



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2014-070

DATE: November 13, 2014

ADDRESS OF PROPERTY: 1700 Heathcliff Street (Westbrook Avenue)

HISTORIC DISTRICT: Wesley Heights

TAX PARCEL NUMBER: 07101117

OWNER(S): Daimean Fludd

DETAILS OF APPROVED PROJECT: The project is the construction of a new two story single family house. The front setback is approximately 32' from the back of curb, the left side yard is a minimum 5' from the alleyway. The right side yard is a minimum 5' and the rear setback is a minimum 35'. The front porch is 8' in depth. Primary façade materials include wood siding and brick foundation. Windows are wood clad with wood trim. Overall height from ground to ridge is approximately 30'-8". See attached plans.

The project was approved by the HDC November 12, 2014.

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

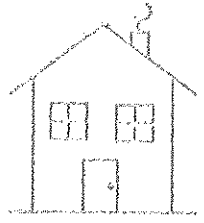
This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Handwritten signature of Tom Egan.

Chairman

Handwritten signature of John L. Dowd.

Staff

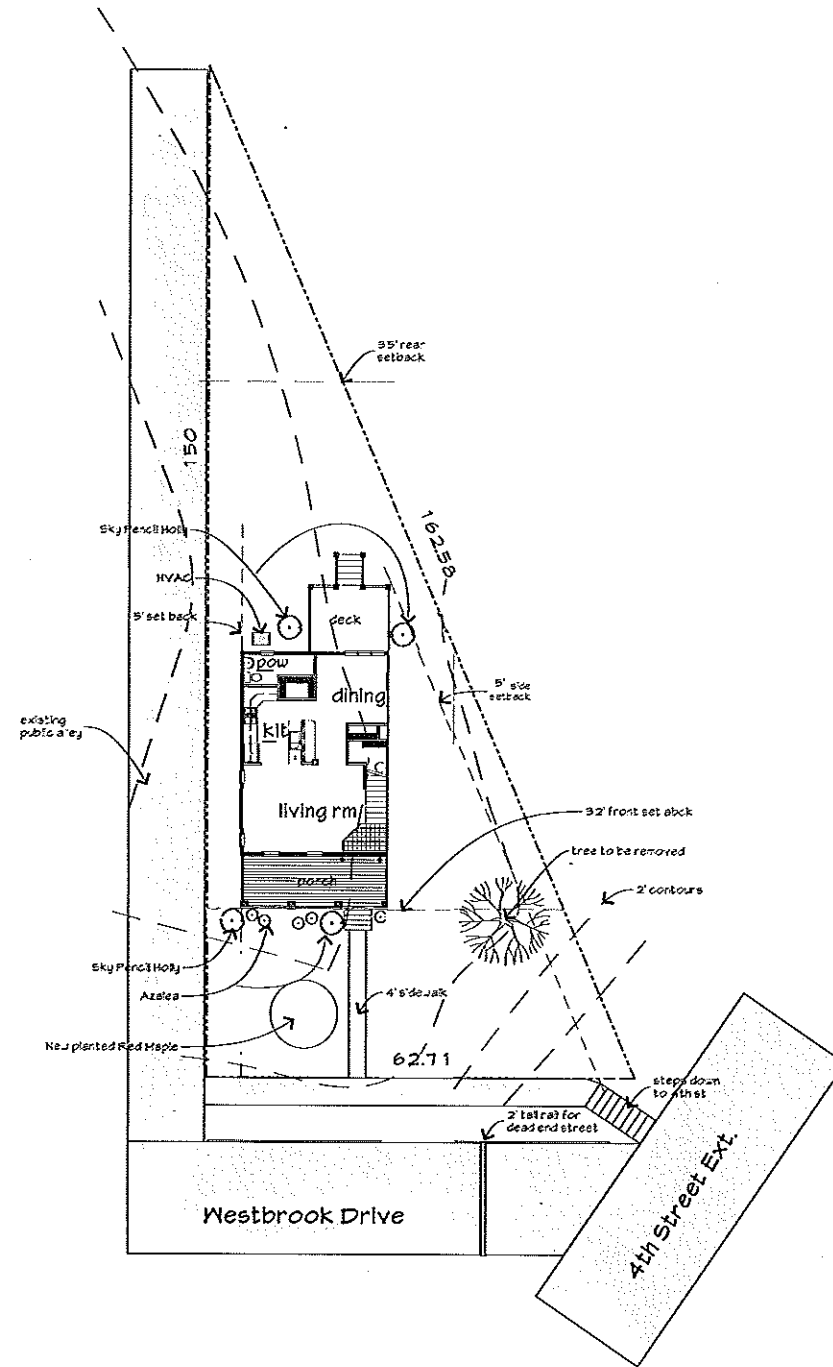


