
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1926 The Plaza and 2010 The Plaza

SUMMARY OF REQUEST: Demolition and New Construction

APPLICANT: Billy Maddalon

The application was continued from May for the following items: 1) Traditional building materials, 2) Setback of building #1, 3) Garage orientation on buildings 11-13, 5) Setback and façade design of building 19, 6) No corner boards on cedar siding.

Details of Proposed Request

Existing Conditions

The existing structure at 1926 The Plaza is a one story single family home constructed in 1935. Exterior features include two small hipped dormers and a small covered porch on the front. The property at 2010 The Plaza is the Van Landingham Estate, a local historic landmark. The four acre property has two accessory buildings with fairly dense landscaping.

Proposal

The proposal is a two part request.

1. Demolition of the structure at 1926 The Plaza.
2. New construction of 19 townhomes, a pool, pool house and other site features.
 - a) Ten units are accessed from The Plaza and face the main house. Six units are accessed from Belvedere Avenue and three units face the main house with access from Thurmond Place.
 - b) Maximum roof peak is approximately 33'-8".
 - c) Proposed material palette is wood, Hardie board siding, synthetic wood (trim), brick, stone and copper (porch roof and gutters).
 - d) Roof details include exposed rafter ends and synthetic wood trim.
 - e) The pool and pool house are accessed from Belvedere Avenue and The Plaza.
 - f) Other site features include landscaping, tree planting, a fence and new driveways and walkways.

Revised Proposal – May 13, 2015

1. Site plan includes a landscaping plan with the revised pool location along The Plaza in the front and side yard.
2. Setbacks (measured from back of curb) along The Plaza is approximately 39', 32' to 33' along Belvedere Avenue and approximately 28' +/- along Thurmond Place.
3. Mechanical units are located internally to the private lots and screened (site plan note).
4. Pool house is a one story structure, traditional materials.
5. Pool deck is decorative concrete or stone. Fencing is decorative aluminum style.
6. Townhouse elevations have been revised, roof pitch changed to 6:12 and height lowered 3'-4'.
7. Window details have been revised.
8. Minor changes to fenestration patterns and roof design.
9. Siding materials are brick, stone and wood. Gable material is 'Hardie-panel'.

Revised Proposal –June 10, 2015

1. Primary siding is wood lap with corner boards.
2. The setback along The Plaza increased from approximately 39' to 61'.
3. The corner elevation on Belvedere Avenue has additional fenestration and extended porch (sheet D3).
4. Building 12 on Thurmond Avenue – Sheet C1 shows a one car garage. The other units have two car garages.

Policy & Design Guidelines for Demolition

The Commission will make a determination as to whether or not this house is determined to be contributing to the Dilworth Local Historic. With affirmative determination, the Commission can apply up to 365 Day Stay of Demolition. Or if the Commission determines that this property is no longer contributing, then demolition may take place without a delay.

1. No building or structure located within a Local Historic District can be demolished without a Certificate of Appropriateness.
2. The Historic District Commission will evaluate demolition applications to determine if the structure in question contributes to the character of the Local Historic District. If
3. The HDC finds that the structure does not contribute to the character of the district or is unsalvageable, immediate approval of the demolition request may be granted.
4. Should the Historic District Commission find that the structure does contribute to the character of the historic district, the HDC can delay the issuance of a Certificate of Appropriateness authorizing demolition for a period not to exceed 365 days, in order to work with the owner to seek alternatives to demolition.
5. When an application for demolition receives a 365-day delay, any consideration of applications for proposed new construction on the same site will be deferred for 90 days.
6. When an application for demolition receives a 365-day delay, the Historic District Commission Staff will seek an alternative to demolition and will contact, within one month of the delay vote, the property owner who has applied for demolition, Historic Charlotte, Inc., and Preservation North Carolina to inform them of the threatened status of the building.
7. A permanent injunction against demolition can be invoked only in cases where a building or structure is certified by the State Historic Preservation Officer as being of statewide significance.
8. Applications for the demolition of dilapidated accessory structures may be eligible for administrative approval. All other demolition applications will be reviewed by the full Commission.

9. The maximum delay period for the issuance of a Certificate of Appropriateness authorizing demolition shall be reduced by the HDC where the Commission finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use or return from the property by virtue of the delay.

Policy & Design Guidelines for New Construction

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Policy & Design Guidelines – Accessory Buildings (Other Accessory Buildings), page 53

1. Accessory buildings cannot be located in front or side yards.
2. Accessory buildings that are visible from the street must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for accessory buildings must be inspired by the main building they serve. Building details must be derived from the main structure.
4. Accessory buildings and their placement must be of a proper scale in relation to the main structure on a lot, and to structures on surrounding properties.
5. Prefabricated accessory buildings can be used only in locations where they will not be substantially visible from any street or when they are judged to be appropriate to the site.
6. The HDC will give special consideration to the installation of accessory buildings in non-residential uses.

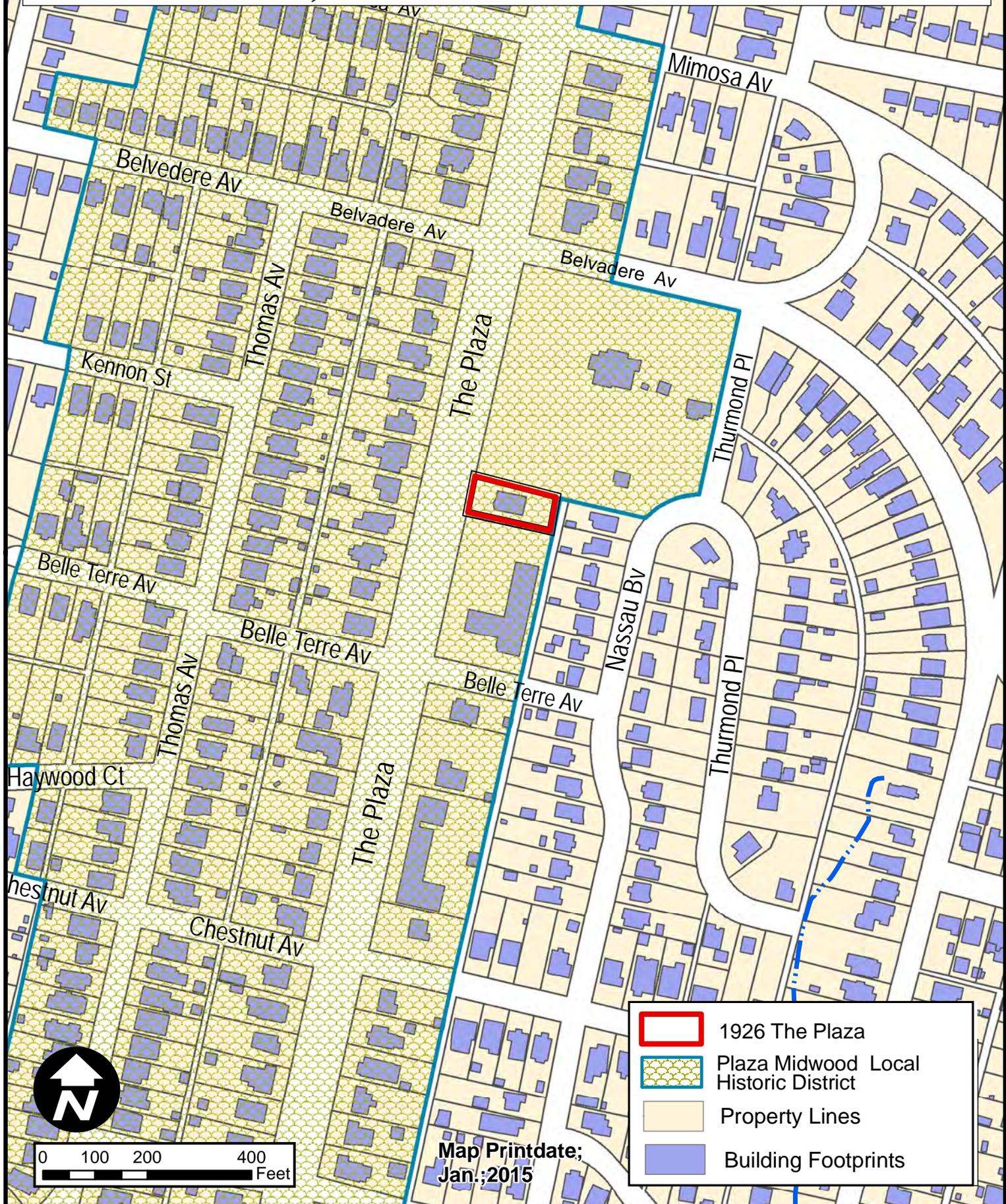
7. Doors of accessory buildings that are substantially visible front any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

Staff Analysis

1. The Commission will determine if the 365-Day Stay of Demolition should be applied.
2. The Commission will determine if the proposal meets the guidelines for new construction.

Charlotte Historic District Commission - Case 2015-007

Historic District; Plaza-Midwood

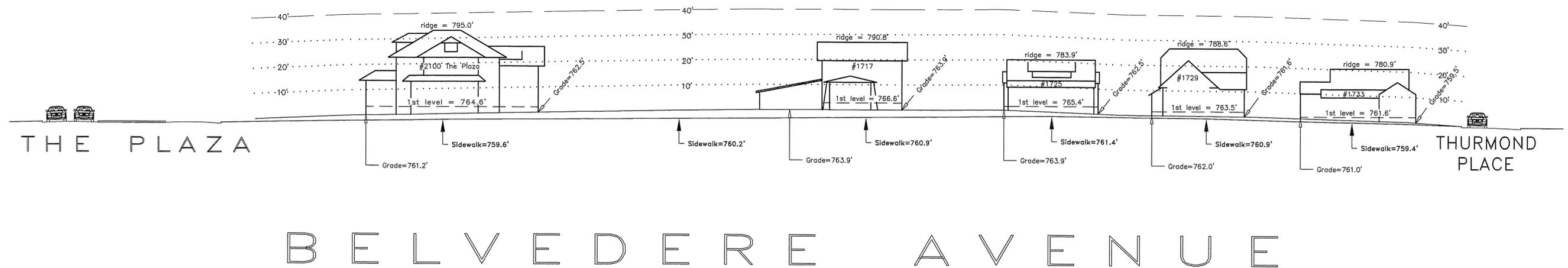


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 14th day of January, 2015.



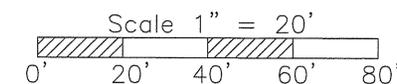
A.G.Z.
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098



A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

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Building Heights Sketch of
1700 BLOCK of BELVEDERE AVENUE
FACING NORTH
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
January 13, 2015

General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

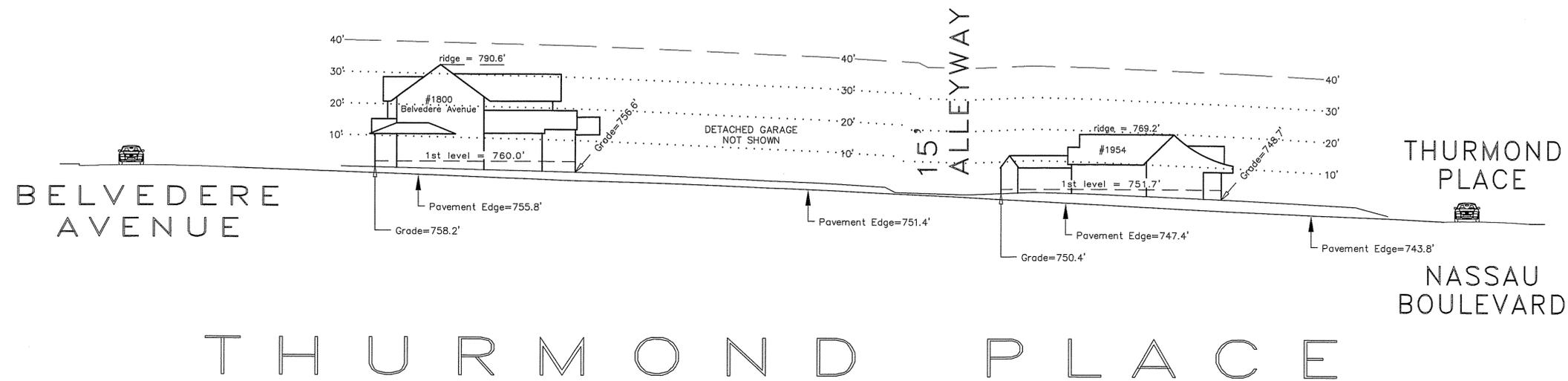


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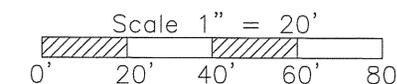
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Building Heights Sketch of
2000 BLOCK of THURMOND PLACE
FACING EAST
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
January 13, 2015

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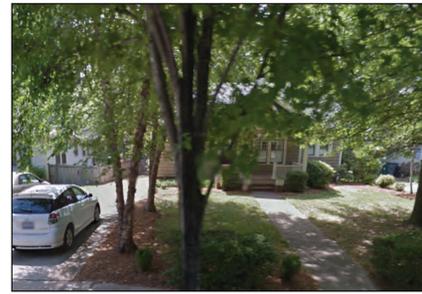
1717 BELVEDER AVE.



