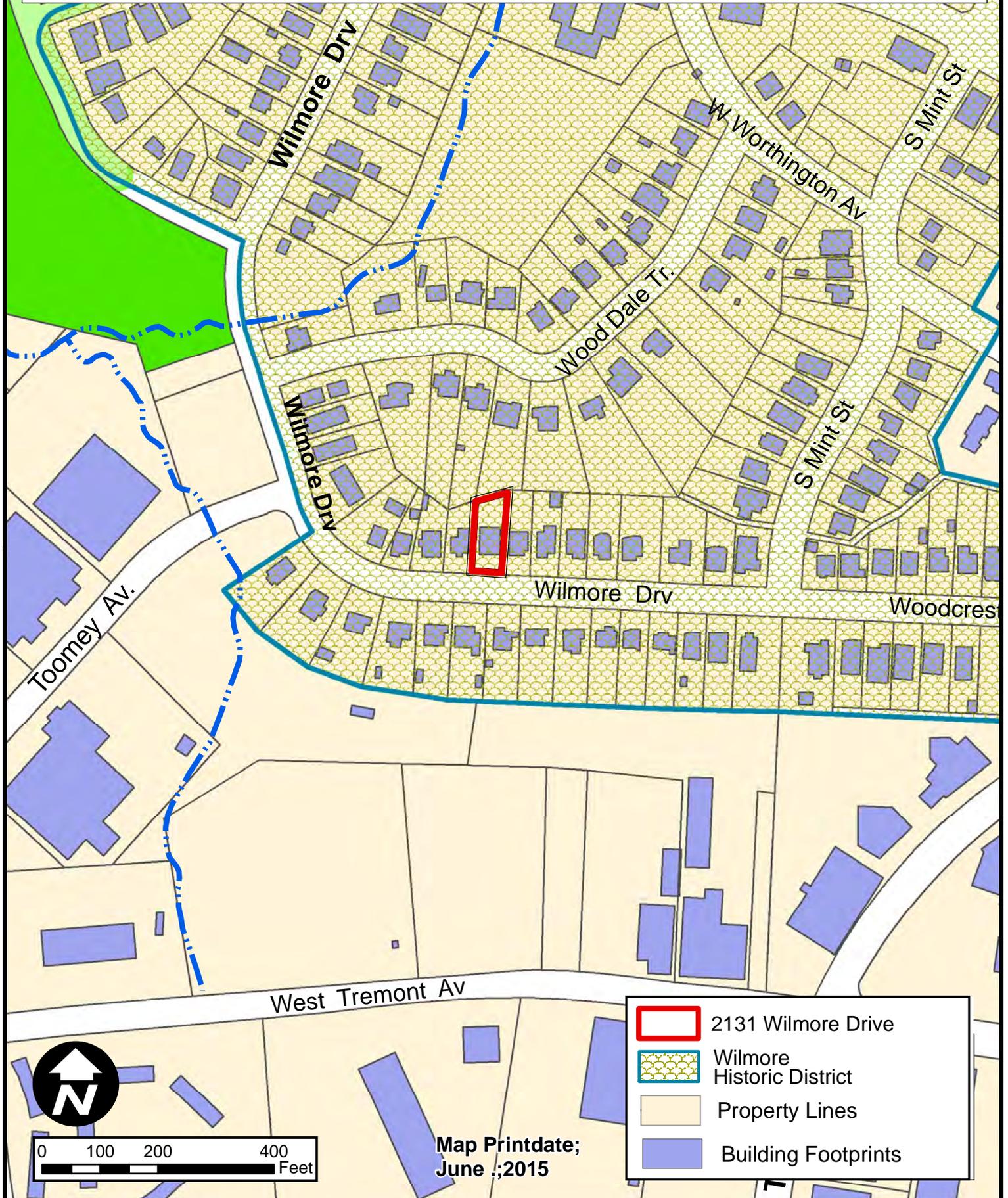
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission - Case 2015-105