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Certificate of Appropriateness

214-070



standard contract document



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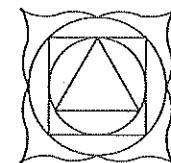
Lake Junaluska, NC

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Rick Thompson - Architect

828-734-2553



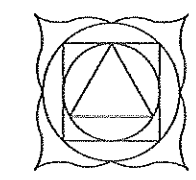
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 Registered Architect
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General crawl notes

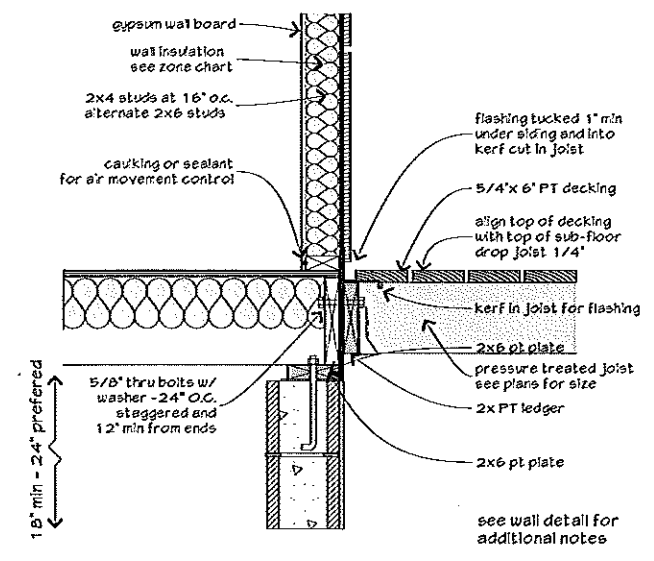
Provide 18"x24" min access door.
 Location as per field conditions - side preferred.

Provide foundation vents not less than 1 sqft per 150 sqft under floor space. One vent within 3 feet of each corner. IRC - R408.1
 or
 Unvented where exposed earth is covered and air supplied as per IRC - R408.3

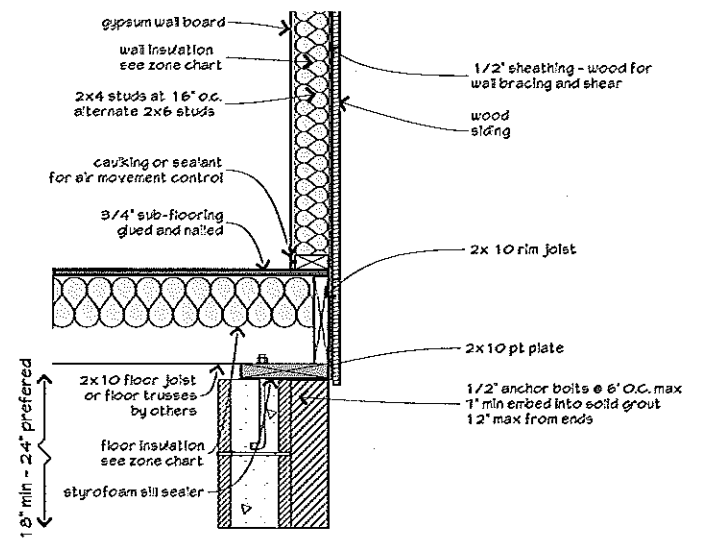
Fill piers solid with grout. Pier block size shown is minimum. May vary as per foundation height.

Pier spacing may vary dependant on local snow loads, soil bearing capacity and the use of roof trusses.

