



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2014-084

DATE: May 29, 2014

ADDRESS OF PROPERTY: 2132 Park Road

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12110212

OWNER(S): Kevin Higgins

DETAILS OF APPROVED PROJECT: Accessory Building. The proposed project is a detached one story accessory building in the rear yard. The materials and details will match the principal structure, including wood siding and window design. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23: Work in Rear Yards.
2. The applicable Policy & Design Guidelines for accessory buildings have been met.

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff

THIS IS TO CERTIFY THAT ON THE 5TH DAY OF FEBRUARY, 2014, I, SURVEYED THE P
 SHOWN ON THIS PLAT, AND THAT THE PROPERTY LINES, AND THE IMPROVEMENTS IF AN
 IS SHOWN HEREON.

MB 332-365

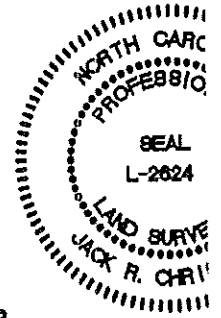


SIGNED *Jack R. Christian*
 REGISTERED SURVEYOR
 JACK R. CHRISTIAN & ASSOCIATE
 7811 OLD CONCORD RD, CHARLOTTE
 PHONE: (704)596-2214

FB 31
 PARK.

LOT 15

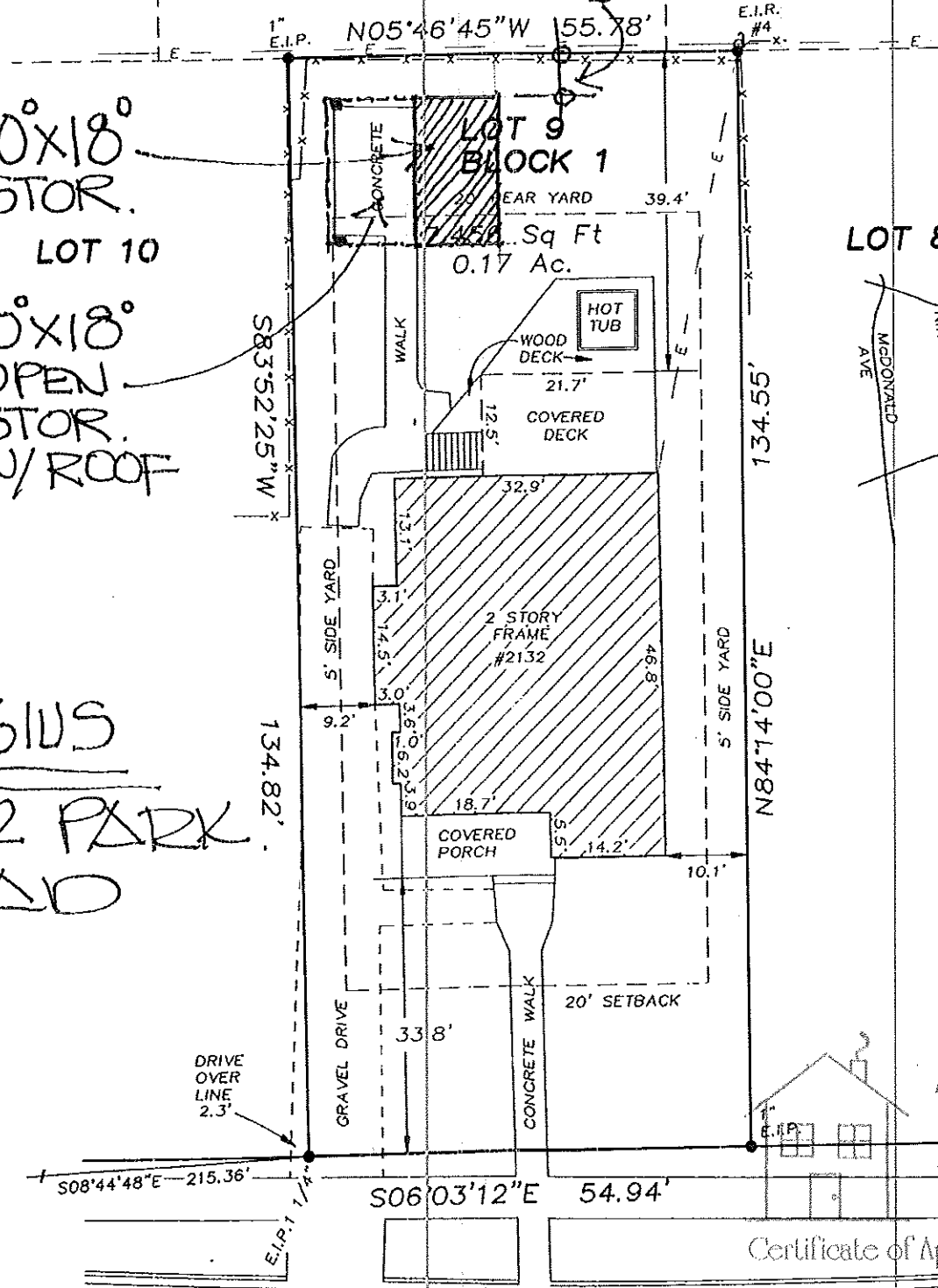
LOT 16



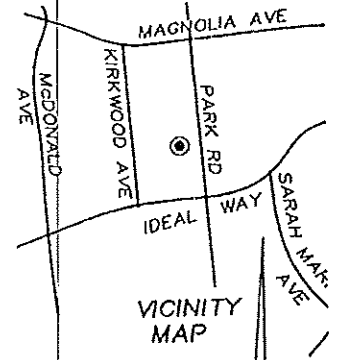
10°x18°
 STOR.
 LOT 10

10°x18°
 OPEN
 STOR.
 W/ROOF

HIGGINS
 2132 PARK
 ROAD



LOT 8



NOTES:
 PARCEL ID# 121-102
 ZONING FOR PROPER
 SETBACKS SHOWN AT
 CITY OF CHARLOTTE
 ORDINANCE. OTHER S
 MAY APPLY.
 OTHER EASEMENTS C
 WAYS MAY EXIST WH
 NOT BE SHOWN.
 PROPERTY SHOWN DI
 IN A SPECIAL FLOOD
 AREA PER FEMA FIRI
 #3710454300J, DATE