Historic District; Wilmore





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PO6078T

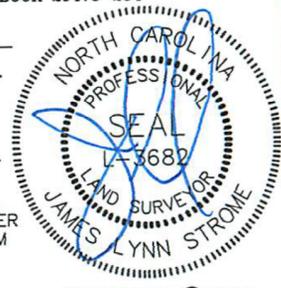
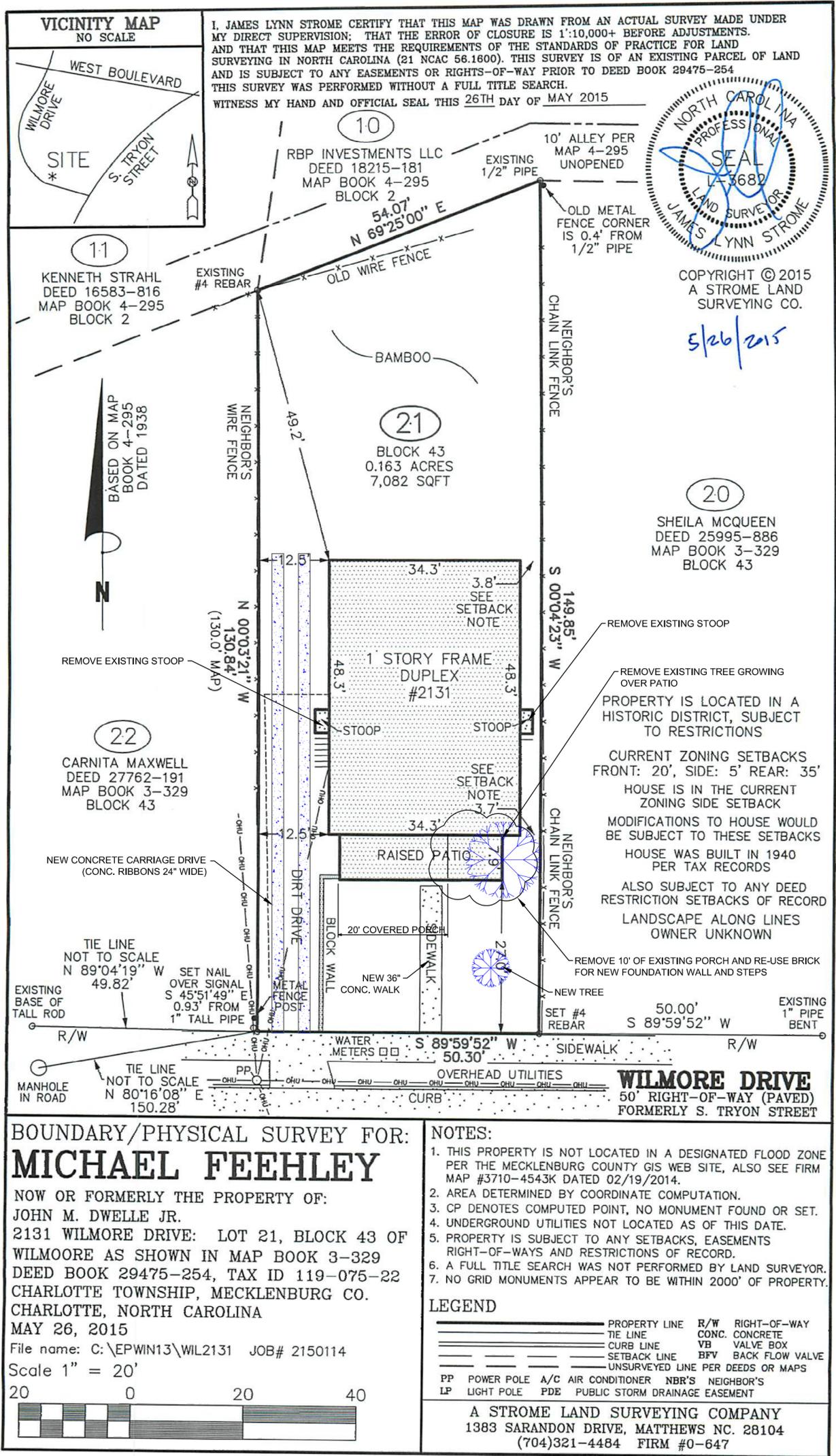