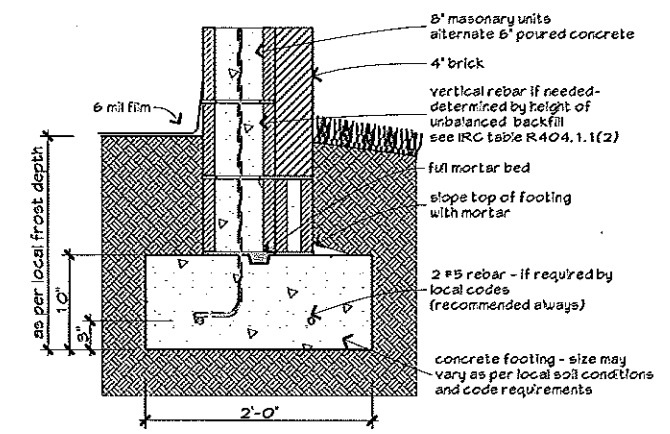
Footing sizes and reinforcement are assumed. Soil conditions vary and must be taken into account. Inspectors can allow builders to adjust the use of rebar and footing sizes as per local conditions.



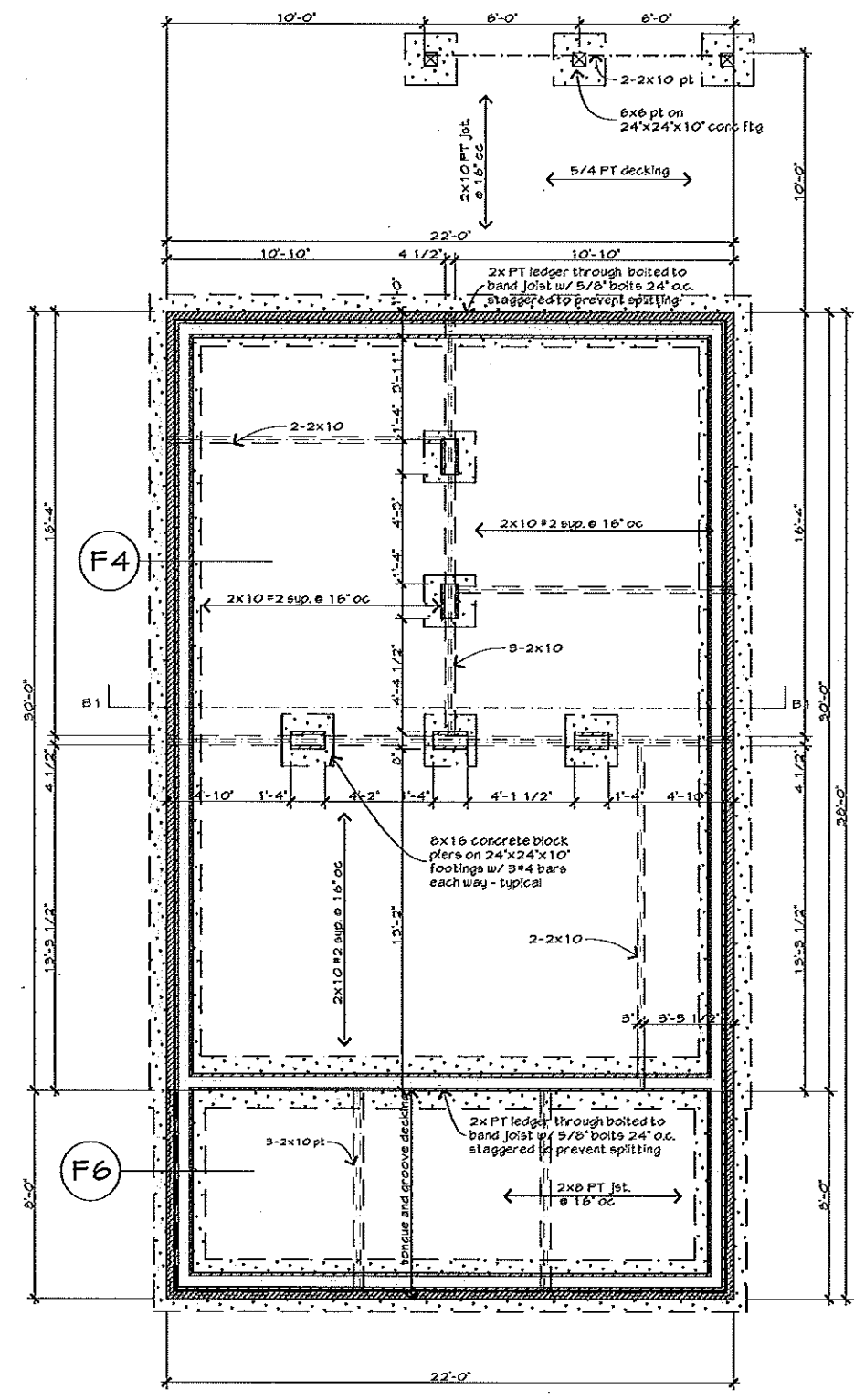
W5 Porch/Deck Detail
 scale 1"=1'-0"