1901 THE PLAZA



1945 THURMOND PL.



2027 THE PLAZA



1725 BELVEDER AVE.



1909 THE PLAZA



1954 THURMOND PL.



2031 THE PLAZA



1729 BELVEDER AVE.



1913 THE PLAZA



2001 THE PLAZA



2037 THE PLAZA



1733 BELVEDER AVE.



1919 THE PLAZA



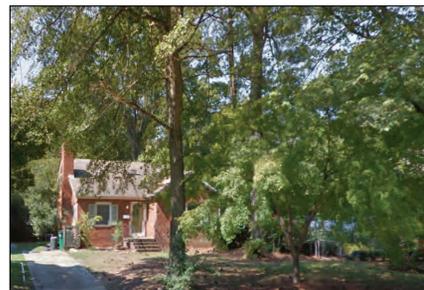
2009 THE PLAZA



2100 THE PLAZA



1801 BELVEDER AVE.



1925 NASSAU BLVD



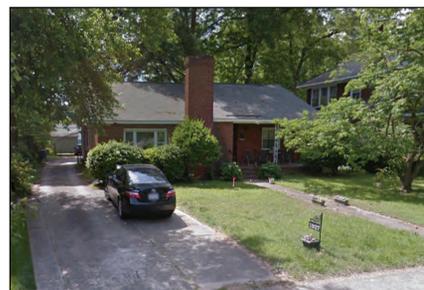
2015 THE PLAZA



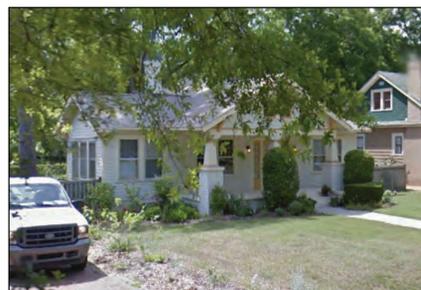
2101 THE PLAZA



1900 BELVEDER AVE.



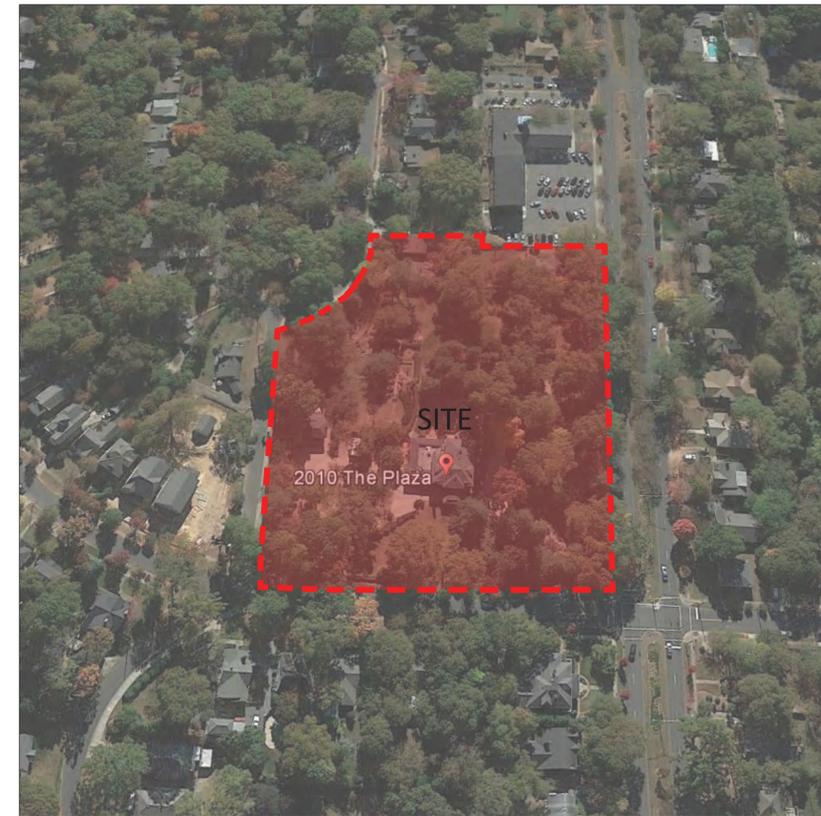
1927 NASSAU BLVD



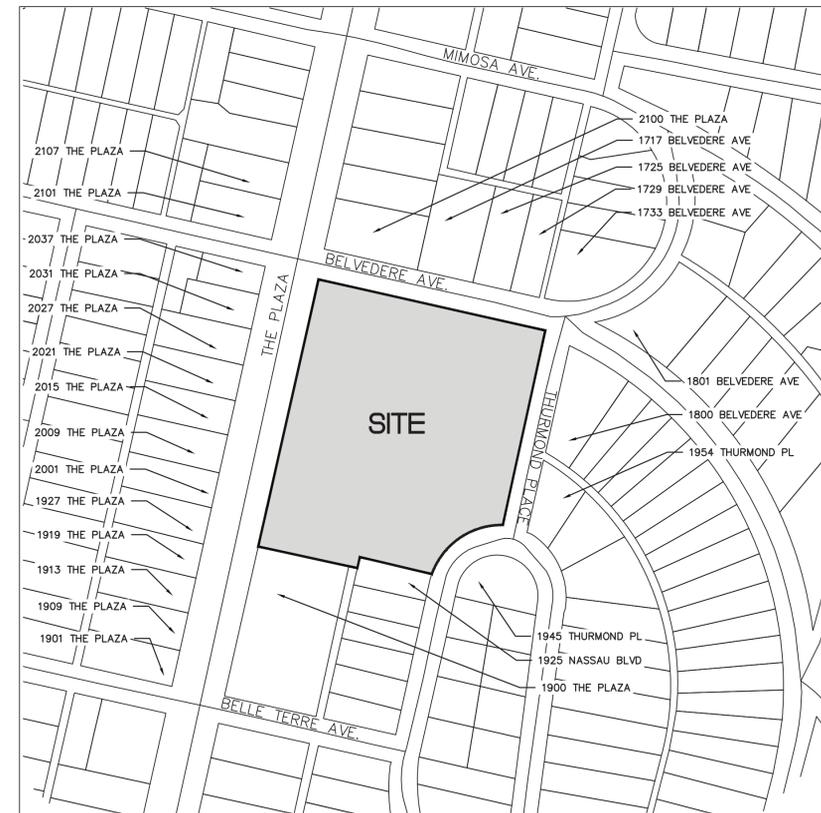
2021 THE PLAZA



2107 THE PLAZA



SITE CONTEXT



ADJOINING PROPERTIES



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url: www.colejeneststone.com

**BILLY
MADDALON**
2010 The Plaza
Charlotte
North Carolina 28205

**VANLANDINGHAM
ESTATE**

2010 The Plaza
Charlotte
North Carolina 28205

SITE CONTEXT & PHOTOGRAPHS

Project No.
4344.00

Issued
01/21/15 - HISTORIC LANDMARKS COMMISSION

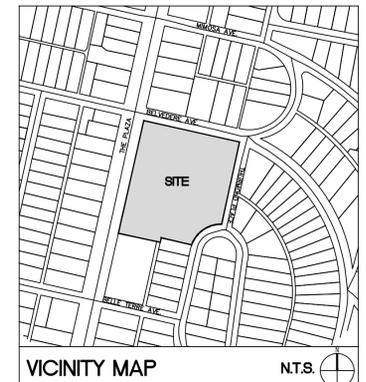
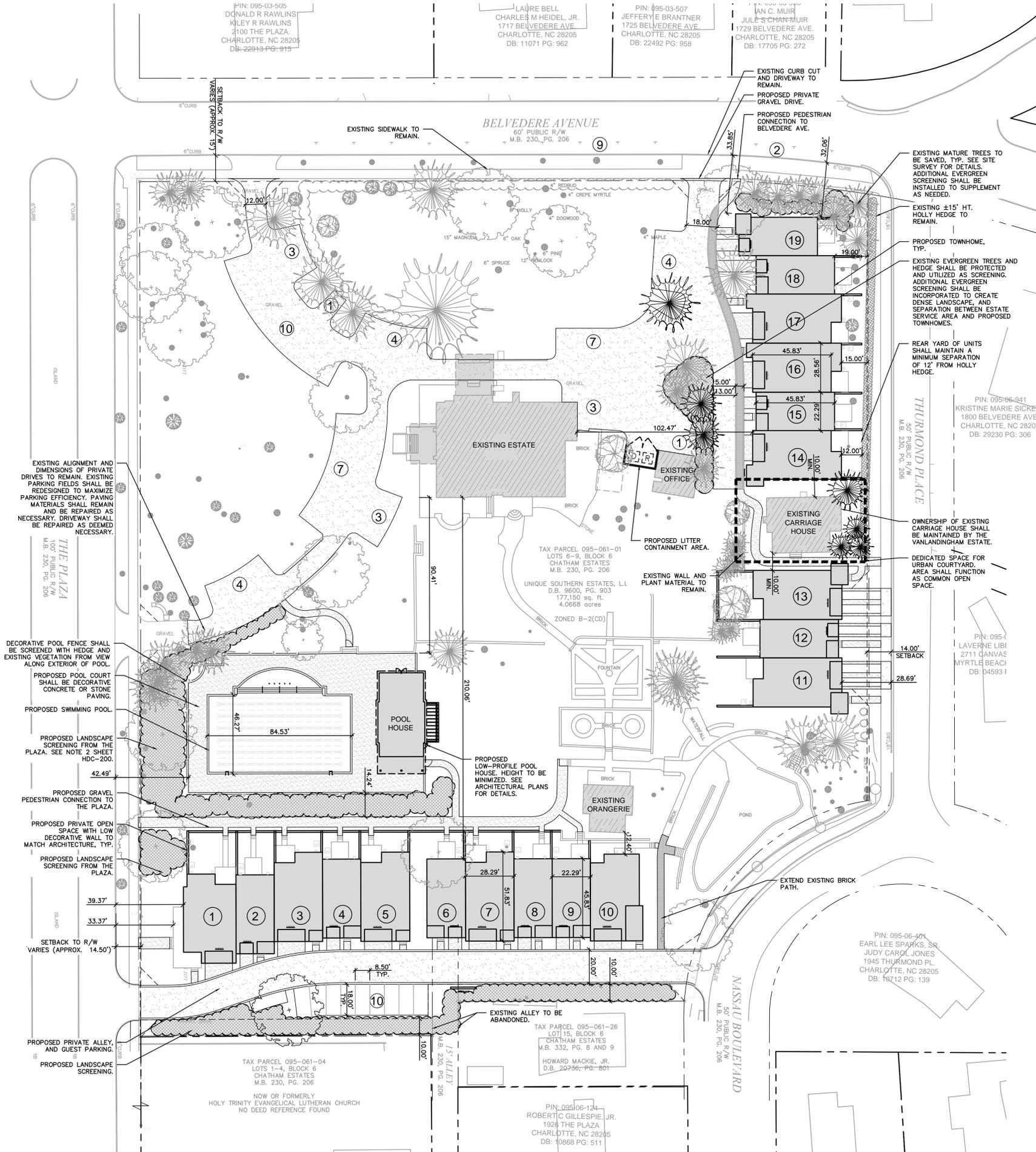
Revised



HDC-100

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LEGEND

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED GRAVEL SURFACE
[Pattern]	PROPOSED BUILDING ENVELOPE
[Pattern]	EXISTING BUILDING ENVELOPE
[Pattern]	PROPOSED POOL COURT
[Symbol]	EXISTING TREE
[Symbol]	SIGNIFICANT EXISTING TREE TO BE PROTECTED WITHIN PROJECT AREA
[Symbol]	SIGNIFICANT PROPOSED TREE WITHIN PROJECT AREA
[Pattern]	PROPOSED LANDSCAPE SCREENING

DEVELOPMENT SUMMARY

PETITIONER:	BILLY MADDALON 2010 THE PLAZA CHARLOTTE, NC 28205
PROPERTY OWNER:	BILLY MADDALON 2010 THE PLAZA CHARLOTTE, NC 28205
TOTAL SITE AREA:	TOTAL: 4.521 AC
TAX PARCEL #:	095-06-101A 095-06-101B 095-06-102 095-06-126
EXISTING USE:	HOTEL/ SINGLE FAMILY DETACHED
PROPOSED USE:	HOTEL/ SINGLE FAMILY ATTACHED
NUMBER OF UNITS:	19 NEW SINGLE FAMILY ATTACHED UNITS, 1 EXISTING HOTEL/ EVENT FACILITY
MINIMUM SETBACK:	EXISTING RIGHT-OF-WAY OR 14' FROM BACK OF CURB, WHICH EVER IS GREATER.
CLOSEST RESIDENTIAL STRUCTURE TO:	BELVEDERE AVE: 32.06' LF THURMOND PL: 28.69' LF THE PLAZA: 39.37' LF (TO FIRE WALL)
LOT COVERAGE:	41.4% (THIS CALCULATION INCLUDES EXISTING AND PROPOSED BUILD UP AREA)
TOTAL TREES REMOVED:	55 TREE GREATER THAN 6" DBH (SEE NOTE 3 SHEET HDC-200)

- HDC NOTES**
- THE PETITIONER SHALL REPLANT A MINIMUM OF 30% OF THE TOTAL TREE DENSITY BEING REMOVED DUE TO CONSTRUCTION ACTIVITY ON SITE.
 - LANDSCAPE SCREENING TO BE PROVIDED ON SITE SHALL COMPLEMENT EXISTING VEGETATION. LANDSCAPE SCREENING SHALL INCLUDE, BUT IS NOT LIMITED TO: HEMLOCK, YEW, AMERICAN BOXWOOD, TEA OLIVE, RHODODENDRON, AZALEA, AMERICAN HOLLY, INKBERY HOLLY, YAUPON HOLLY, DWARF YAUPON HOLLY, MAGNOLIA, CRYPTOMERIA, PODOCARPUS & ARBORVITAE.
 - ALL BACKFLOW PREVENTORS SHALL BE SCREENED FROM THE RIGHT-OF-WAY. FINAL LOCATIONS TO BE DETERMINED DURING CONSTRUCTION DOCUMENTS PHASE, IN COORDINATION WITH CHARLOTTE WATER.
 - ALL MECHANICAL UNITS SHALL BE LOCATED INTERNALLY TO THE PRIVATE LOTS, AND SCREENED FROM VIEW WITH EITHER A DECORATIVE WALL OR VEGETATION.
 - ALL TRASH PICK-UP SHALL BE PROVIDED THROUGH A PRIVATE ROLLOUT SERVICE. LITTER AND RECYCLING RECEPTACLES SHALL BE STORED INTERNAL TO THE UNIT.



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VANLANDINGHAM ESTATE

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DIMENSIONAL SITE PLAN

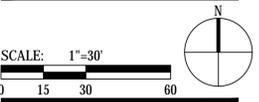
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 01/21/15 - HISTORIC LANDMARKS COMMISSION

Revised
 05/04/15 - HDC COMMENTS

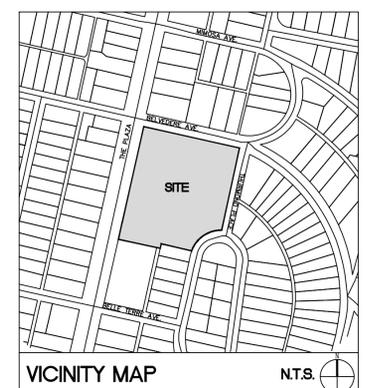
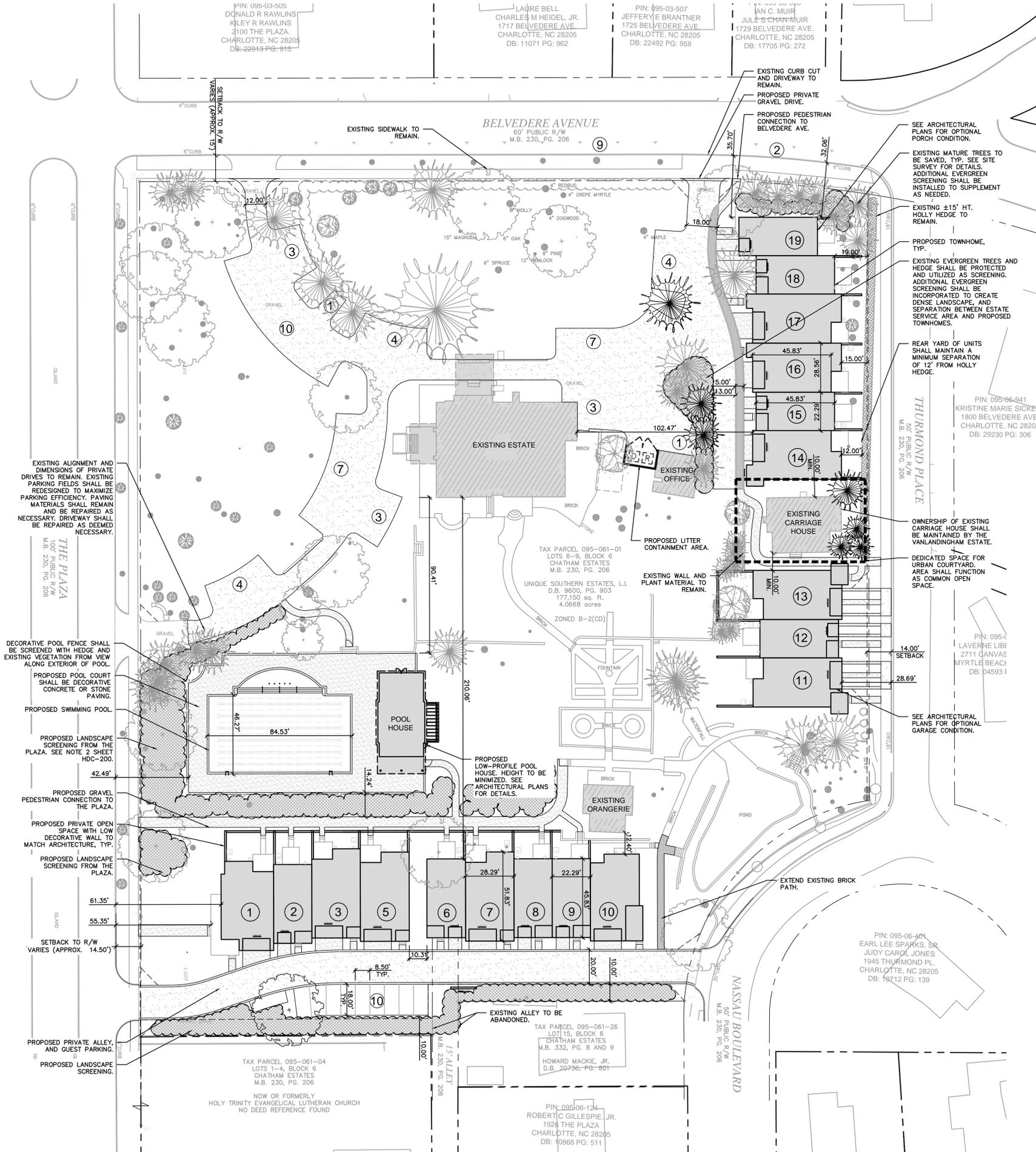