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NO SMOKING



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5/26/2015

20

SHEILA MCQUEEN
DEED 25995-886
MAP BOOK 3-329
BLOCK 43

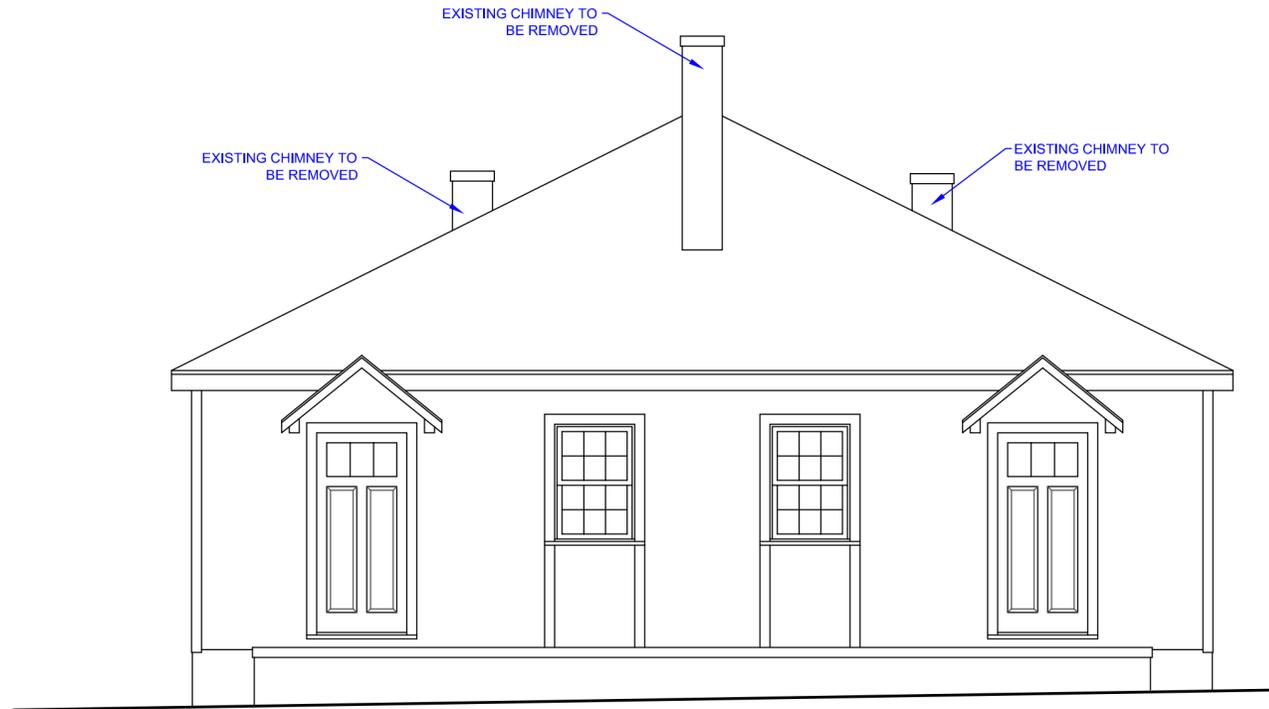
REMOVE EXISTING STOOP
REMOVE EXISTING TREE GROWING OVER PATIO
PROPERTY IS LOCATED IN A HISTORIC DISTRICT, SUBJECT TO RESTRICTIONS
CURRENT ZONING SETBACKS
FRONT: 20', SIDE: 5' REAR: 35'
HOUSE IS IN THE CURRENT ZONING SIDE SETBACK
MODIFICATIONS TO HOUSE WOULD BE SUBJECT TO THESE SETBACKS
HOUSE WAS BUILT IN 1940 PER TAX RECORDS
ALSO SUBJECT TO ANY DEED RESTRICTION SETBACKS OF RECORD
LANDSCAPE ALONG LINES OWNER UNKNOWN
REMOVE 10' OF EXISTING PORCH AND RE-USE BRICK FOR NEW FOUNDATION WALL AND STEPS
NEW TREE
SET #4 REBAR