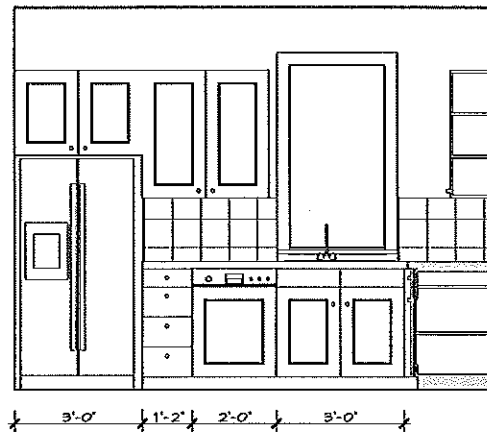
W1 Wall detail F1
 scale 1"=1'-0"



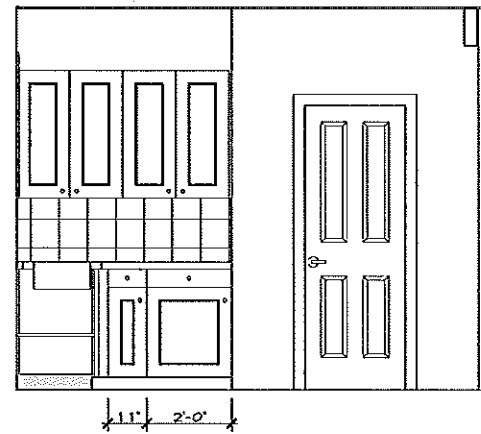
F4 Foundation - brick face
 scale 1"=1'-0"



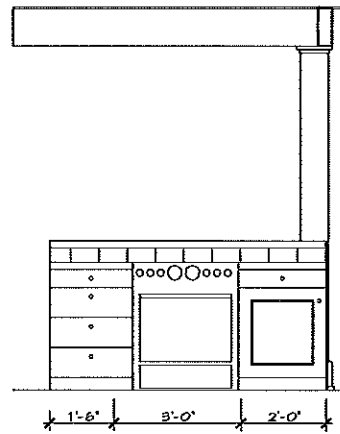
Crawl Foundation Plan
 scale 1/4"=1'-0"



