



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2014-074 DATE: July 24, 2014

ADDRESS OF PROPERTY: 820 Woodruff Place

HISTORIC DISTRICT: Wesley Heights TAX PARCEL NUMBER: 07103501

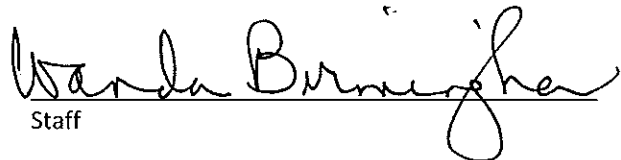
OWNER(S): Fred Martin

**DETAILS OF APPROVED PROJECT:** Additions. See exhibit labelled 'Proposed Site Plan 2014'. 26'4"x10' porch will be added across the front of the original house. New porch roof, supported by detailed brick columns, will be hipped back to house and connect below line of existing 2<sup>nd</sup> floor windows. See exhibit labelled 'Proposed Front Elevation July 2014'. Existing side addition will be removed and replaced with a side entry two car garage. Side addition shows new carriage style garage doors and addition from the garage to the rear which accommodates new master bath and master bedroom. See exhibit labelled 'Proposed Right Elevation July 2014'. The back includes the master bedroom, a large deck and an extension of the kitchen and family room. See exhibit labelled 'Proposed Left Elevation'. Rear elevation, second floor roof hips back to existing roof and follows the pitch but does not rise as high as the existing ridge. One existing engaged second floor window on upper rear remains with the new addition replacing the remainder of the upper rear elevation. See exhibit labelled 'Proposed Rear Elevation July 2014'. Materials (including siding, roofing, brick, etc.) and details (including cornerboards, window configuration, soffit/fascia treatment, overhang, etc.) will match existing. NOTE: Round window and full view French doors are approved as appropriate. Large brackets existing on the front will be reused on the rear.

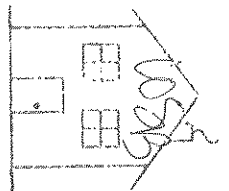
- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

  
Chairman

  
Staff

# 820 WOODRUFF PLACE



APPROVED  
Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDC 2014-014

## Proposed Front Elevation

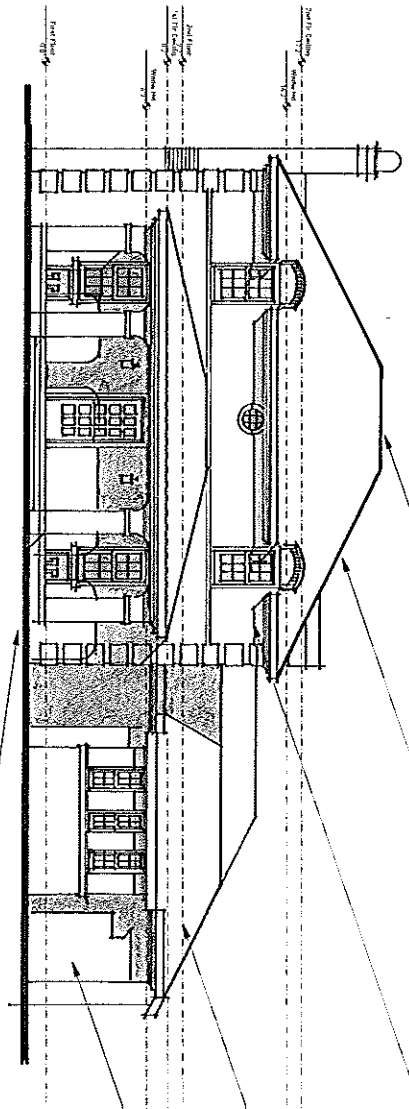
© 2014 CLUCK DESIGN COLLABORATIVE  
ALL RIGHTS RESERVED.