MAY 2015



HDC-200

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TAX PARCEL #:	095-06-101A 095-06-101B 095-06-102 095-06-126
EXISTING USE:	HOTEL/ SINGLE FAMILY DETACHED
PROPOSED USE:	HOTEL/ SINGLE FAMILY ATTACHED
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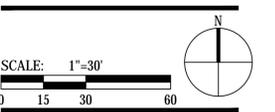
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Issued
 06/01/15 - HISTORIC DISTRICT COMMISSION

Revised
 1. 05/04/15 - HDC COMMENTS
 2. 06/01/15 - HLC COMMENTS

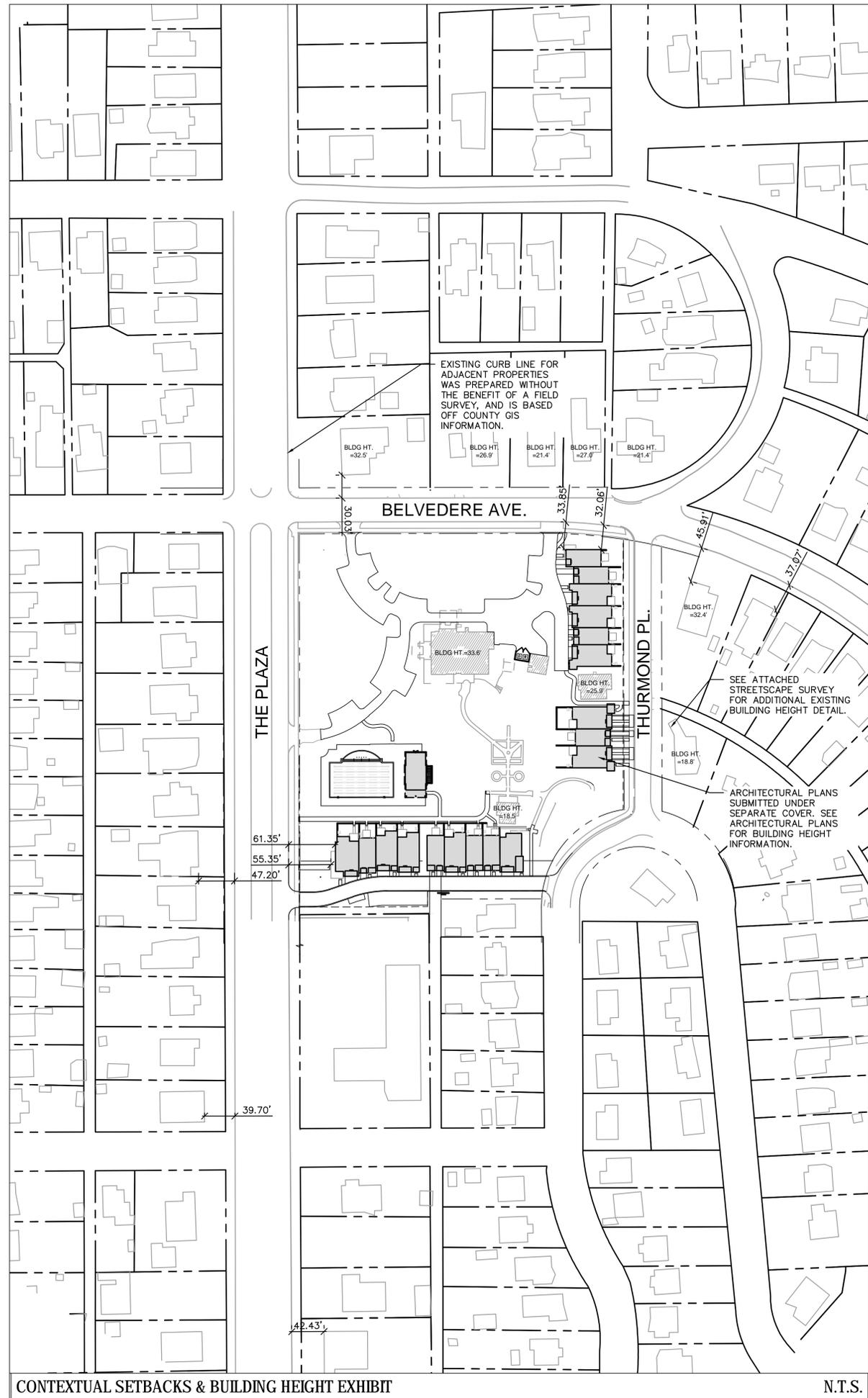


june 2015



HDC-200

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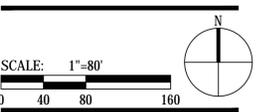
2010 The Plaza
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SETBACK EXHIBIT

Project No.
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Issued
06/01/15 - HISTORIC DISTRICT COMMISSION

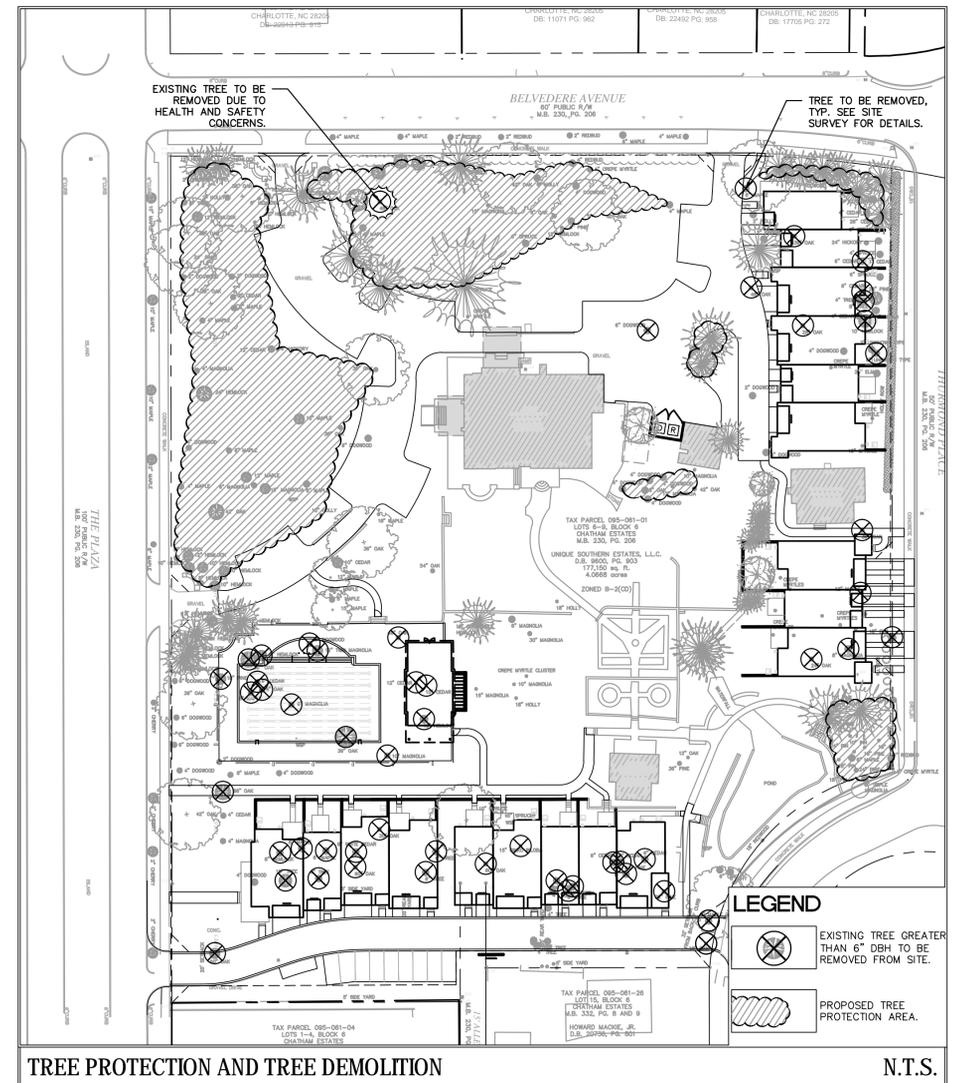
Revised
1 05/04/15 - HDC COMMENTS
2 06/01/15 - HLC COMMENTS

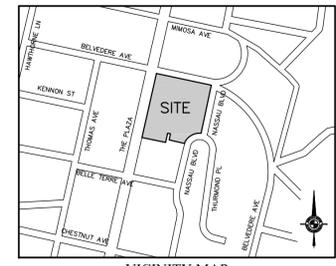


HDC-300

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MAY 2015



NOTES:

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
6. ELEVATIONS BASED ON N.G.S. MONUMENT "MCDOWELL", ELEVATION = 681.79 FEET, NAVD 88.
7. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

TAX PARCEL: 095-061-01
 ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
 SUBJECT PROPERTY ZONED: B-2(CD)

FOR FURTHER INFORMATION CONTACT THE
 CHARLOTTE-MECKLENBURG ZONING DEPARTMENT
 AT 704-336-3369.

TAX PARCELS: 095-061-02 & 095-061-26
 ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
 SUBJECT PROPERTY ZONED: R-5
 SETBACKS SHOWN HEREON FOR RESIDENTIAL USE

MINIMUM SETBACK: 20 FT ALONG DESIGNATED THOROUGHFARE
 33 FT FROM FUTURE OR EXISTING BACK OF CURB
 MINIMUM SIDE YARD: 5 FT
 MINIMUM REAR YARD: 35 FT
 MAXIMUM BUILDING HEIGHT: 40 FT

FOR FURTHER INFORMATION CONTACT THE
 CHARLOTTE-MECKLENBURG ZONING DEPARTMENT
 AT 704-336-3369.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	680.64'	108.77'	108.66'	S73°14'35"E
C2	127.30'	119.53'	115.19'	S67°08'07"W
C3	127.30'	52.06'	51.70'	S28°31'14"W
C4	680.64'	50.75'	50.74'	N66°31'44"W

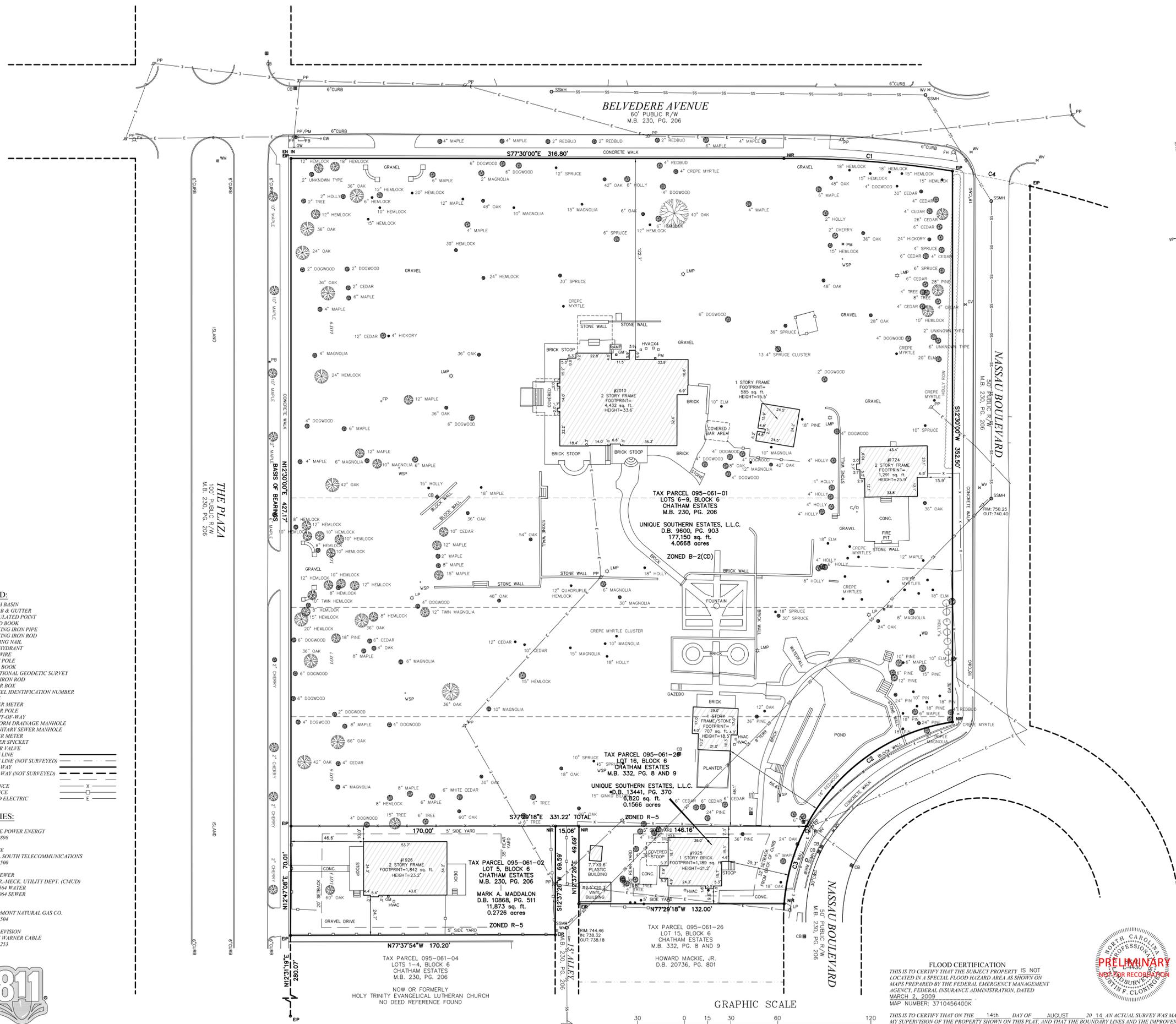
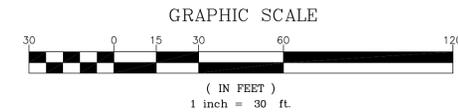
TOTAL AREA
 195,843 sq. ft.
 4.4960 acres