BOUNDARY/PHYSICAL SURVEY FOR:
MICHAEL FEEHLEY
NOW OR FORMERLY THE PROPERTY OF:
JOHN M. DWELLE JR.
2131 WILMORE DRIVE: LOT 21, BLOCK 43 OF WILMOORE AS SHOWN IN MAP BOOK 3-329 DEED BOOK 29475-254, TAX ID 119-075-22 CHARLOTTE TOWNSHIP, MECKLENBURG CO. CHARLOTTE, NORTH CAROLINA
MAY 26, 2015
File name: C:\EPWIN13\WIL2131 JOB# 2150114
Scale 1" = 20'

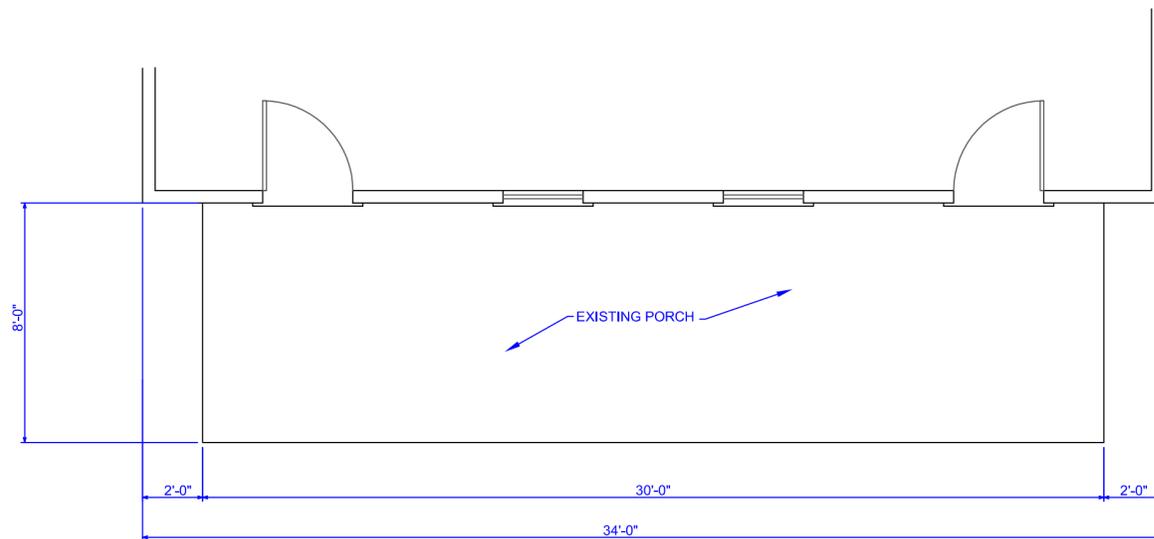
NOTES:
1. THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD ZONE PER THE MECKLENBURG COUNTY GIS WEB SITE, ALSO SEE FIRM MAP #3710-4543K DATED 02/19/2014.
2. AREA DETERMINED BY COORDINATE COMPUTATION.
3. CP DENOTES COMPUTED POINT, NO MONUMENT FOUND OR SET.
4. UNDERGROUND UTILITIES NOT LOCATED AS OF THIS DATE.
5. PROPERTY IS SUBJECT TO ANY SETBACKS, EASEMENTS RIGHT-OF-WAYS AND RESTRICTIONS OF RECORD.
6. A FULL TITLE SEARCH WAS NOT PERFORMED BY LAND SURVEYOR.
7. NO GRID MONUMENTS APPEAR TO BE WITHIN 2000' OF PROPERTY.