APPROVED

Charlotte
 Historic District
 Commission

Certificate of Appropriateness

HSC 2014-02Y

HIGGINS RESID

2132 PARK ROAD

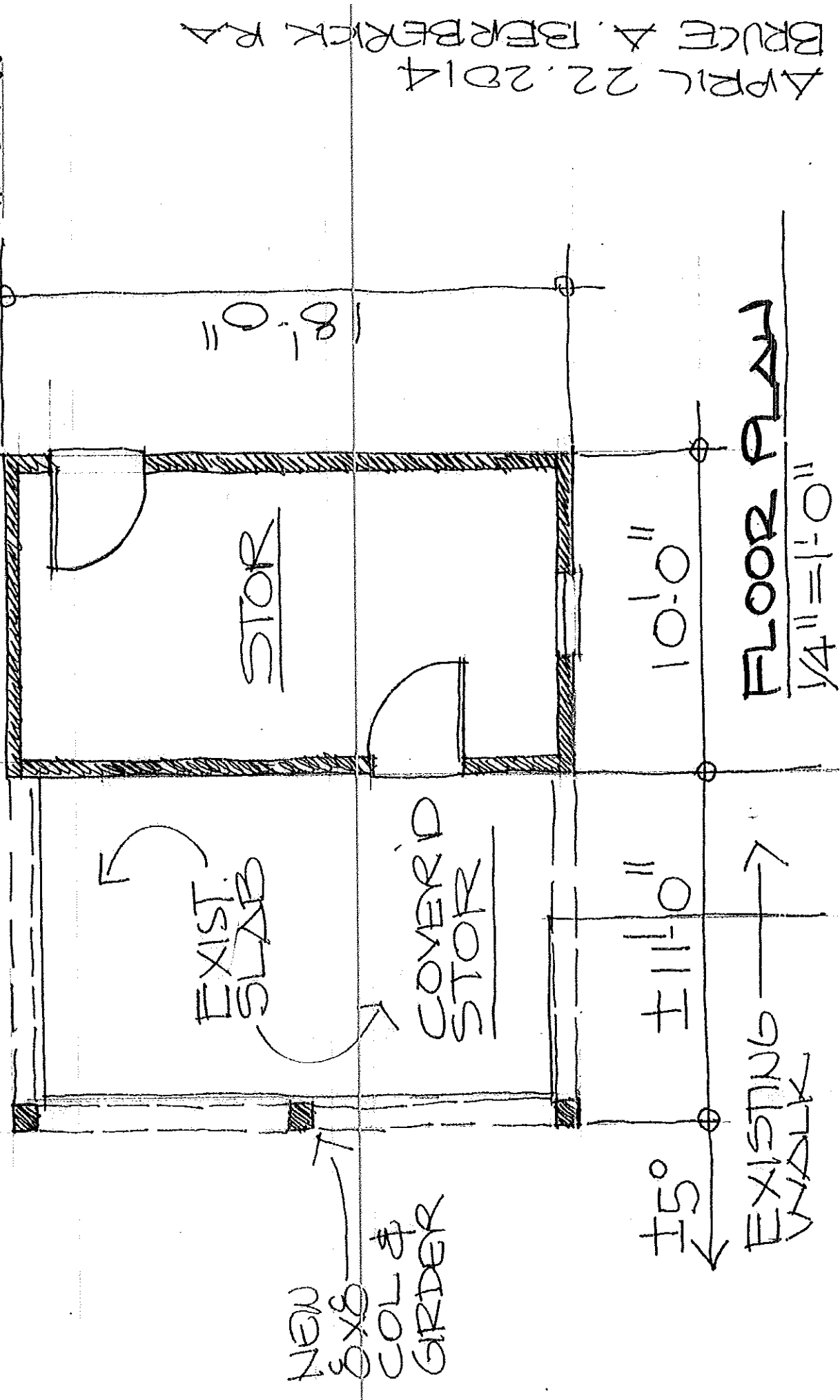
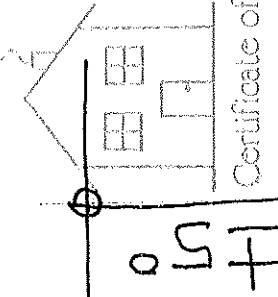
PROPERTY LINE

APPROVAL

Charles
Historic District
Commission

Certificate of Appropriateness

AOC 2014-088



FLOOR PLAN
1/4" = 1'-0"

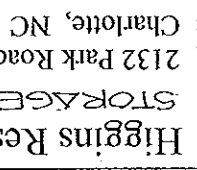
APRIL 22, 2014
BRUCE A. BERBERICK P.A.

APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # HSC 2411-088

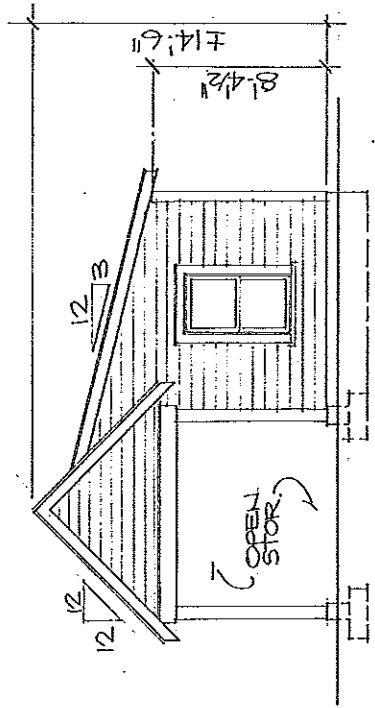
SEE NOTES FOR FINISH INFORMATION
 TURN DOWN SLAB FOUNDATION GRADE

BRUCE A. BERBERICK ARCHITECT
 2322 W. SUMMIT AVENUE SAN ANTONIO, TEXAS 78201
 704-953-7853
 TEXAS 23309
 NORTH CAROLINA # 6274
 VIRGINIA # 011453