REVISIONS			SURVEY PREPARED FOR:		
09-29-14	SANITARY SEWER ELEVATIONS ADDED.		COLEJENEST & STONE		
11-12-14	TREE IDENTIFICATIONS UPDATED.		210 & 1926 THE PLAZA; 1925 NASSAU BLVD. CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC		
			MAP REFERENCES: 230-206; AND 322-8 & 9; DEED REFERENCE: 9600-903; 10868-511; AND 13441-370 TAX PARCEL NO: 095-061-01; 095-061-02; AND 095-061-26		
			R.B. PHARR & ASSOCIATES, P.A.		
			SURVEYING & MAPPING 420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL: (704) 376-2186		
CREW:	DRAWN:	REVISED:	SCALE:	DATE:	FILE NO. W-4628
KD	CEB		1" = 30'	AUGUST 14, 2014	JOB NO. 81758

FLOOD CERTIFICATION
 THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED MARCH 2, 2009.
 MAP NUMBER: 3710456400K



THIS IS TO CERTIFY THAT ON THE 14th DAY OF AUGUST 2014, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. BOARD RULE 1600 (21) N.C.A.C. 50 AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 50 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

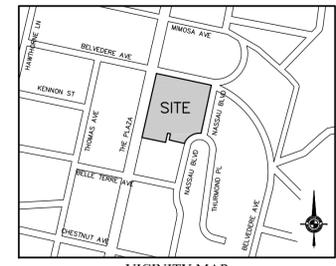


- LEGEND:**
- CB - CATCH BASIN
 - C&G - CURB & GUTTER
 - CP - CALCULATED POINT
 - D.B. - DEED BOOK
 - EDP - EXISTING IRON PIPE
 - EIR - EXISTING IRON ROD
 - EN - EXISTING NAIL
 - FH - FIRE HYDRANT
 - GW - GUY WIRE
 - LP - LIGHT POLE
 - M.B. - MAP BOOK
 - N.G.S. - NATIONAL GEODETIC SURVEY
 - NIR - NEW IRON ROD
 - PB - POWER BOX
 - PIN - PARCEL IDENTIFICATION NUMBER
 - PG - PAGE
 - PM - POWER METER
 - PP - POWER POLE
 - R/W - RIGHT-OF-WAY
 - SDMH - STORM DRAINAGE MANHOLE
 - SSMH - SANITARY SEWER MANHOLE
 - WM - WATER METER
 - WSP - WATER SPICKET
 - WV - WATER VALVE
 - PROPERTY LINE (NOT SURVEYED)
 - PROPERTY LINE (NOT SURVEYED)
 - RIGHT-OF-WAY
 - RIGHT-OF-WAY (NOT SURVEYED)
 - SETBACK
 - METAL FENCE
 - WOOD FENCE
 - OVERHEAD ELECTRIC

- UTILITIES:**
- POWER
 - DUKE POWER ENERGY 1-800-777-9898
 - TELEPHONE
 - BELL SOUTH TELECOMMUNICATIONS 1-888-757-6500
 - WATER & SEWER
 - CHAR-MECK. UTILITY DEPT. (CMUD) (704) 336-2564 WATER (704) 337-6064 SEWER
 - GAS
 - PIEDMONT NATURAL GAS CO. 1-800-752-7504
 - CABLE TELEVISION
 - TIME WARNER CABLE 1-800-992-2253



Know what's below.
 Call before you dig.



VICINITY MAP
NOT TO SCALE



JUNE 2015

NOTES:

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THE MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
6. ELEVATIONS BASED ON N.G.S. MONUMENT "MCDOWELL", ELEVATION = 681.79 FEET, NAVD 88.
7. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

TAX PARCEL: 095-061-01
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: B-2(CD)

FOR FURTHER INFORMATION CONTACT THE
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT
AT 704-336-3369.

TAX PARCELS: 095-061-02 & 095-061-26
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: R-5
SETBACKS SHOWN HEREON FOR RESIDENTIAL USE

MINIMUM SETBACK: 20 FT ALONG DESIGNATED THOROUGHFARE
33 FT FROM FUTURE OR EXISTING BACK OF CURB
MINIMUM SIDE YARD: 5 FT
MINIMUM REAR YARD: 35 FT
MAXIMUM BUILDING HEIGHT: 40 FT

FOR FURTHER INFORMATION CONTACT THE
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT
AT 704-336-3369.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	680.64'	108.77'	108.66'	S73°14'35"E
C2	127.30'	119.53'	115.19'	S67°08'07"W
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TOTAL AREA
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			R.B. PHARR & ASSOCIATES, P.A.		
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CREW:	DRAWN:	REVISED:	SCALE:	DATE:	FILE NO. W-4628
KD	CEB		1" = 30'	AUGUST 14, 2014	JOB NO. 81758

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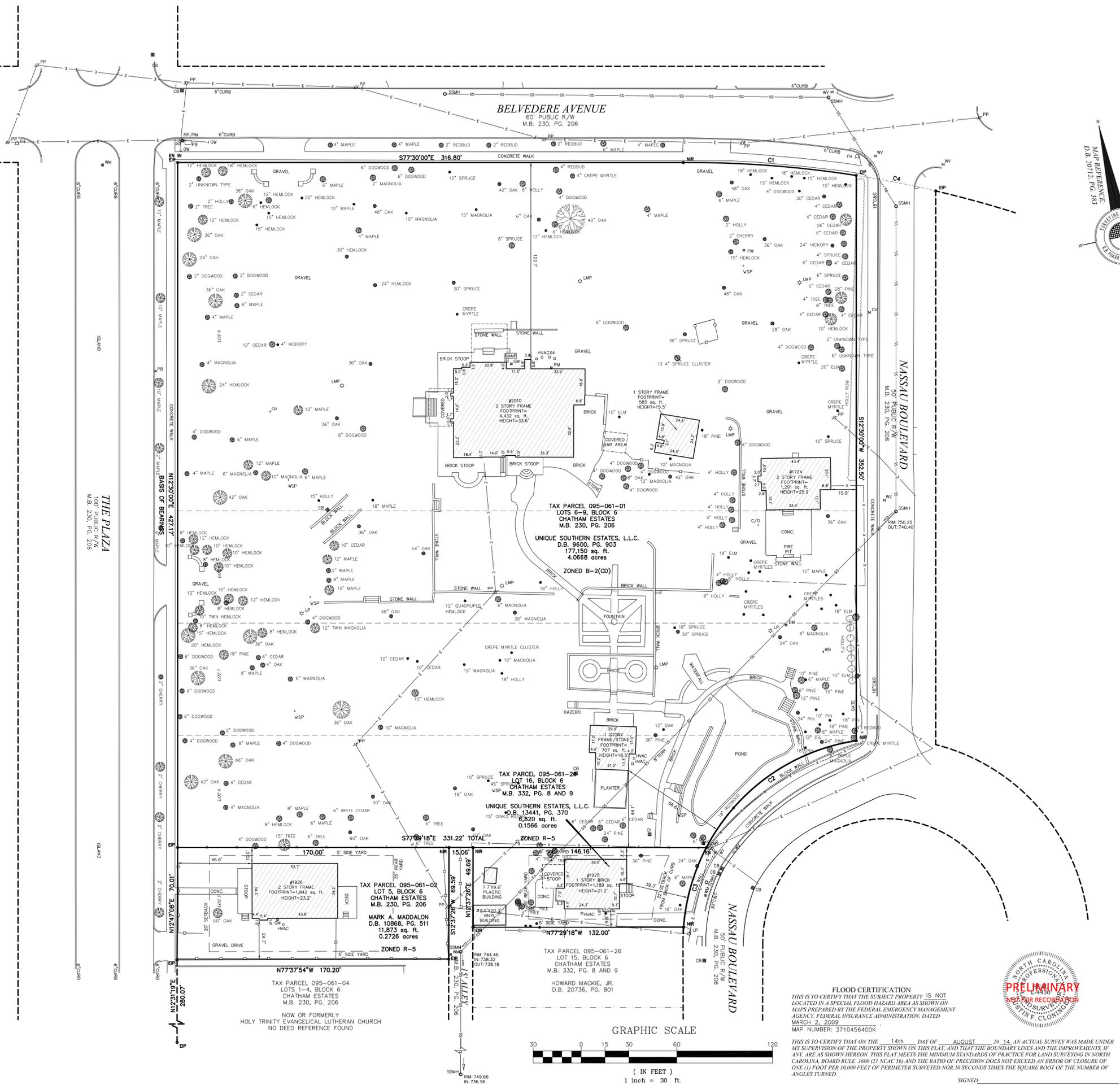
GRAPHIC SCALE
1 inch = 30 ft.

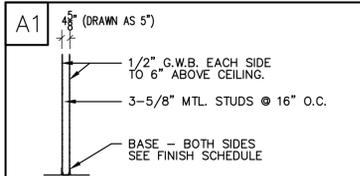
- LEGEND:
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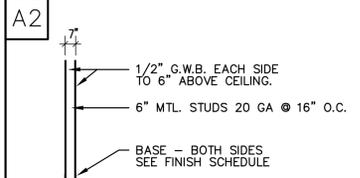


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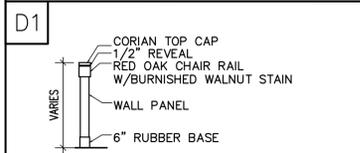
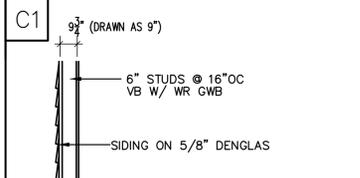




A1.A = 1 HR. RATED WITH 5/8" TYPE "X" G.W.B. EACH SIDE (U.L. #419) PARTITION TO EXTEND TO U/S OF DECK.



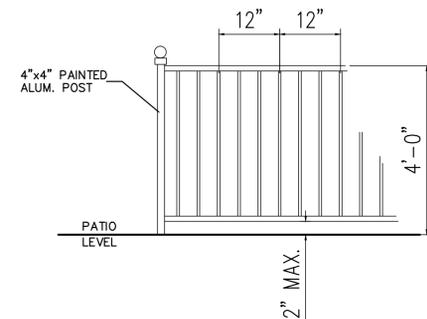
A2.A = 1 HR. RATED WITH 1 LAYER 5/8" TYPE "X" G.W.B. EACH SIDE (U.L. #419) PARTITION TO EXTEND TO U/S OF DECK.



KEY: WALL TYPE WALL TYPE NOTES

WALL TYPE NOTES:
 SP = SOUND PROTECTION TO UNDERSIDE OF DECK W/ BATT INSULATION TYP.
 D = 5/8" OR 1/2" DENSHELD APPLIED UP TO 2'-0" AFF (HOLD 1" OFF FLOOR) TYP. IN KITCHEN AREAS AND RESTROOMS
 FRP = FIBERGLASS REINFORCED PANELS TO 6" ABOVE CLG.
 FH = FULL HEIGHT PARTITION - SECURE TO ROOF DECK
 LW = LOW WALL - HEIGHT NOTED ON PLAN
 WR = WATER RESISTANT G.W.B. ON KITCHEN OR RESTROOM SIDE(S) OF WALL
 PTP = 5/8" OR 1/2" PRESSURE TREATED PLYWOOD TO 10'-1" A.F.F. (TYP. IN KITCHEN AREAS)
 ***SEE ROOM FINISH SCHEDULE ON SHEET A9.0 FOR ALL INTERIOR FINISHES

2 TYPICAL WALL TYPES
 A2.0 SCALE: N.T.S.

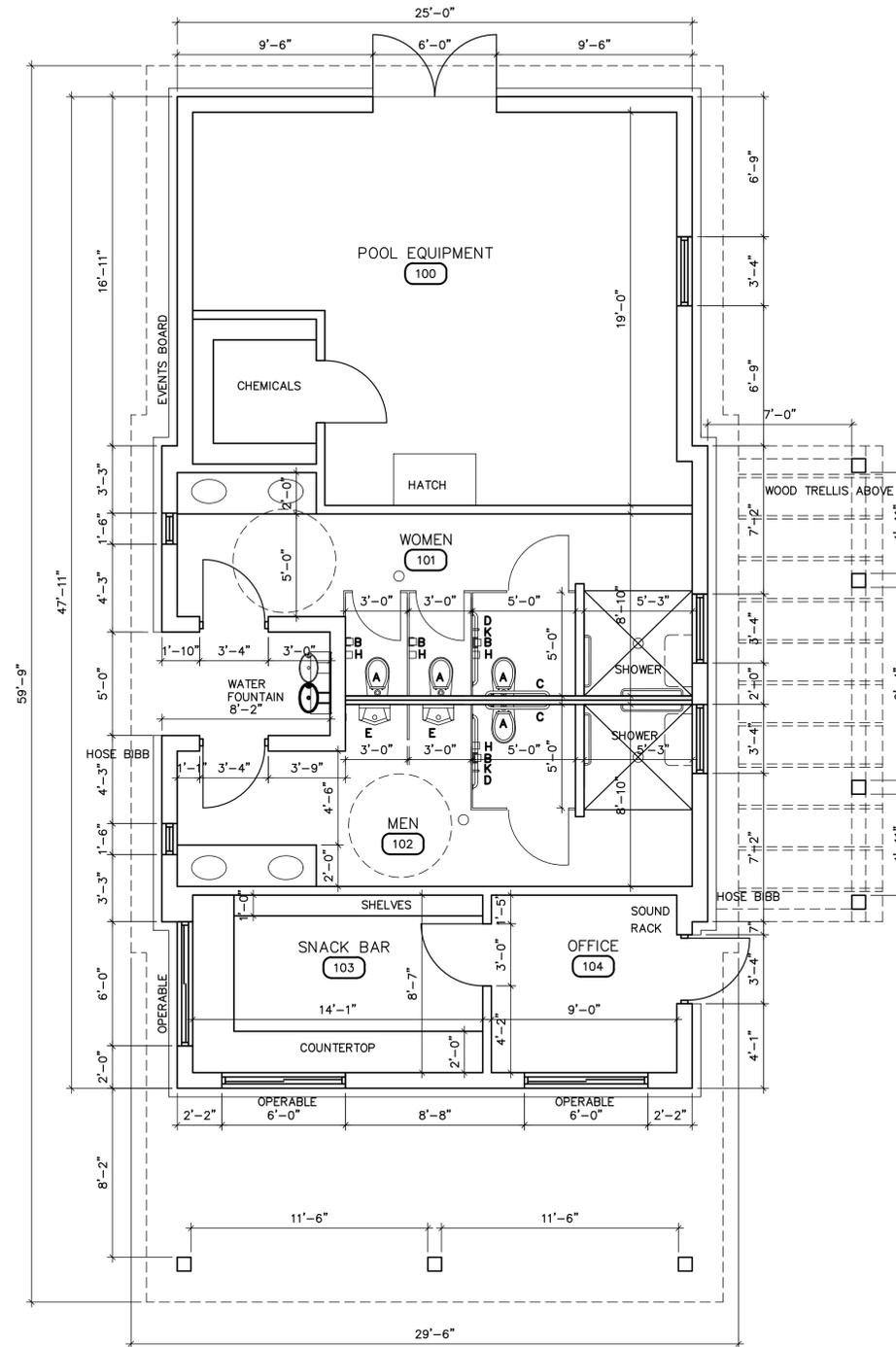


3 TYP. RAIL DETAILS
 A2.0 NTS

- NOTE:
1. TOP & BOTTOM RAILS 1" SQ.
 2. PICKETS 1/2" SQ.
 3. CIRCLE 1/2" Ø TUBE
 4. MAX. BETWEEN PICKETS & DECORATIVE OPENINGS SHALL NOT EXCEED 4"
 5. ALL METAL TO BE PREFINISHED BLACK POWDER COATED ALUMINUM



4 EXIST. GARDEN ROOM
 A2.0 NTS



1 FLOOR PLAN
 A2.0 SCALE: 1/4" = 1'-0"



FOR COORDINATION WITH FINISH SCHEDULE ONLY

spencer architect
 11031 CATTAIL BLUFF
 TEGA CAY, SC 29708

spencer@aol.com

803-802-6590



A NEW POOL BUILDING FOR THE
VAN LANDINGHAM ESTATE
 2010 THE PLAZA, CHARLOTTE, NC

FLOOR PLAN

PROJECT DATE: 12/07/14
 PROJECT NUMBER: 14049

ISSUE DATE: 04/29/15
 1.
 2.
 3.