820 Woodruff Place  
Charlotte, NC 28208

Project #: 14-104  
Date: 05.05.2014

HDC Submitted

July 2014



EXISTING RIDGE TO REMAIN

NEW ASPHALT SHINGLES TO MATCH EXISTING

EXISTING PAINTED BRICK

NEW ASPHALT SHINGLE ROOF TO MATCH EXISTING

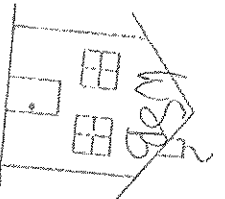
NEW PAINTED BRICK, TO MATCH EXISTING

NEW PORCH, PAINTED BRICK COLUMNS TO MATCH EXISTING. ASPHALT SHINGLES TO MATCH EXISTING

2003 S Tryon St., Suite 250  
Charlotte NC 28203  
704.406.5950  
www.cluckdesign.com

**cluck**  
DESIGN COLLABORATIVE

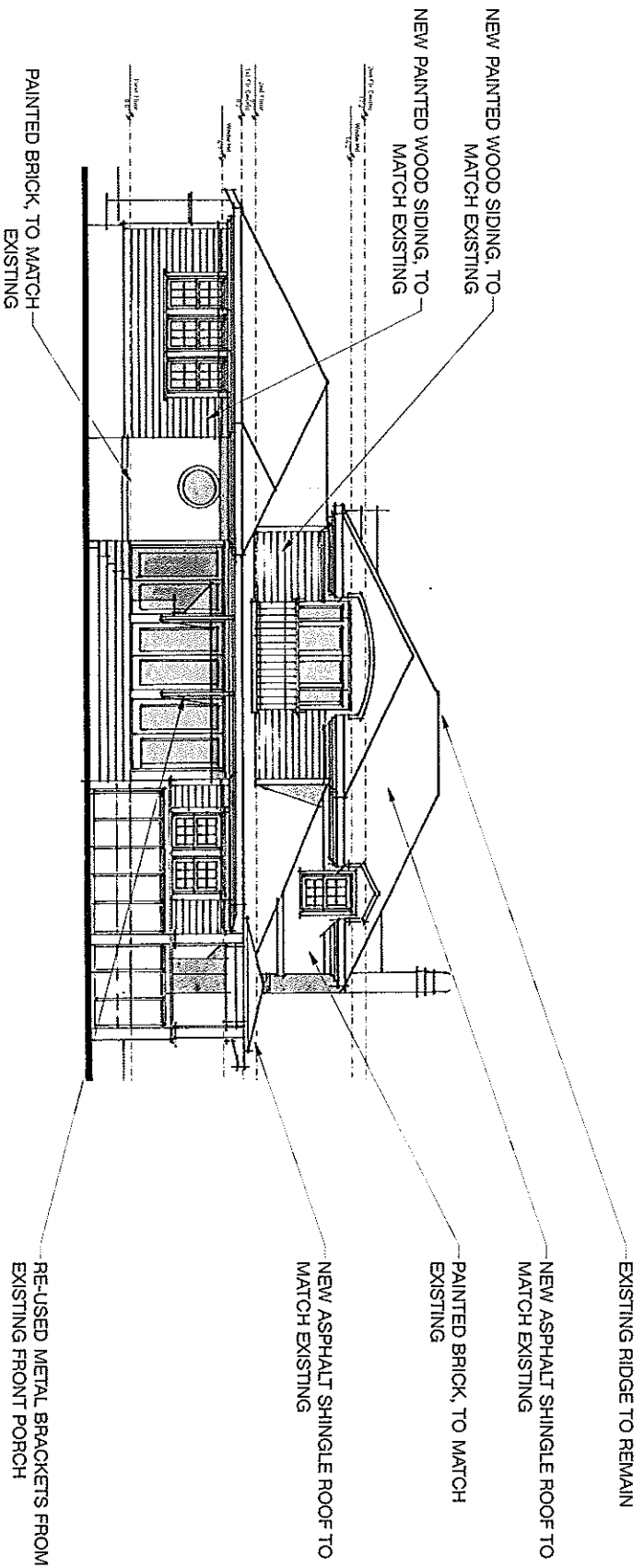
# 820 WOODRUFF PLACE



APPROVED  
Charlotte  
Historic District  
Commission

Certificate of Appropriateness #

ADC-2014-074



## Proposed Rear Elevation

July 2014

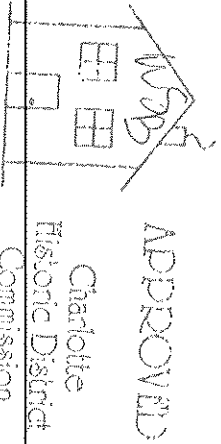
© 2014 CLUCK DESIGN COLLABORATIVE  
ALL RIGHTS RESERVED.