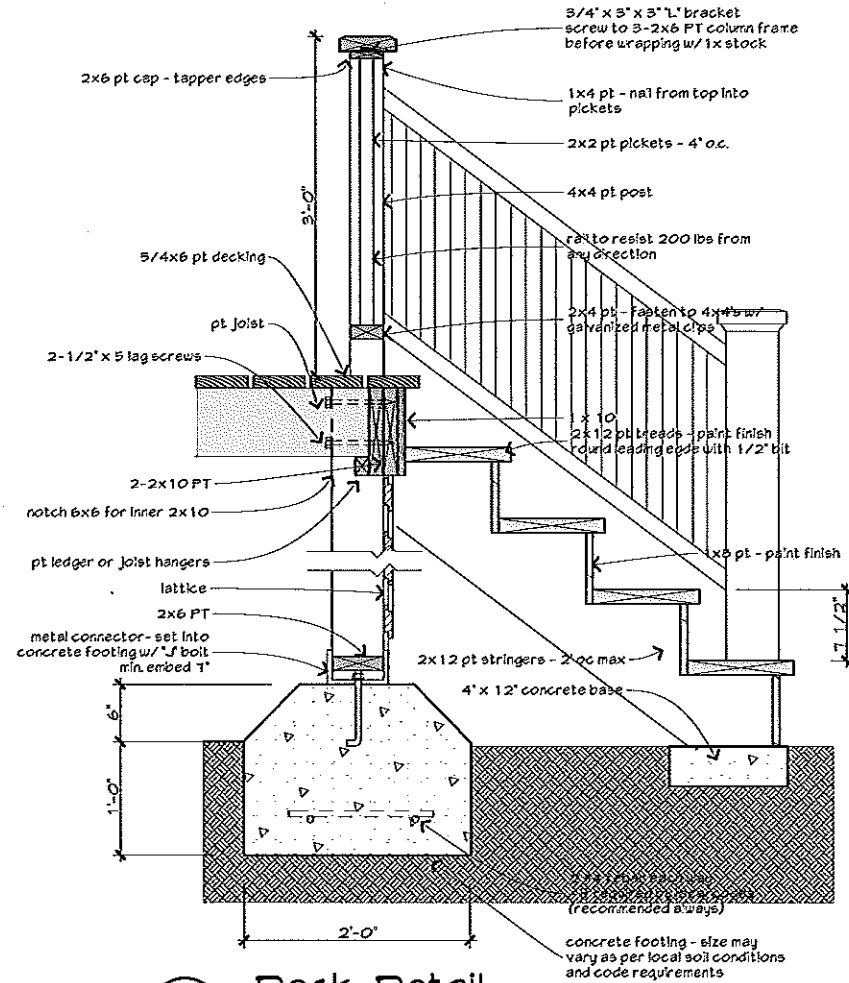
1 - Kitchen Cabinet
Scale 3/8" = 1'-0"