REVISED: 1.
 2.
 3.
 4.
 5.
 6.
 7.

SHEET NUMBER:
 OF A2.0



PROJECT DATE: 12/07/14
PROJECT NUMBER: 14049

ISSUE DATE: 04/29/15
1. _____
2. _____
3. _____
REVISED: 1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____

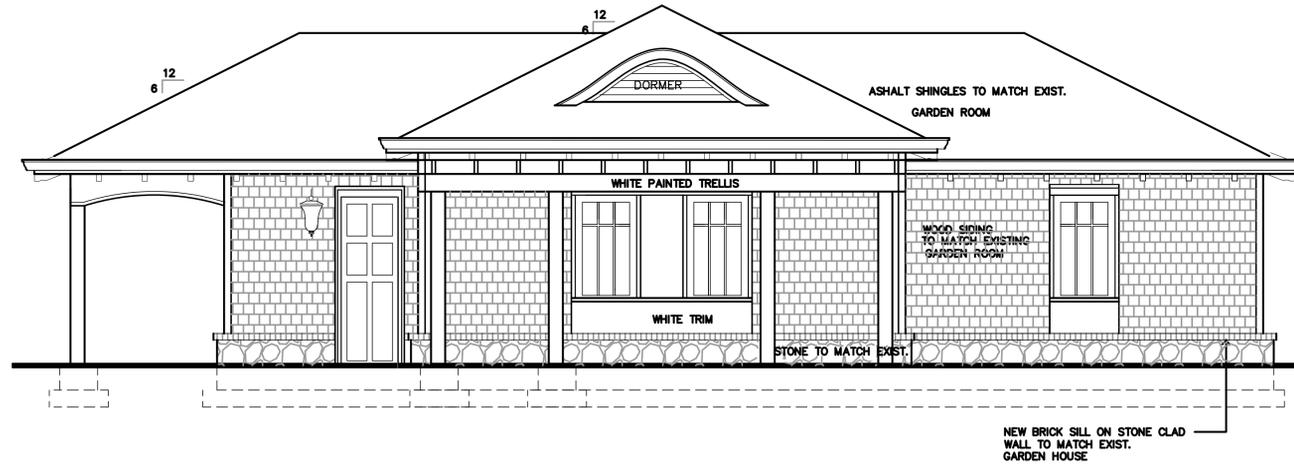
SHEET NUMBER:
OF A6.0

17'-0"±
TOP OF ROOF PEAK

14'-2"±
TOP OF LOWER ROOF

9'-0"
U/S FACIA

0'-0"
GRADE F.F.E.

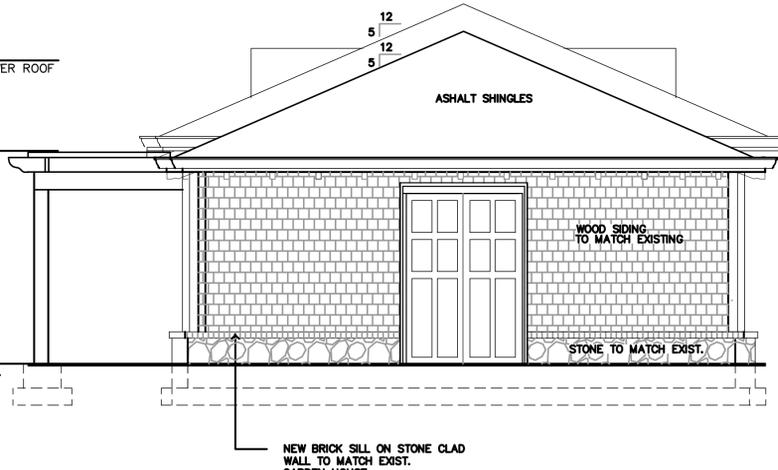


1 EAST ELEVATION
A6.0 1/4" = 1'-0"

14'-2"±
TOP OF LOWER ROOF

10'-0"
U/S FACIA

0'-0"
GRADE F.F.E.



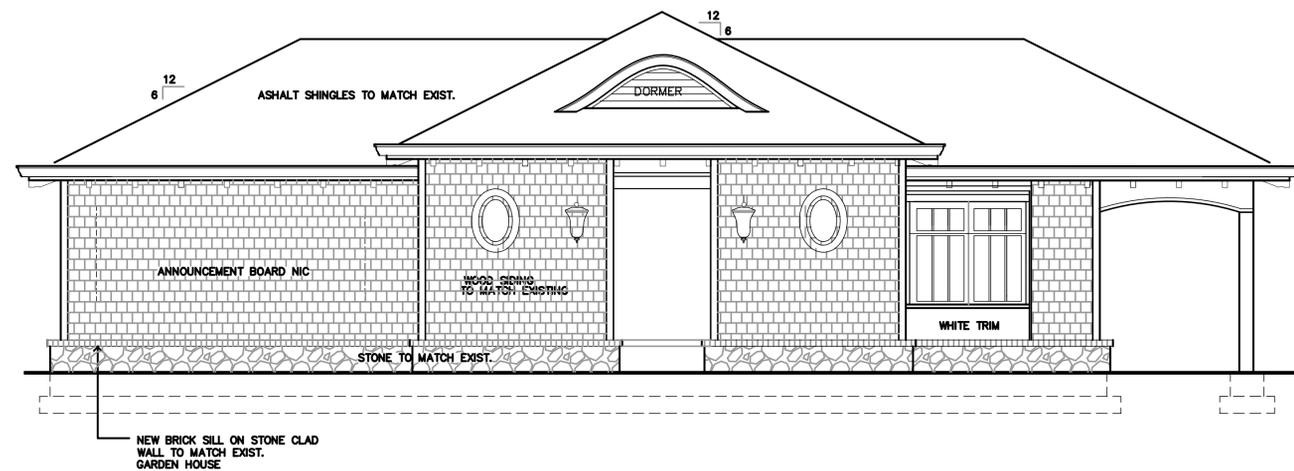
2 NORTH ELEVATION
A6.0 1/4" = 1'-0"

17'-0"±
TOP OF ROOF PEAK

14'-2"±
TOP OF LOWER ROOF

10'-0"
U/S FACIA

0'-0"
GRADE F.F.E.

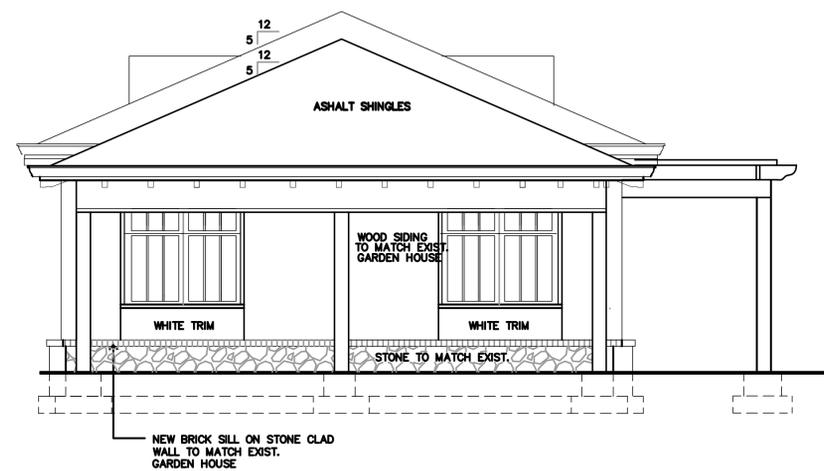


3 WEST ELEVATION
A6.0 1/4" = 1'-0"

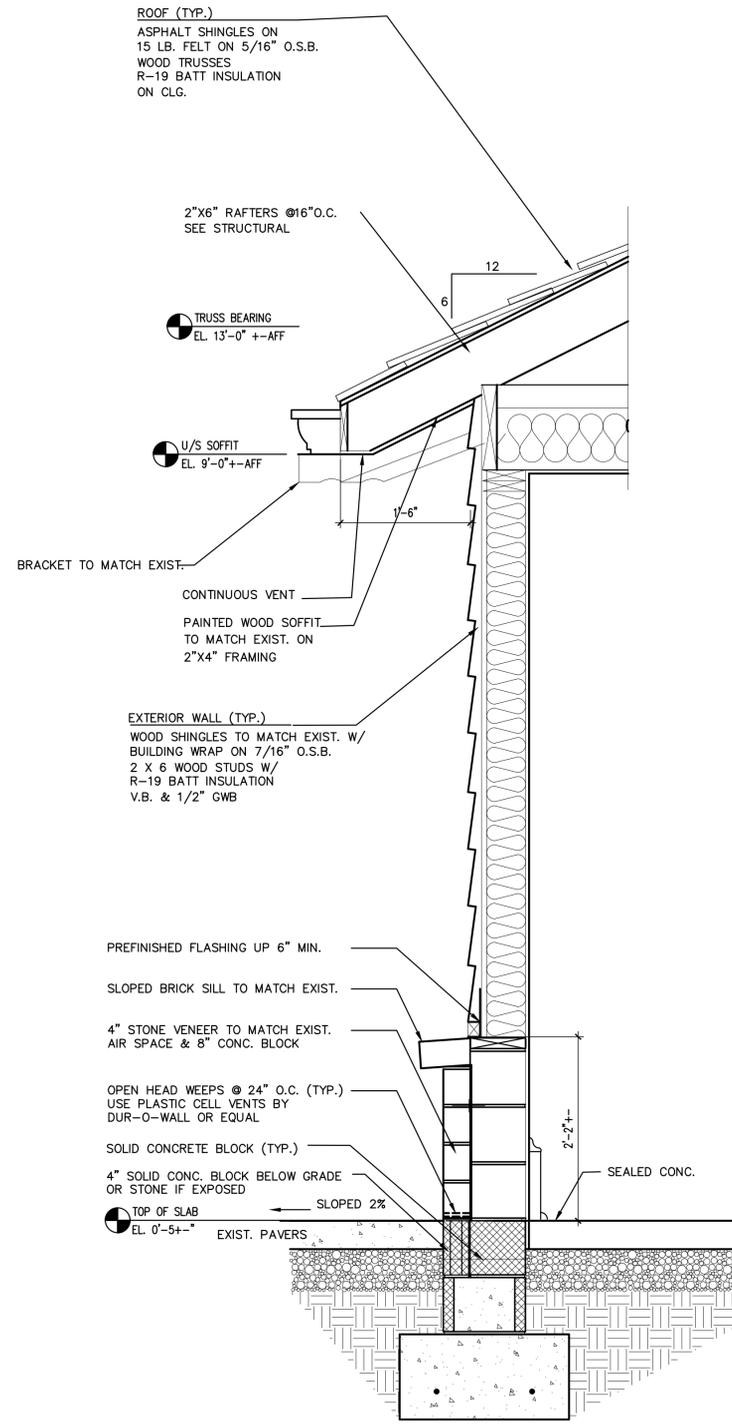
14'-2"±
TOP OF LOWER ROOF

10'-0"
U/S FACIA

0'-0"
GRADE F.F.E.



4 SOUTH ELEVATION
A6.0 1/4" = 1'-0"



2 TYPICAL WALL SECTION
 A7.0 SCALE: 1" = 1'-0"



PROJECT DATE: 12/07/14
 PROJECT NUMBER: 14049

ISSUE DATE: 04/29/15
 1. _____
 2. _____
 3. _____
 REVISED: 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 6. _____
 7. _____

SHEET NUMBER:
 OF A7.0



24 9:21 AM





BUILDING MATERIALS:

- ROOFING:** 30 YEAR ARCHITECTURAL COMPOSITION SHINGLES
SIMULATED AGED COPPER (MATTE BRONZE FINISH) AT PORCH ROOFS WHERE SHOWN ON ELEVATIONS.
- GUTTERS & DOWNSPOUTS:** SIMULATED AGED COPPER (MATTE BRONZE FINISH), 5" OGEE STYLE GUTTER WITH 3" DIAMETER ROUND DOWNSPOUTS
- SIDING & TRIM:** STAINED OR PAINTED WOOD LAP SIDING, 6" EXPOSURE.
PAINTED HARDI-PANEL AT GABLE ENDS ONLY, WHERE SHOWN.
PAINTED 5/4 X 4" NOMINAL CORNER BOARDS.
PAINTED CROWN MOULDINGS AND CASINGS AS INDICATED.
PAINTED HARDI-SOFFIT AT UPPER ROOF EAVES.
PAINTED BEAD BOARD PORCH CEILINGS.
PAINTED HARDI-BOARD FASCIA AT UPPER ROOF EAVES.
- WINDOWS:** SIMULATED DIVIDED LIGHT DOUBLE-HUNG AND FIXED WINDOWS.
- DOORS, TRANSOMS & SIDELIGHTS:** STAINED OR PAINTED INSULATED FIBERGLASS EXTERIOR DOORS AS SHOWN.
SIMULATED DIVIDED LIGHT FRAMED SASH TRANSOMS AND SIDELIGHTS.
- GARAGE DOORS:** STAINED OR PAINTED INSULATED FIBERGLASS OVERHEAD DOORS AS SHOWN.
- FOUNDATION WALLS:** STONE OR SIMULATED STONE FOUNDATION WALL AND WATER TABLE WITH 4" BRICK ROWLOCK COPING.
- PORCHES & STAIRS:** BRICK TREADS AND RISERS, CONCRETE PORCH AND PATIO FLOOR SURFACE.
- MISCELLANEOUS:** PAINTED TREATED WOOD TIMBER BRACKETS, COLUMNS AND DECORATIVE BEAM ENDS WHERE SHOWN.