LEGEND
PROPERTY LINE
TIE LINE
CURB LINE
SETBACK LINE
UNSURVEYED LINE PER DEEDS OR MAPS
R/W RIGHT-OF-WAY
CONC. CONCRETE
VB VALVE BOX
BFV BACK FLOW VALVE
PP POWER POLE A/C AIR CONDITIONER
LP LIGHT POLE PDE PUBLIC STORM DRAINAGE EASEMENT
NBR'S NEIGHBOR'S
PDE PUBLIC STORM DRAINAGE EASEMENT

A STROME LAND SURVEYING COMPANY
1383 SARANDON DRIVE, MATTHEWS NC. 28104
(704)321-4484 FIRM #0-647



EXISTING FRONT ELEVATION 1/4" = 1'-0"



EXISTING FLOOR PLAN 1/4" = 1'-0"

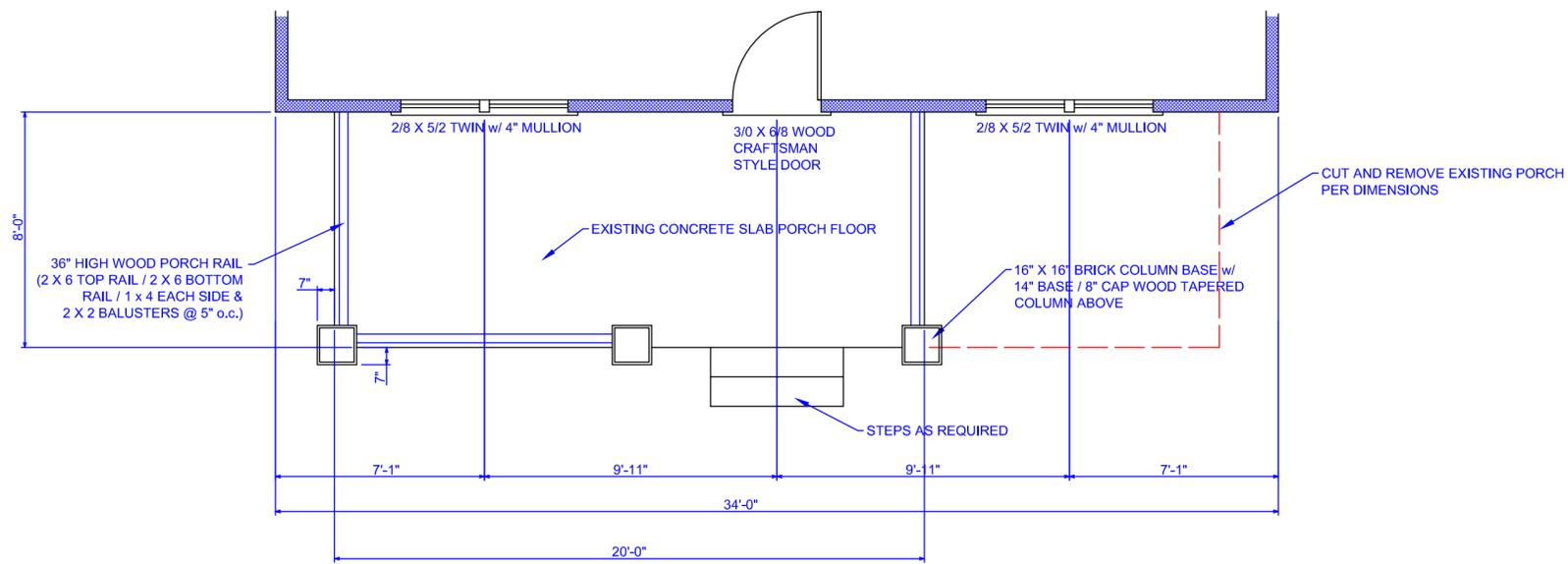
Daedalus Properties
 Charlotte, NC
 704-890-3907 Office
 704-377-8412 fax