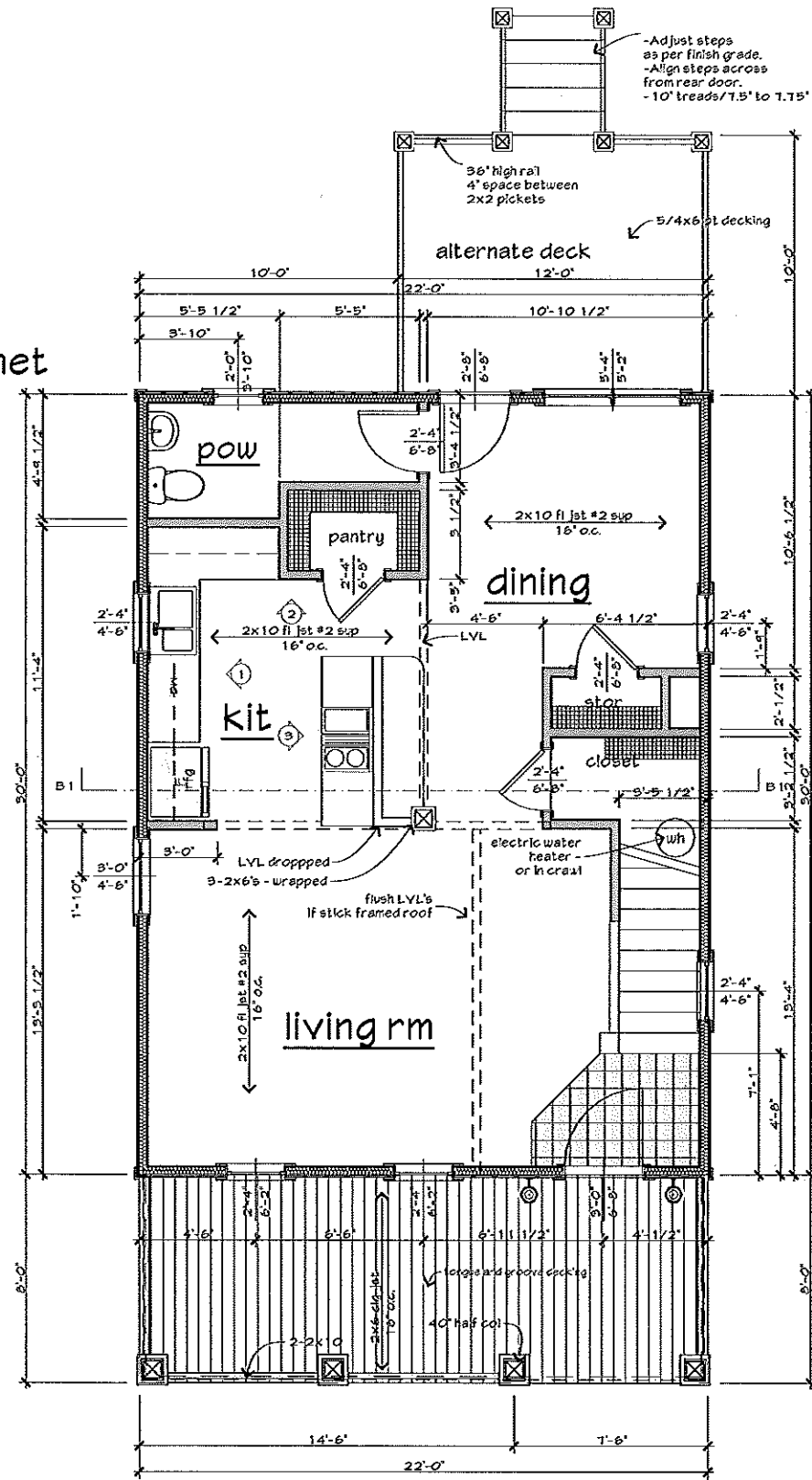
2 - Kitchen Cabinet
Scale 3/8" = 1'-0"