820 Woodruff Place  
Charlotte, NC 28208  
Project #: 14\_104  
Date: 05.05.2014  
HDC Submittal

2723 S Tryon St, Suite 210  
Charlotte, NC 28205  
704.492.5189  
www.cluckdesign.com

**cluck**  
DESIGN COLLABORATIVE

# 820 WOODRUFF PLACE

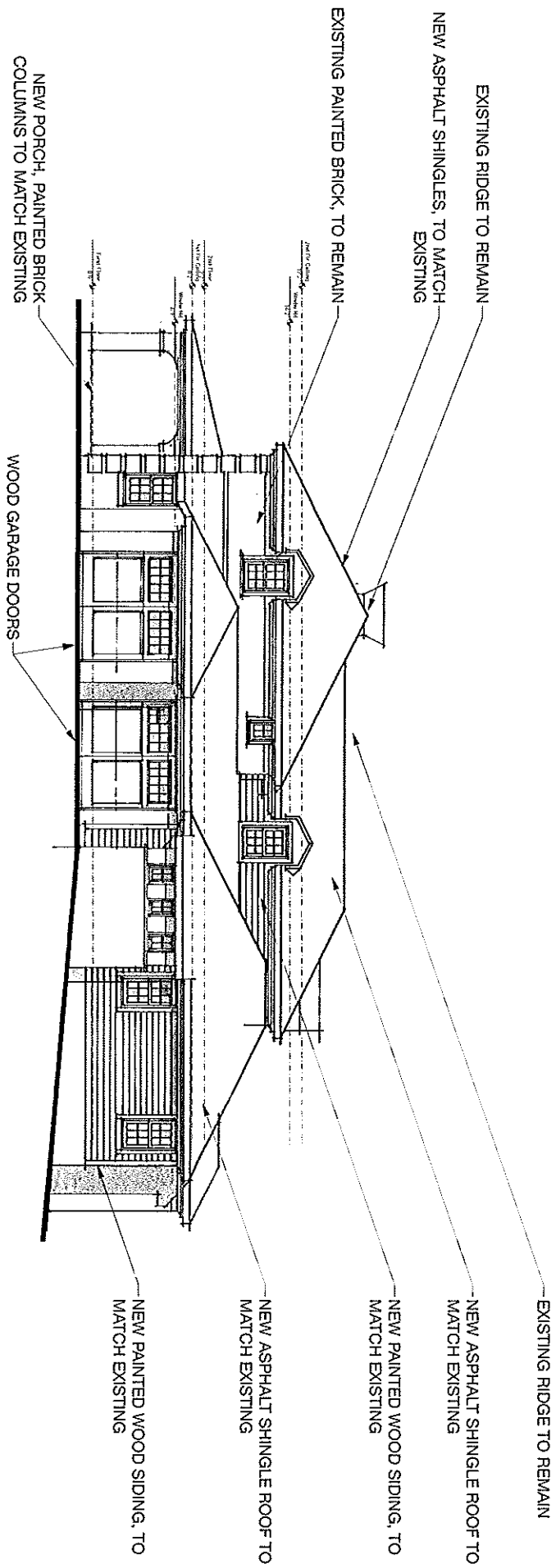


APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDL-2014-014



## Proposed Right Elevation

*July 2014*

820 Woodruff Place  
Charlotte, NC 28208

Project #: 14\_104  
Date: 05.05.2014  
HDC Submitted

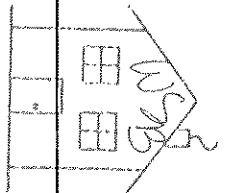


2823 S Tryon St. Suite 200  
Charlotte, NC 28203  
704.465.5700  
www.cluckdesign.com

**cluck**  
DESIGN COLLABORATIVE

© 2014 CLUCK DESIGN COLLABORATIVE  
ALL RIGHTS RESERVED.