**EXISTING FLOOR PLAN
 AND ELEVATION**

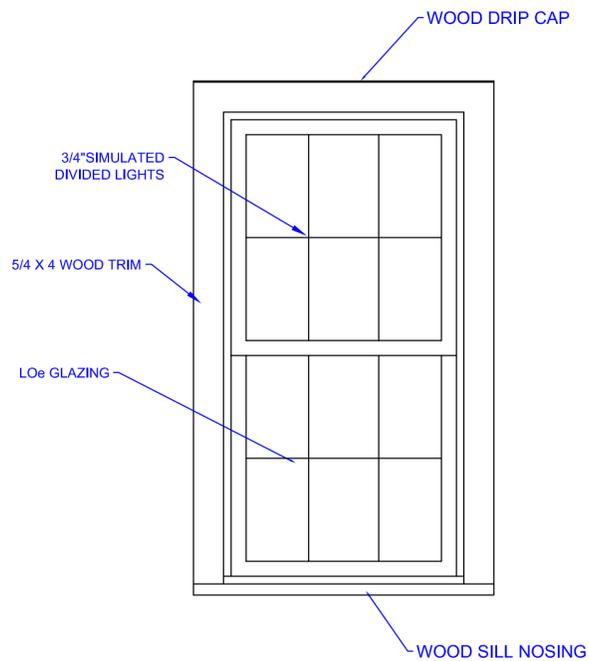
Renovations and Additions at
2131 Wilmore Drive
 Charlotte, NC