3 - Kitchen Cabinet
Scale 3/8" = 1'-0"

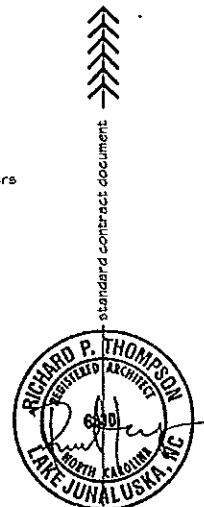


F7 Deck Detail
scale 1" = 1'-0"

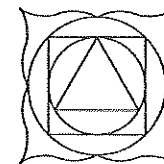


Floor 1 plan
scale 1/4" = 1'-0"

Floor 1 plan	660 sq.ft.
Floor 2 plan	617 sq.ft.
total	1277 sq.ft.



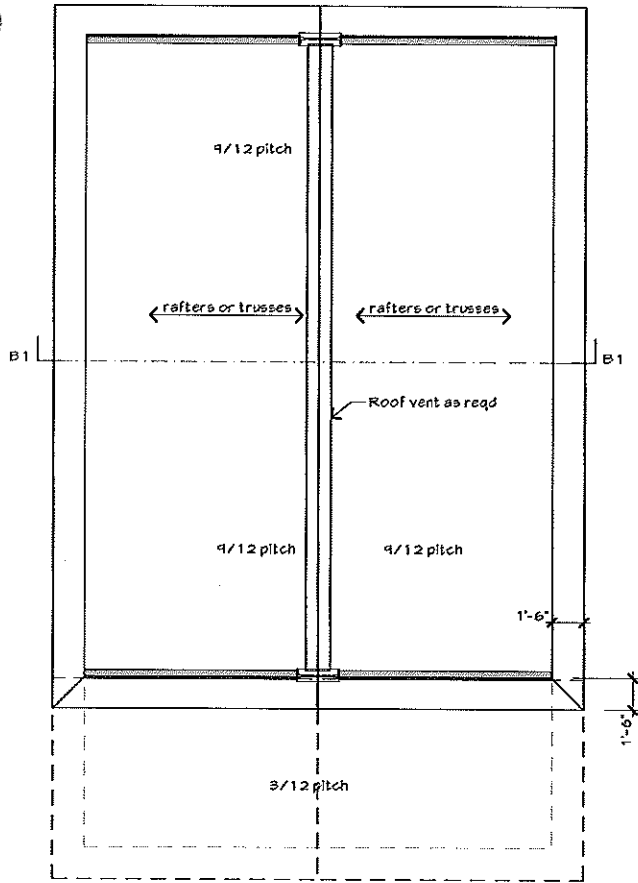
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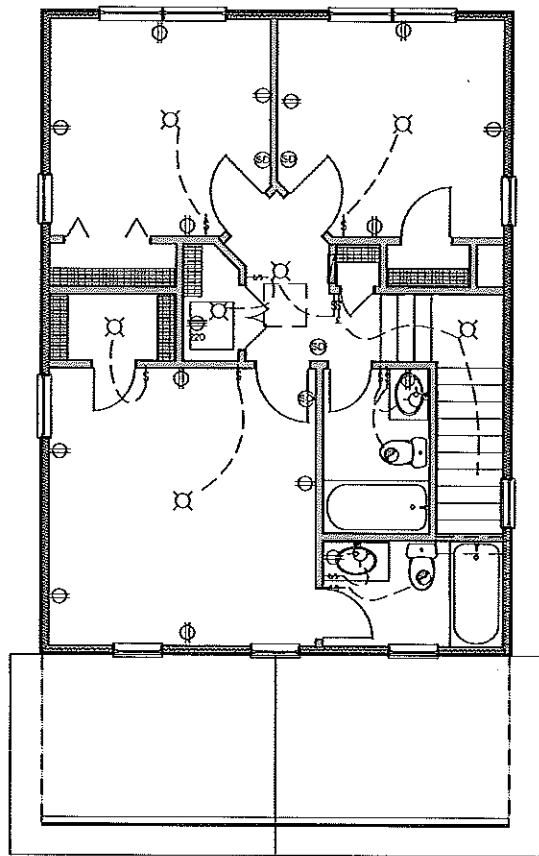
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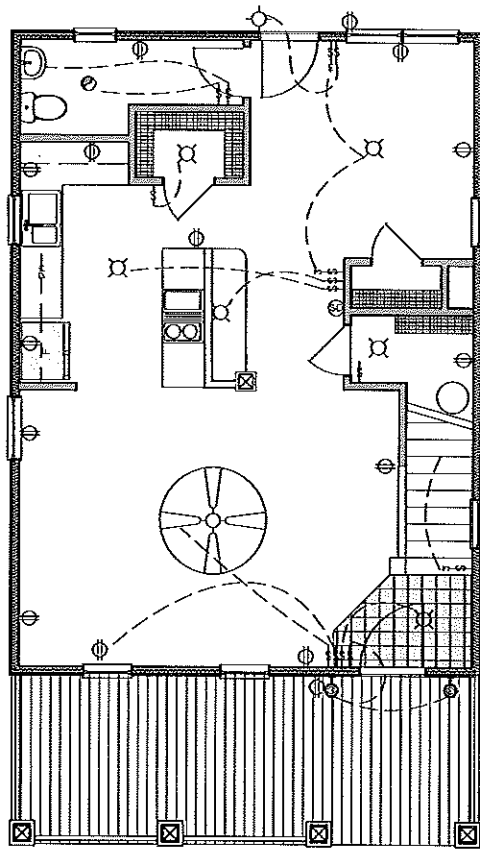




Roof plan
scale 3/16" = 1'-0"



Electrical - Floor 2 Plan
scale 3/16" = 1'-0"