DRAWING REVISIONS JUNE 01 SUBMITTAL:

1. INCREASE SETBACK OF BUILDING A AT THE PLAZA TO EXCEED 61' FROM BACK OF CURB BY ELIMINATING UNIT 4, SEE SITE PLAN AND SHEET A-1.
2. REVISED ELEVATION & ALTERNATE ELEVATION FOR TOWNHOUSE FACING BELVEDERE , BUILDING D, LOT 19, SEE SHEETS D-3, D-4 & D-3 ALTERNATE.
3. REVISED ELEVATION & ALTERNATE ELEVATION FOR TOWNHOUSES FACING THURMAN , BUILDING C, LOTS 11-13, SEE SHEETS C-1 & C-1 ALTERNATE.
4. SIDING MATERIAL HAS BEEN CHANGED FROM CEDAR SHINGLES TO WOOD LAP SIDING, 6" EXPOSURE.

DRAWING REVISIONS MAY 4 SUBMITTAL:

1. REVISED ELEVATIONS FOR TOWNHOUSE FACING THE PLAZA, BUILDING A, LOT 1, SEE SHEETS A-1, A-2 & A-3 AND COLOR ELEVATION.
2. REVISED ROOF PITCH OF ALL TOWNHOUSES PRIMARY ROOF TRUSS FROM 8:12 TO 6:12. CHANGE RESULTS IN A LOWERING OF THE ROOF HIGH POINT 3'-4".
3. BUILDINGS A & B, LOTS 1-10, HAVE BEEN MOVED 7' TO THE EAST (FURTHER FROM THE PLAZA).
4. BUILDING B, HAS BEEN SHORTENED BY 6', SEE ELEVATION SHEET B-1.
5. WINDOW SILL DETAIL HAS BEEN DRAWN AND MODIFIED ON THE ELEVATIONS TO DELETE APRON BELOW SILL.
6. SIDING MATERIAL HAS BEEN CHANGED FROM HARDI-SHAKE TO CEDAR SHINGLES.
7. DRAWINGS AND NOTES HAVE BEEN CHANGED TO SHOW FRAMED SASH TRANSOMS AND SIDELIGHTS.
8. CONDENSING UNITS AND ELECTRIC & GAS METER LOCATIONS ARE SHOWN ON THE SITE PLAN.
9. SIDEWALKS, DRIVEWAYS AND PATIOS AND FENCING HAVE BEEN SHOWN IN GREATER DETAIL ON THE SITE PLAN.
10. WALL SECTION SHEET HAS BEEN ENLARGED AND MODIFIED FOR CLARITY AND AS DESCRIBED ABOVE.



VanLandingham
Townhomes

Charlotte, North Carolina

MEETING STREET
HOMES & COMMUNITIES

1920 Abbot Street, Suite 400 Charlotte, North Carolina
28203
Office 704-714-3070 Fax 704-714-3071

MODEL

VERSION

DRAWN BY: JRB

DATE DRAWN/REVISIONS
JAN 21, 2015
MAY 04, 2015
MAY 25, 2015

SHEET NO.

NOTES

THESE PLANS ARE THE SOLE PROPERTY OF MEETING STREET HOMES AND ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS.

VanLandingham
Townhomes

Charlotte, North Carolina

MEETING STREET
HOMES & COMMUNITIES

1930 Abbot Street, Suite 400 Charlotte, North Carolina
28203
Office 704-714-3070 Fax 704-714-3071

MODEL

BUILDING A

SCALE: 1"=10'

VERSION

DRAWN BY
JRB

DATE DRAWN/REVISIONS
JAN 21, 2015
MAY 04, 2015

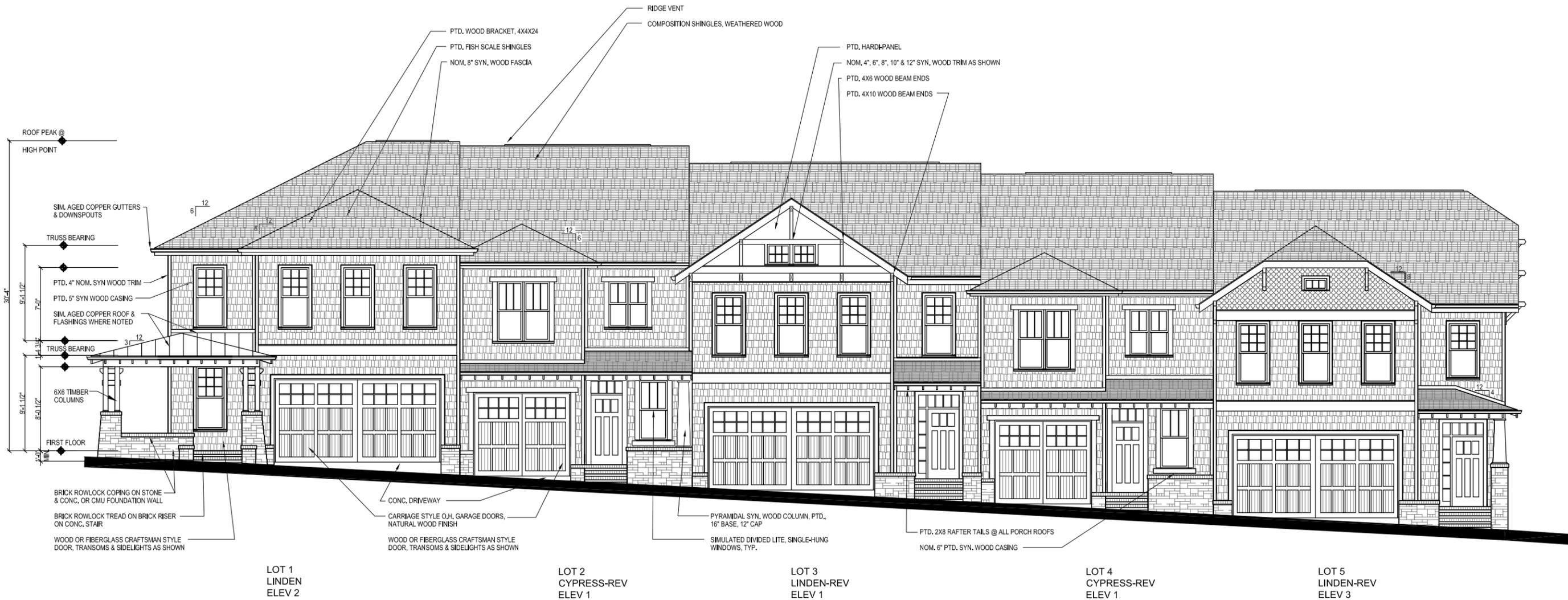
SHEET NO.

A-1

SCALE: 1" = 10' WHEN PRINTED 11"X17"

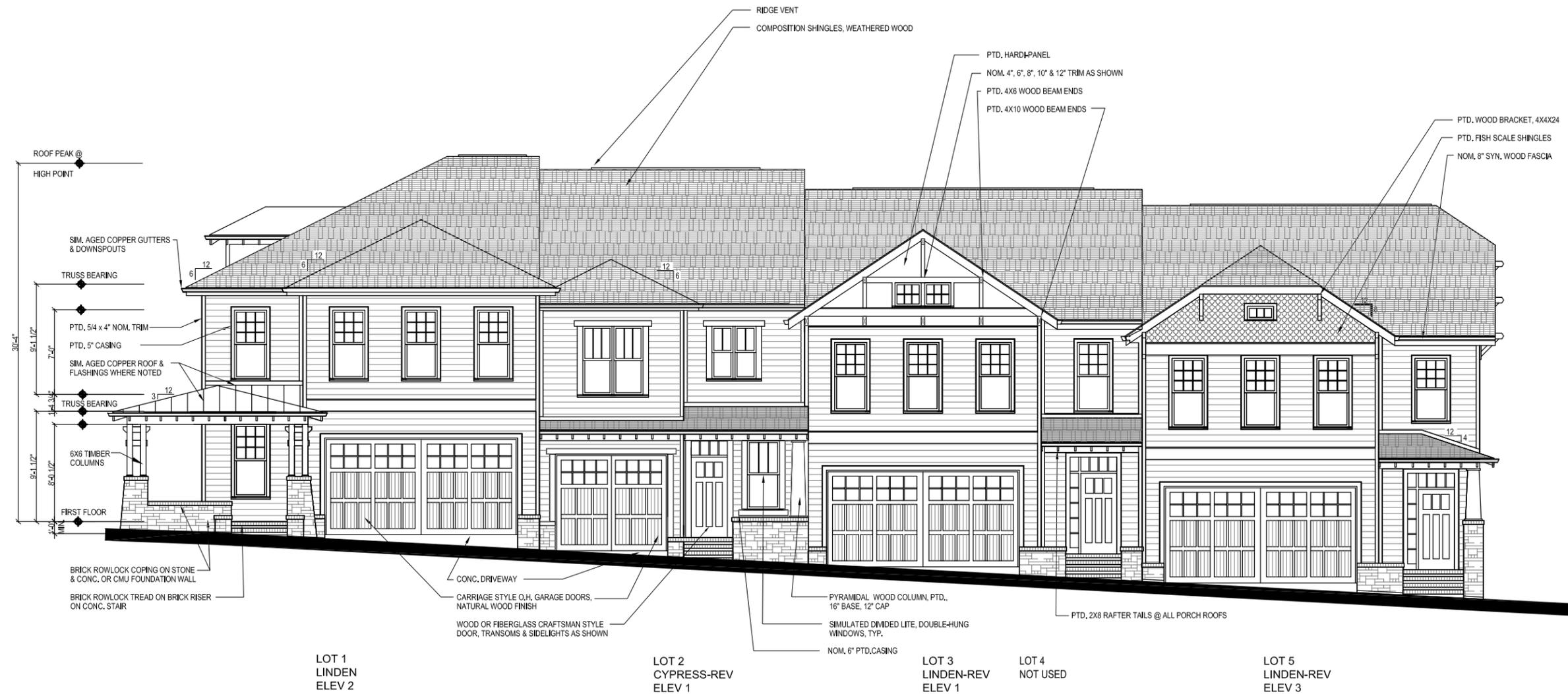
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UNDER THE FEDERAL COPYRIGHT
LAWS.

MAY 2015



BUILDING A SOUTH (PRIVATE DRIVE) ELEVATION

JUNE 2015



BUILDING A SOUTH (PRIVATE DRIVE) ELEVATION

BURGESSDESIGNSTUDIO
ARCHITECTURE

Post Office Box 1194
Davidson, NC 28036
704-895-8110 office
704-895-8113 fax

VanLandingham
Townhomes

Charlotte, North Carolina

MEETING STREET
HOMES & COMMUNITIES

1930 Abbot Street, Suite 400 Charlotte, North Carolina
28203
Office 704-714-3070 Fax 704-714-3071

MODEL

BUILDING A

SCALE: 1"=10'

VERSION

DRAWN BY: JRB

DATE DRAWN/REVISIONS

JAN 21, 2015
MAY 04, 2015
MAY 25, 2015

SHEET NO.

A-1

SCALE: 1" = 10' WHEN PRINTED 11"X17"

THESE PLANS ARE THE SOLE PROPERTY OF MEETING STREET COMPANIES AND ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS.

MAY 2015

BURGESSDESIGNSTUDIO
architecture

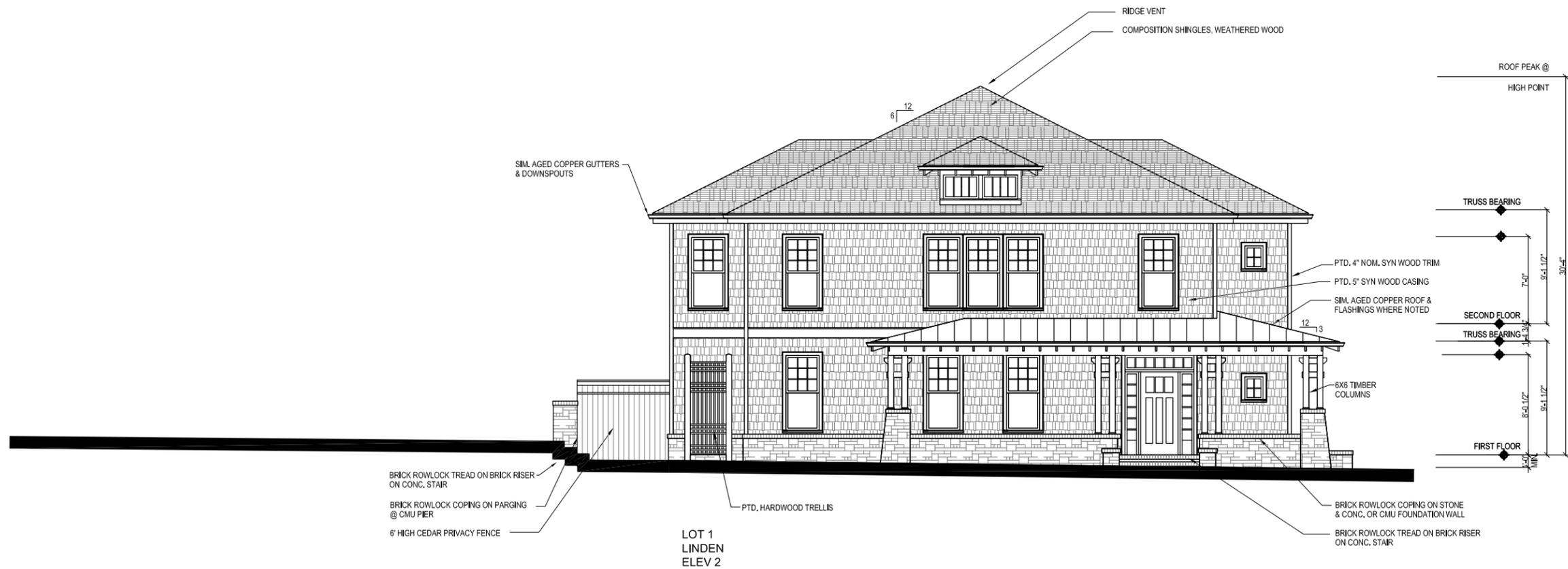
Post Office Box 1194
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VanLandingham
Townhomes

Charlotte, North Carolina

MEETING STREET
HOMES & COMMUNITIES

1930 Abbot Street, Suite 400 Charlotte, North Carolina
28203
Office 704-714-3070 Fax 704-714-3071



BUILDING A EAST (THE PLAZA) ELEVATION

MODEL

BUILDING A

SCALE: 1"=10"

VERSION

DRAWN BY
JRB

DATE DRAWN/REVISIONS
JAN 21, 2015
MAY 04, 2015

SHEET NO.