DATE:
 5-27-15

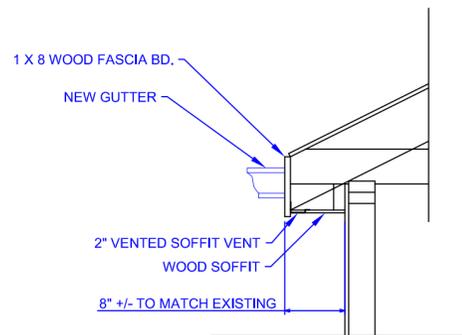
SHEET
4



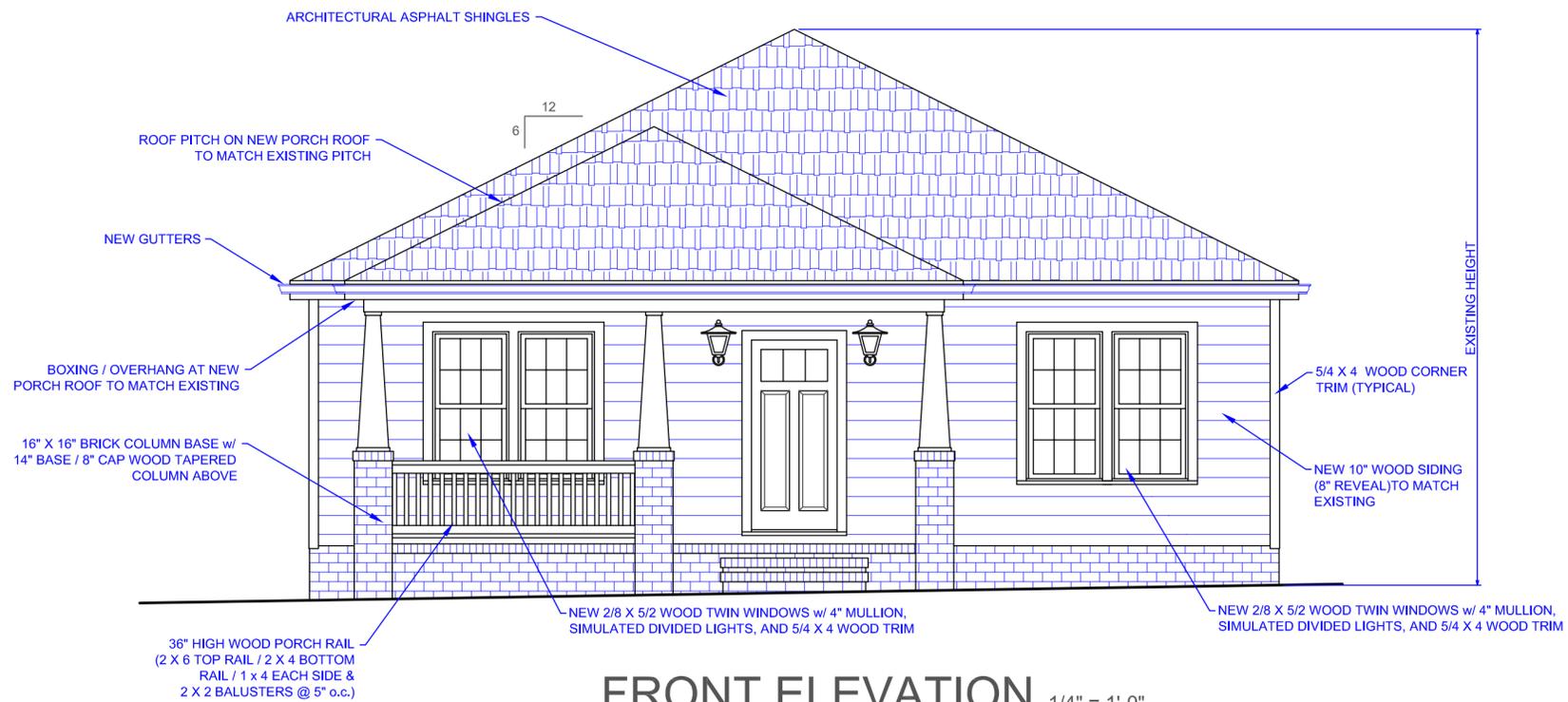
FLOOR PLAN $\frac{1}{4}'' = 1'-0''$
 FIELD VERIFY ALL DIMENSIONS