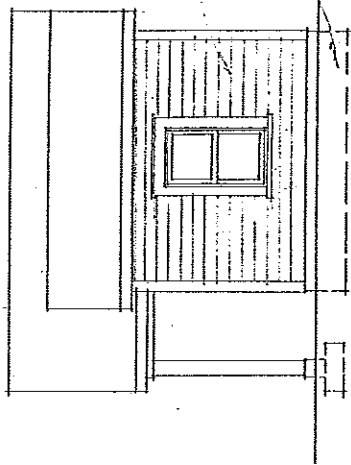
Higgins Residence
 STORAGE SHED
 2132 Park Road
 Charlotte, NC 28203



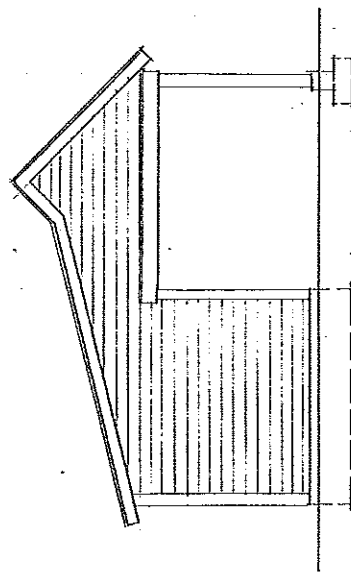
5.22.14 PERMITS
 BAB
 #13-12-01
 A2



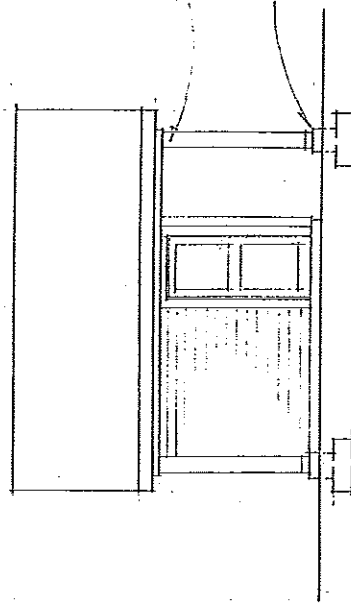
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

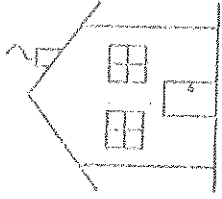


LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES AND MATERIALS:**
- Roofing to match existing house on 15# felt on 1/2" structural OSB Deck.
 - Boxing and Trim to match existing house.
 - Siding to match existing house on house wrap on 1/2" structural OSB sheathing on 2 x 4 @ 16" oc.
 - Windows and window casing to match existing house.

- Existing slab to remain at open storage area. New storage area floor to be a 4" concrete slab with 12" turnaround foundation on undisturbed soil, minimum 12" below finished grade.
- Ceiling at open storage to be beaded plywood with lattice trim at joints.
- New 6 x 6" posts at open storage to be tied to both foundation and dropped girder with post anchors and straps or structural post caps to prevent uplift.