A-2

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COMPANIES AND ARE PROTECTED
UNDER THE FEDERAL COPYRIGHT
LAWS.

JUNE 2015

BURGESSDESIGNSTUDIO
architecture

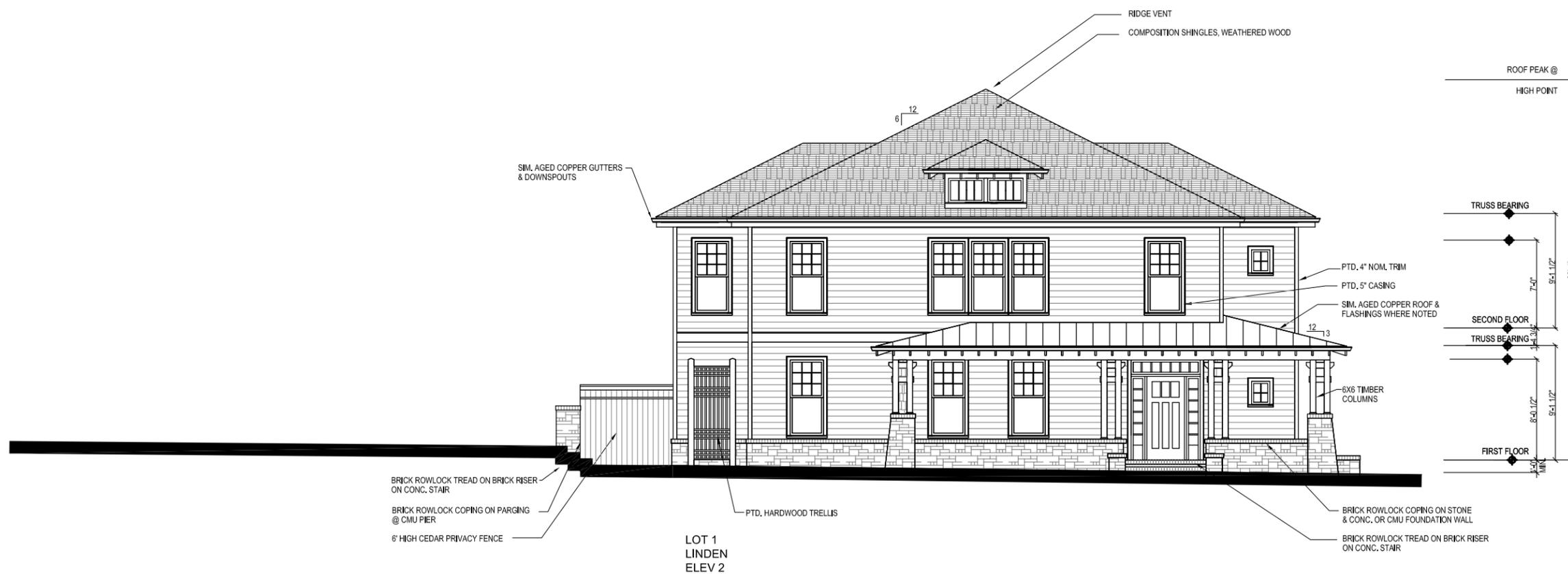
Post Office Box 1194
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704-895-8113 fax

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Charlotte, North Carolina

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BUILDING A EAST (THE PLAZA) ELEVATION

MODEL
BUILDING A
SCALE: 1"=10'

VERSION

DRAWN BY
JRB

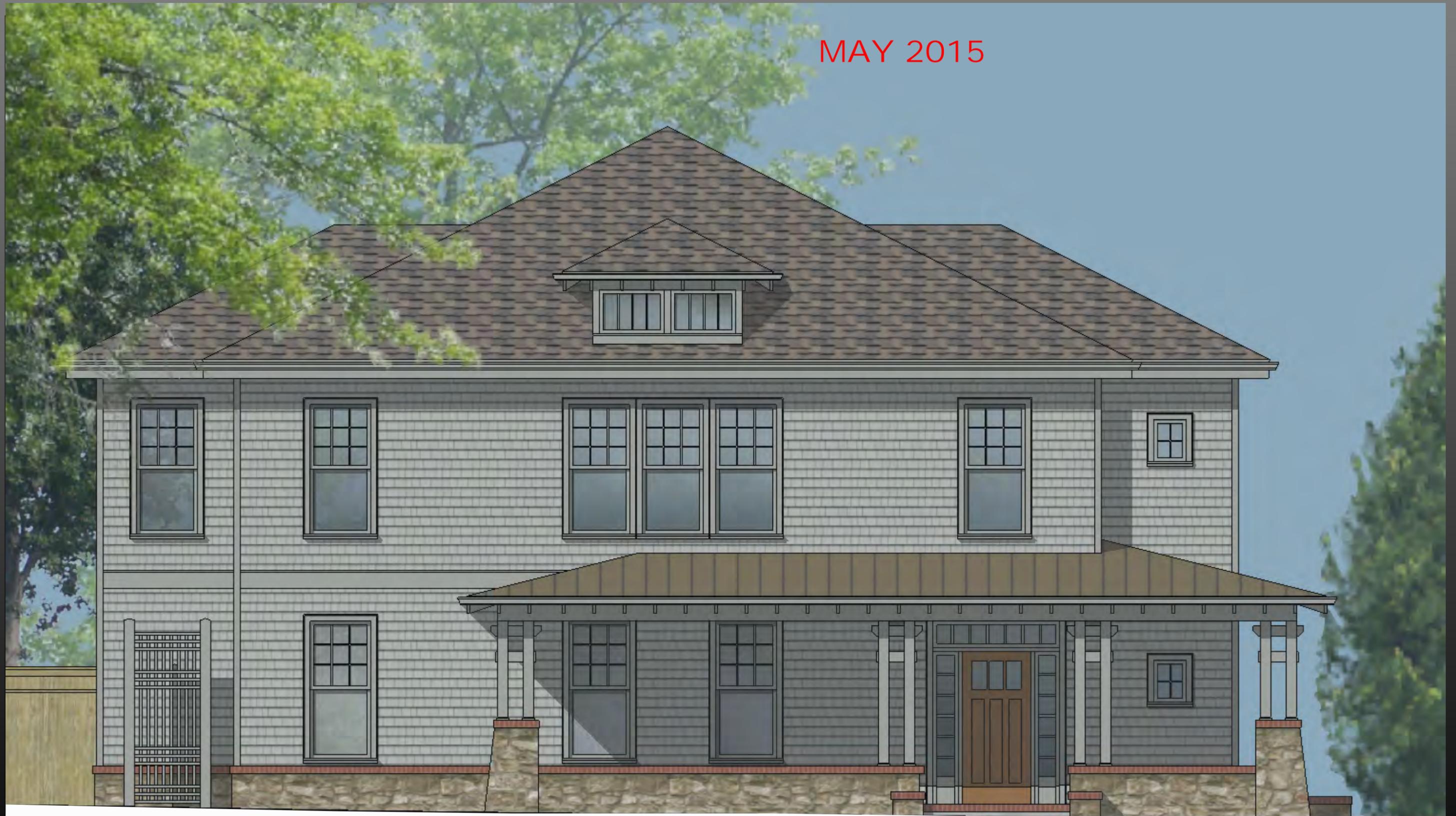
DATE DRAWN/REVISIONS
JAN 21, 2015
MAY 04, 2015
MAY 25, 2015

SHEET NO.

A-2

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MAY 2015



A :: Enlarged Elevation - Unit 01 West Elevation at The Plaza
14 scale: 1/4" - 1' 0"

JUNE 2015



A :: Enlarged Elevation - Unit 01 West Elevation at The Plaza
14 scale: 1/4" - 1' 0"

REVISED ELEVATION
Vanlandingham Estate - Meeting Street

MAY 2015

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MODEL
BUILDING A
SCALE: 1"=10'

VERSION

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SHEET NO.

A-3

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BUILDING A NORTH ELEVATION

JUNE 2015

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MODEL

BUILDING A

SCALE: 1"=10'

VERSION

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FOR ADDITIONAL TYPICAL NOTES SEE
SHEETS A1 & A2

BUILDING A NORTH ELEVATION

MAY 2015



BUILDING B SOUTH (PRIVATE DRIVE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL
BUILDING A

VERSION
DRAWN BY
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B-1

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BUILDING B SOUTH (PRIVATE DRIVE) ELEVATION

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MODEL
BUILDING A

VERSION

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B-1

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BUILDING B WEST (NASSAU BLVD.) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL
BUILDING A
SCALE: 1"=10'

VERSION
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DATE DRAWN/REVISIONS
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B-2

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MODEL
BUILDING A
SCALE: 1"=10'

VERSION
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SHEET NO.

B-3

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BUILDING B NORTH ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE
SHEETS A1 & A2

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MODEL
BUILDING B

SCALE: 1"=10'

VERSION

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SHEET NO.

C-1
ALTERNATE
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BUILDING C EAST (THURMOND PLACE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL

VERSION

DRAWN BY
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DATE DRAWN/REVISIONS
JAN 21, 2015

SHEET NO.

C-2

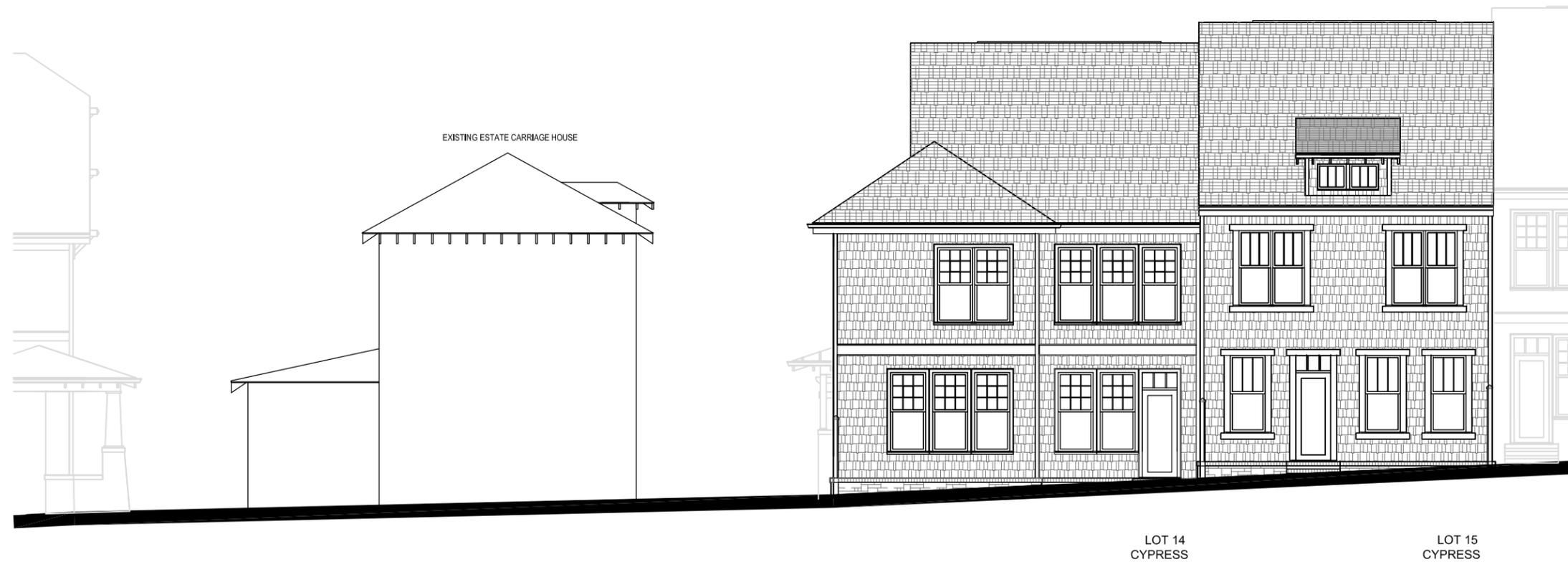
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BUILDING C WEST ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE
SHEETS A1 & A2

MAY 2015



BUILDING D EAST (THURMOND PLACE) PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL

BUILDING D

SCALE: 1"=10'

VERSION

DRAWN BY
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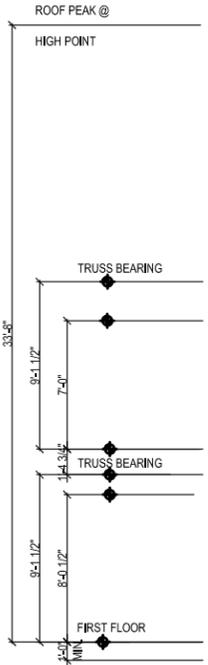
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SHEET NO.

D-1

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MAY 2015



LOT 15
CYPRESS

LOT 16
LINDEN

LOT 17
LINDEN

LOT 18
CYPRESS

LOT 19
CYPRESS

BUILDING D EAST (THURMOND PLACE) PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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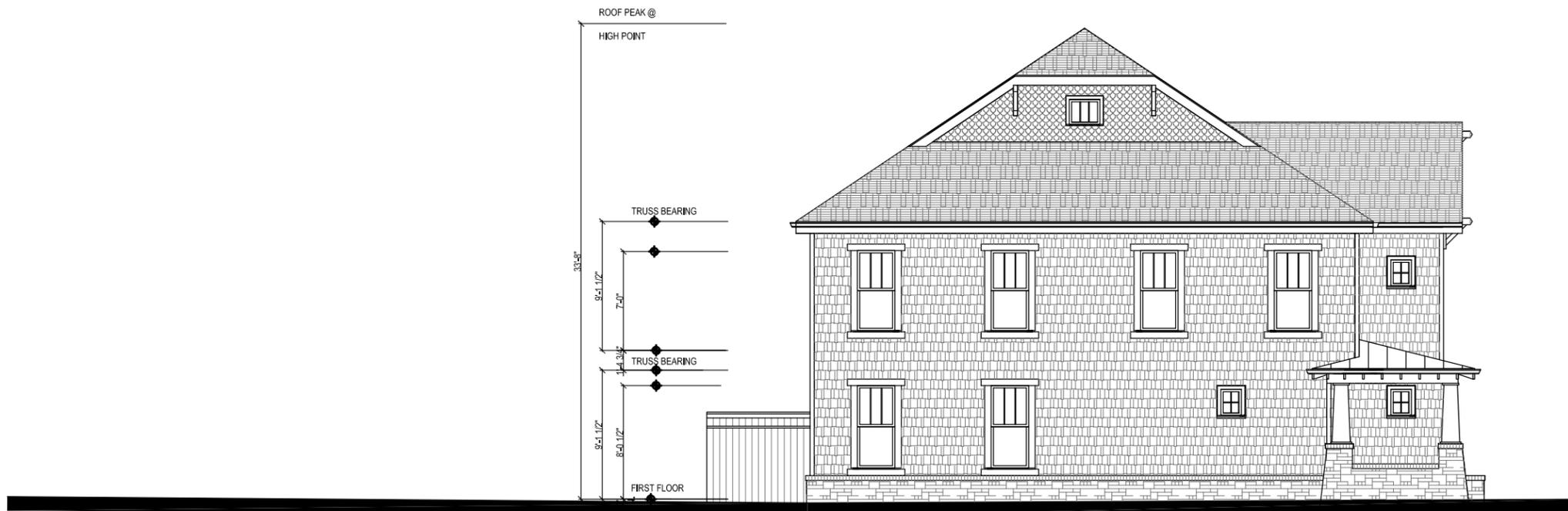
MODEL
BUILDING D
SCALE: 1"=10'
VERSION
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SHEET NO.