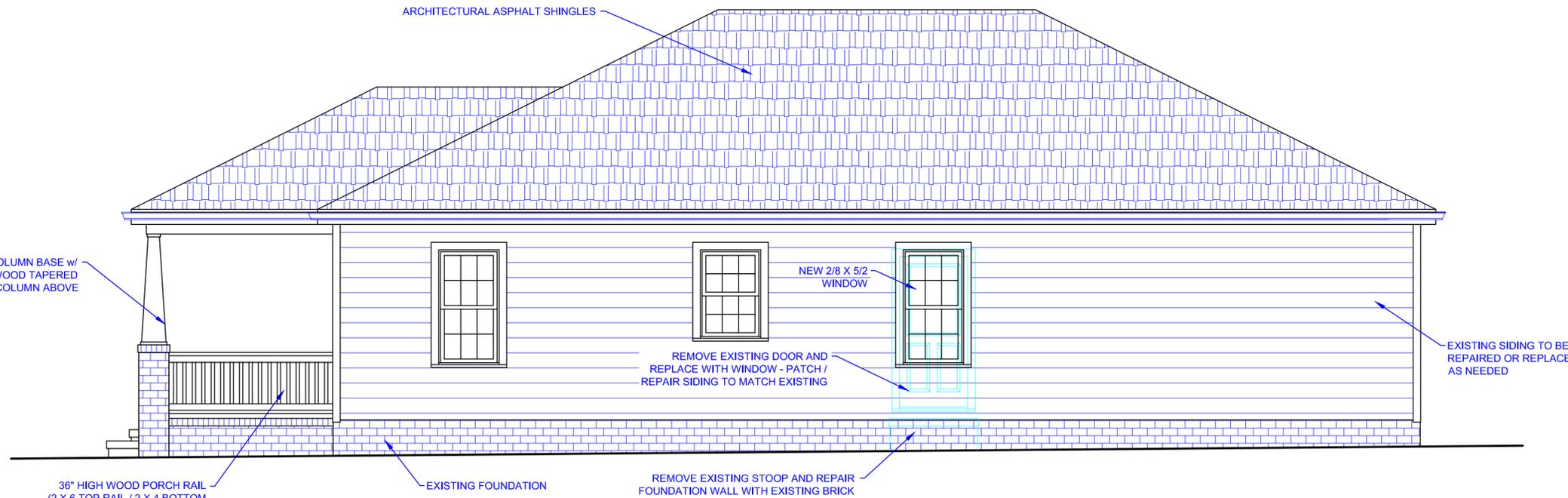
TYPICAL WINDOW TRIM



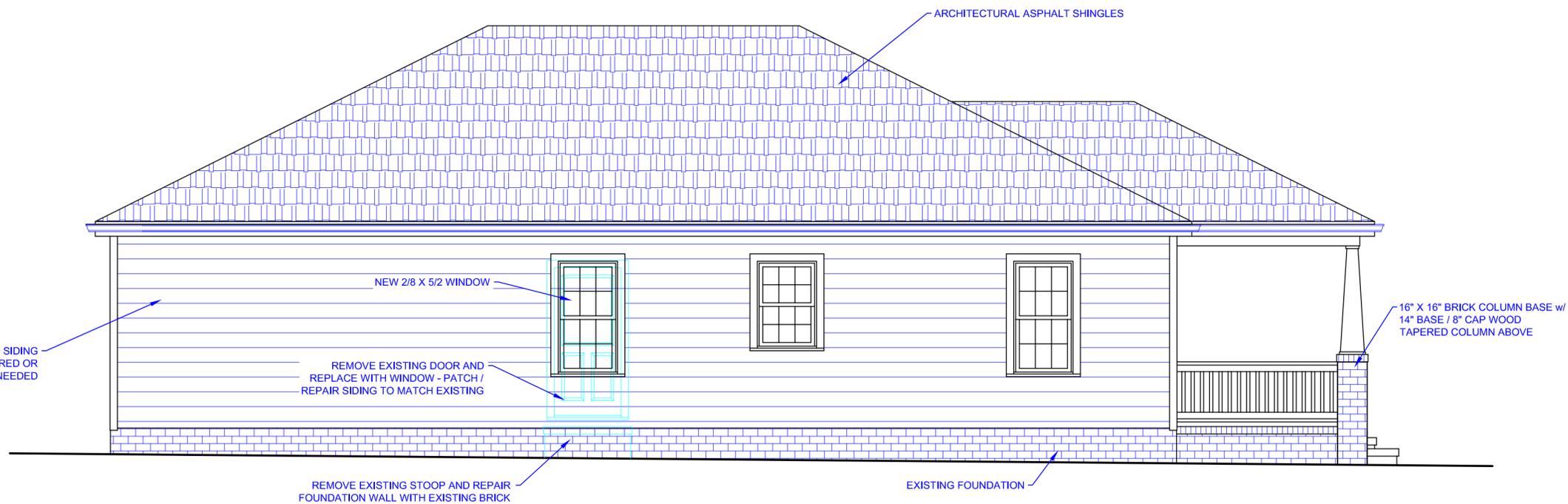
NEW SOFFIT DETAIL



FRONT ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION $1/4" = 1'-0"$



LEFT SIDE ELEVATION $1/4" = 1'-0"$

SIDE ELEVATIONS