HIGGINS RESID
2132 PARK ROAD



APPROVED

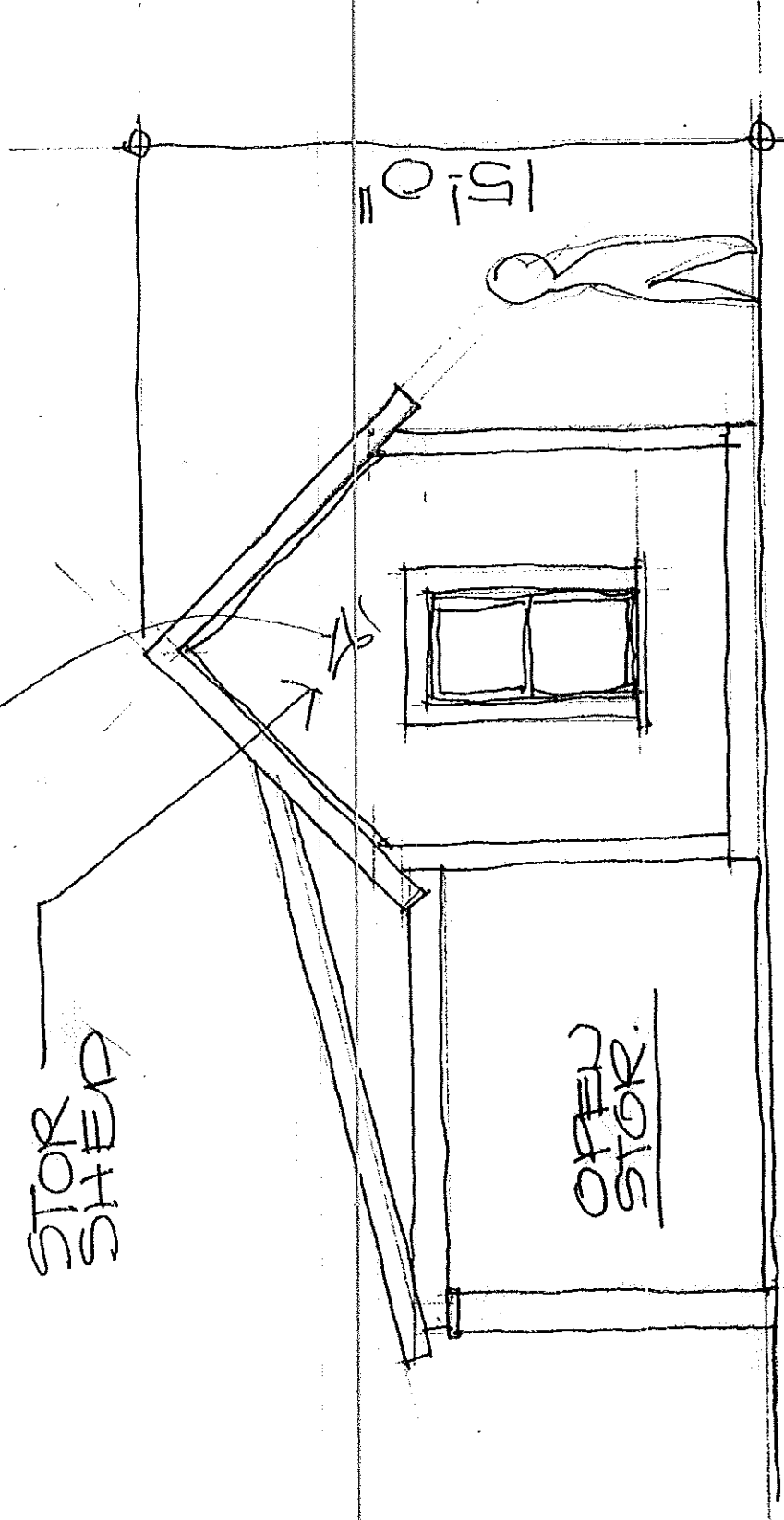
Charlotte
Historic District
Commission

Certificate of Appropriateness

SIDING TO
MATCH HOUSE

K10-14118

STOR
SHEP



ELEVATION
1/4" = 1'-0"

APRIL 22, 2014
BRUCE A. BERBERICK RA