D-2

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MAY 2015



LOT 19
CYPRESS

BUILDING D NORTH (BELVEDERE) ELEVATION

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MODEL
BUILDING D
SCALE: 1"=10'

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SHEET NO.
D-3

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JUNE 2015



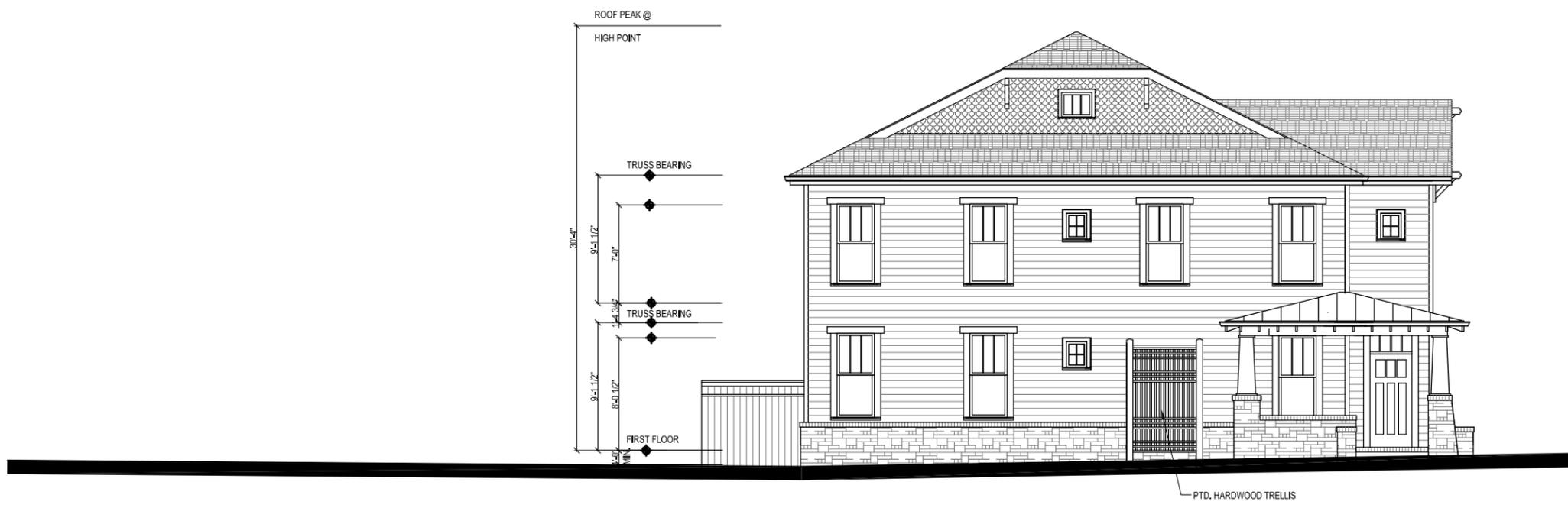
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LOT 19
CYPRESS

BUILDING D NORTH (BELVEDERE) ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

MODEL

BUILDING D
SCALE: 1"=10'

VERSION

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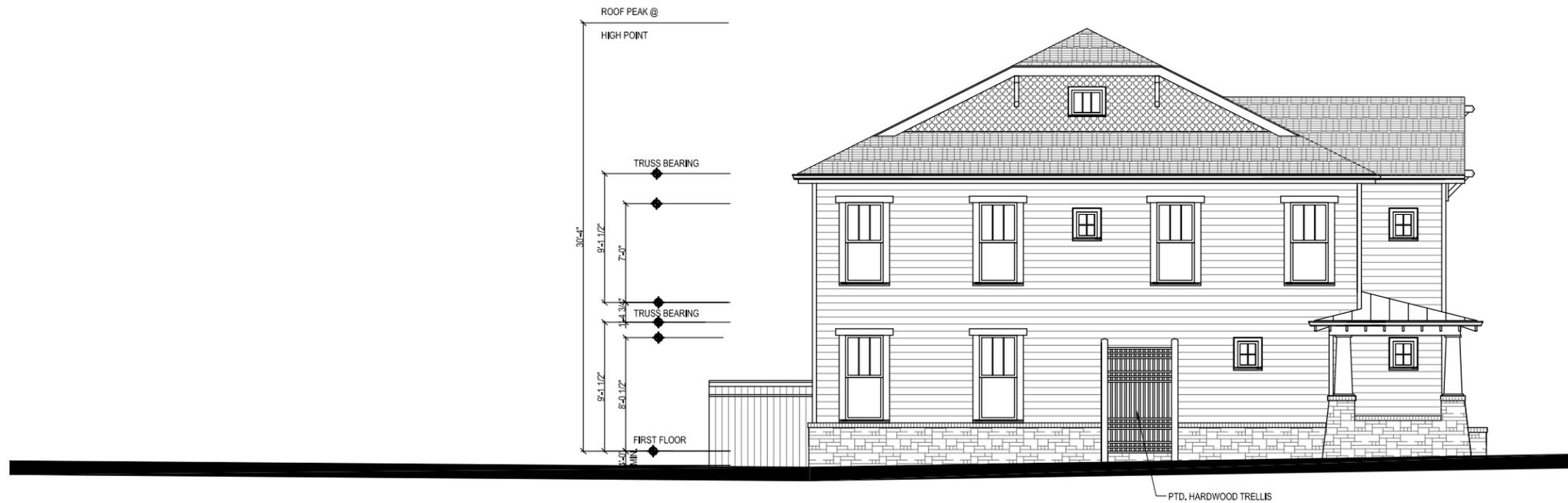
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D-3

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LOT 19
CYPRESS

BUILDING D NORTH (BELVEDERE) ELEVATION

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MODEL

VERSION

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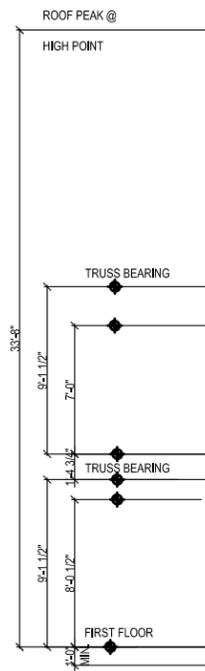
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SHEET NO.

D-3 ALTERNATE

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LOT 19
CYPRESS

LOT 18
CYPRESS

LOT 17
LINDEN

LOT 16
LINDEN

LOT 15
CYPRESS

BUILDING D WEST PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2

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MODEL

BUILDING D

SCALE: 1"=10'

VERSION

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DATE DRAWN/REVISIONS
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SHEET NO.

D-4

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LOT 19
CYPRESS

LOT 18
CYPRESS

LOT 17
LINDEN

LOT 16
LINDEN

LOT 15
CYPRESS

BUILDING D WEST PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE SHEETS A1 & A2



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BUILDING D

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SHEET NO.

D-4

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MAY 2015



LOT 15
CYPRESS

LOT 14
CYPRESS

LOT 13
LINDEN

BUILDING D WEST PARTIAL ELEVATION

FOR ADDITIONAL TYPICAL NOTES SEE
SHEETS A1 & A2

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MODEL

VERSION

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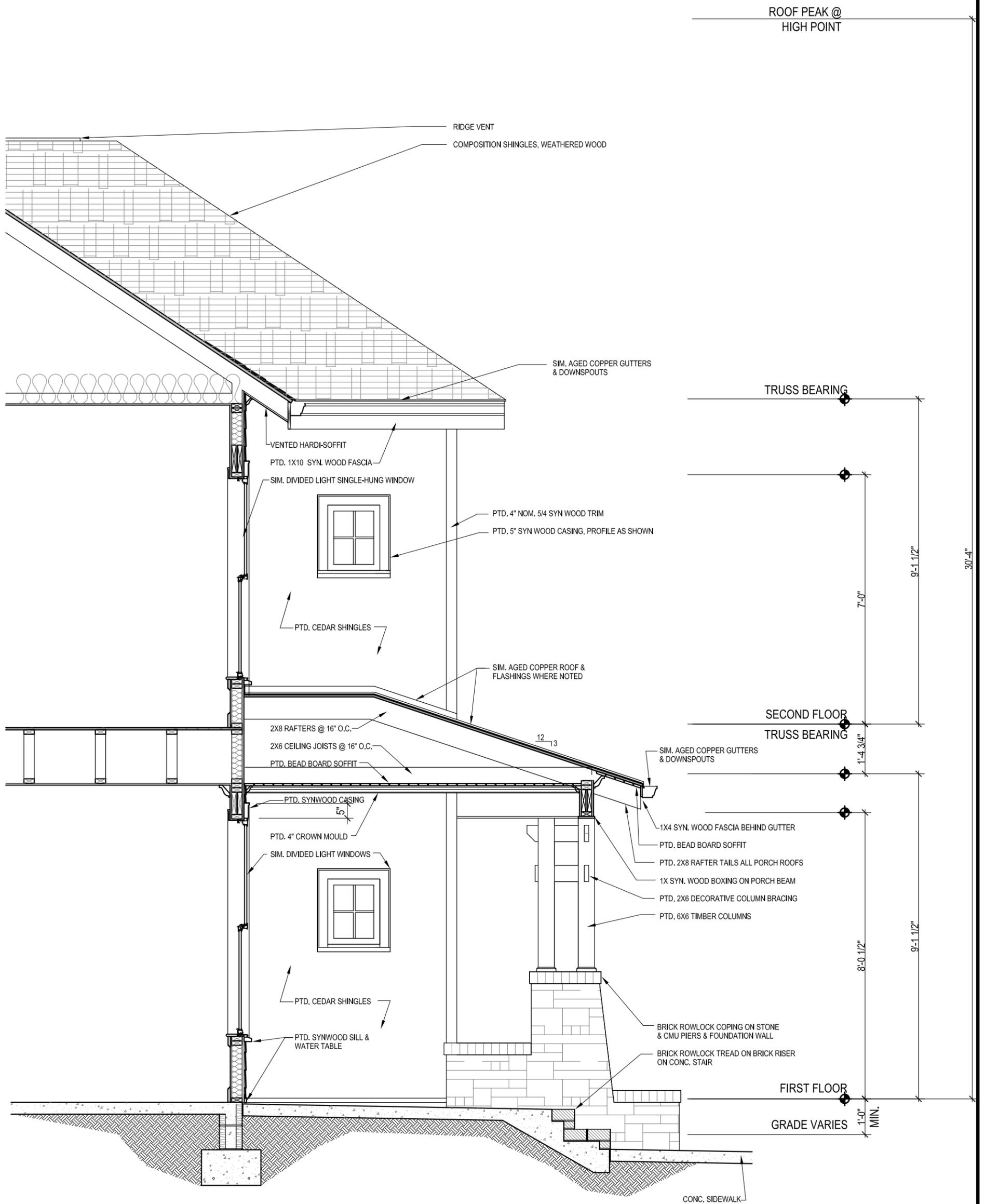
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D-5

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TYPICAL WALL SECTION @ PORCH

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WS-1

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MODEL

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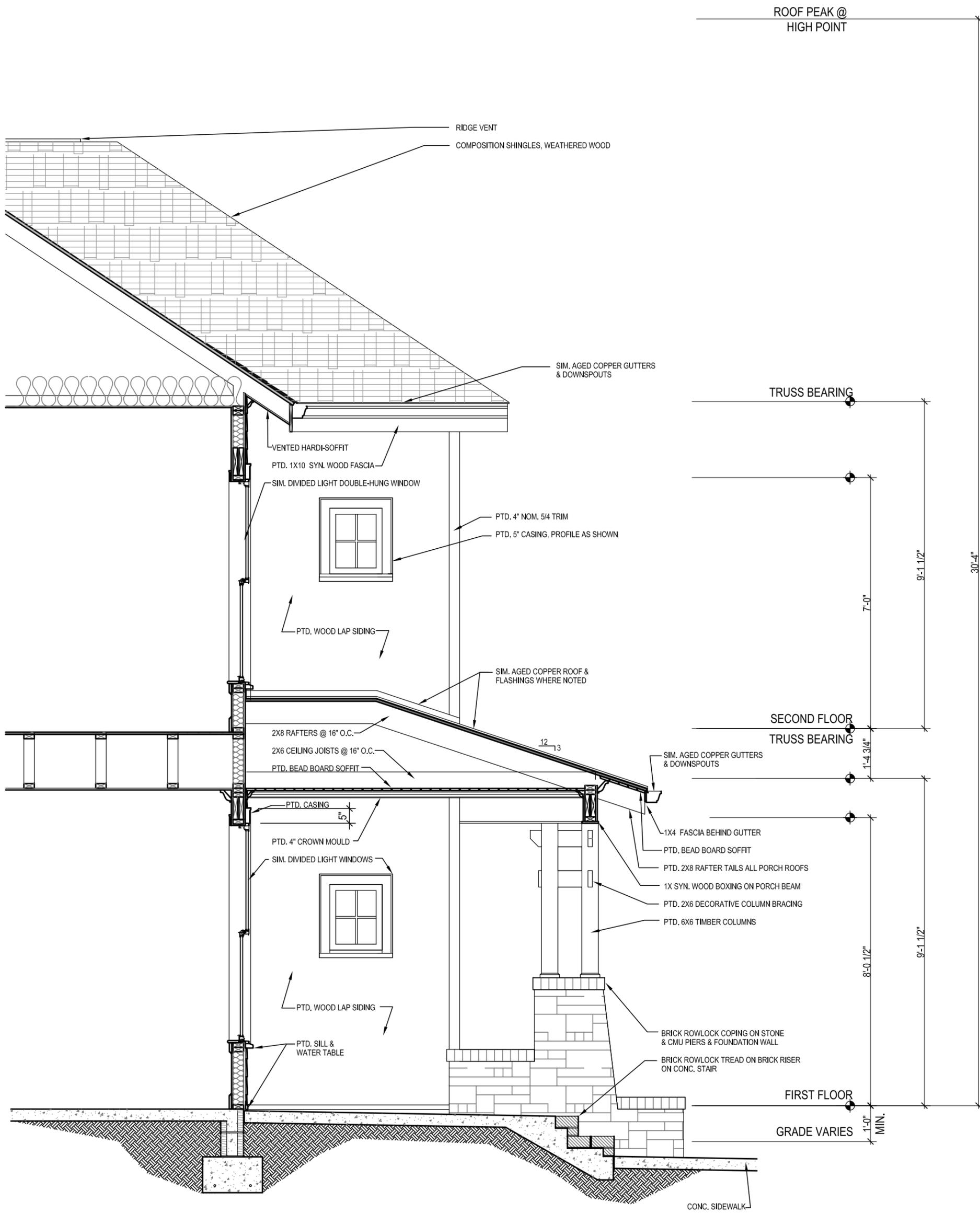
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TYPICAL WALL SECTION @ PORCH

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