# 820 WOODRUFF PLACE



APPROVED

Charlotte

Historic District  
Commission

Certificate of Appropriateness

# HDC-2014-014

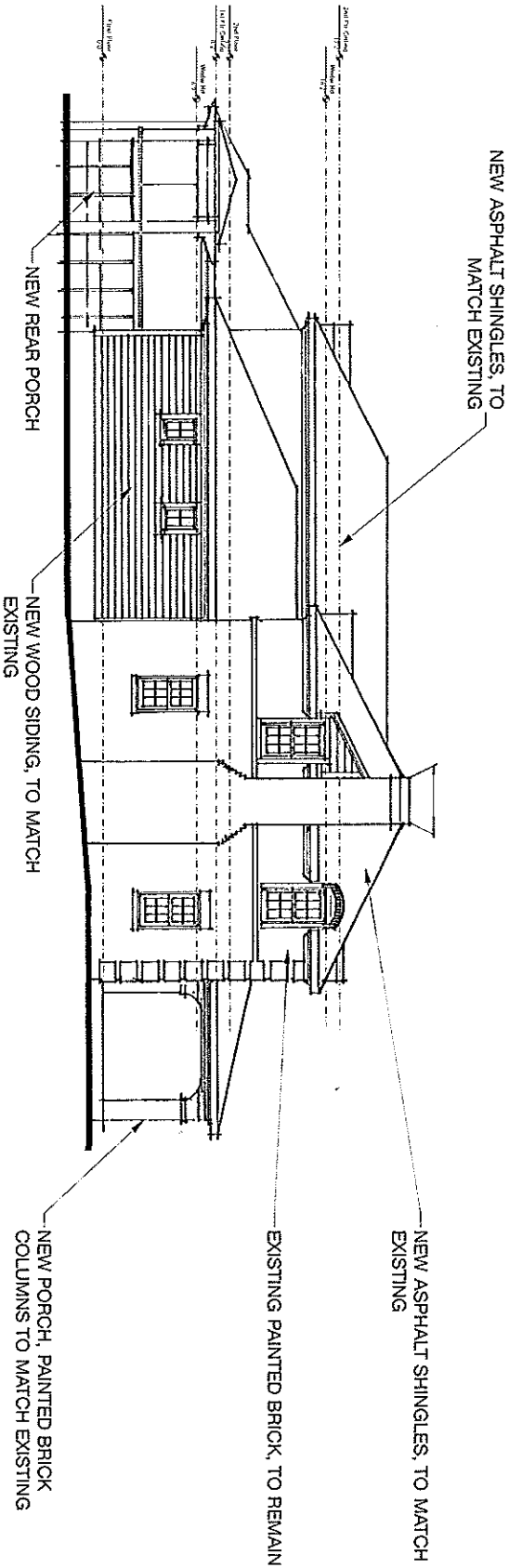
## Proposed Left Elevation

*July 2014*

820 Woodruff Place  
Charlotte, NC 28208

Project #: 14\_104  
Date: 05.05.2014

HDC Submittal



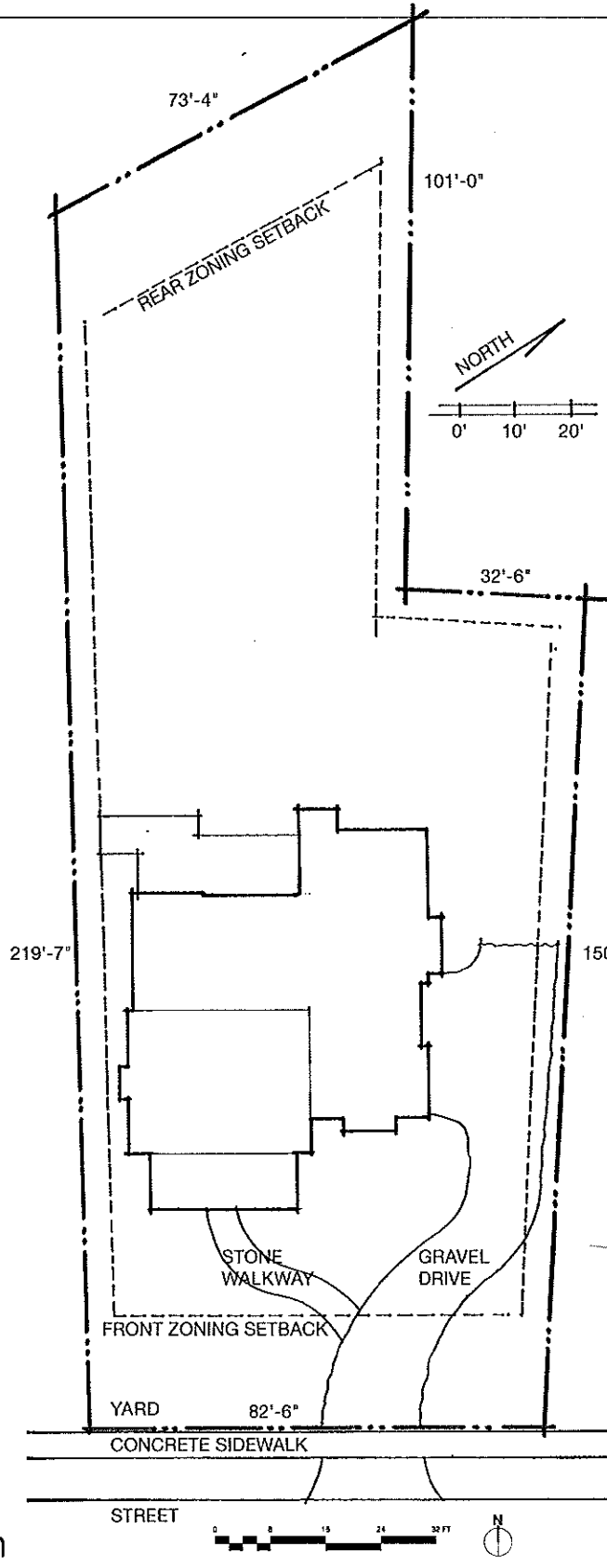
© 2014 CLUCK DESIGN COLLABORATIVE  
ALL RIGHTS RESERVED.

2023 S. 7th St., Suite 250  
Charlotte, NC 28203  
704.405.5990  
www.cluckdesign.com

**cluck**  
DESIGN COLLABORATIVE

# 820 WOODRUFF PLACE

ZONING SETBACKS:  
 R-8 ZONING SETBACKS:  
 FRONT 20'  
 SIDES 5'  
 REAR 20'



WSPB  
 APPROVED  
 Charlotte  
 Historic District  
 Commission  
 Certificate of Appropriateness  
 #HDC 2014-074

*July 2014*  
 Proposed Site Plan