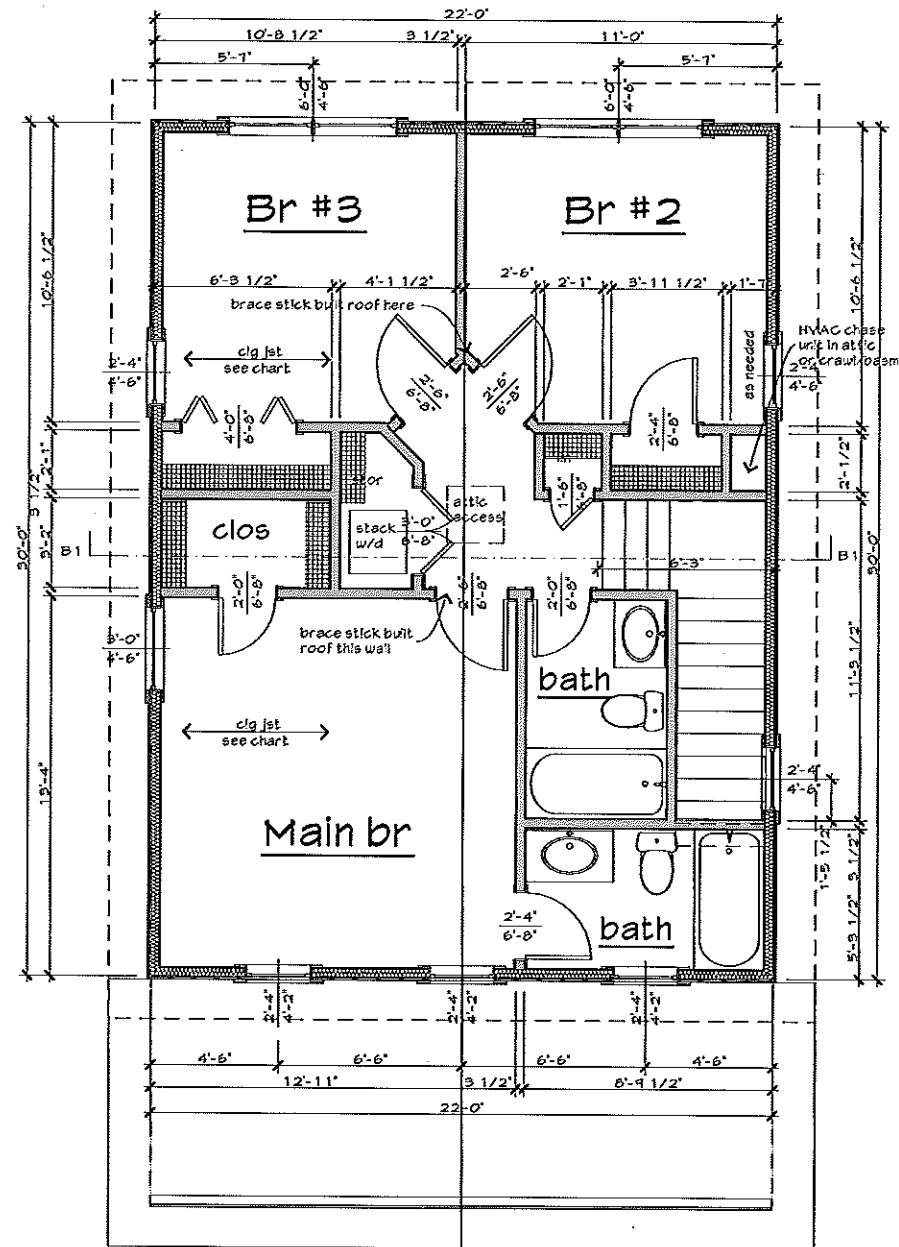


Electrical - Floor 1 Plan
scale 3/16" = 1'-0"

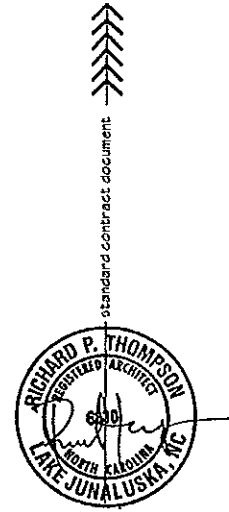
Door List				
Quantity	Width	Height	Type	Name
1	1'-6"	6'-8"	Interior	RDO2 Swing
1	2'-8"	6'-8"	Exterior Wood	RDO1 Door ST
1	3'-0"	6'-8"	Exterior Wood	RDO1 Door ST
1	3'-0"	6'-8"	Interior	RDO2 Swing
1	4'-0"	6'-8"	Interior	RDO5 Bifold
2	2'-0"	6'-8"	Interior	RDO2 Swing
3	2'-6"	6'-8"	Interior	RDO2 Swing
6	2'-4"	6'-8"	Interior	RDO2 Swing
16				

Window List			
Quantity	W x H Size	Units	Wood Clad
1	2'-0"x9'-10"	Single	RX11-4 Doublehung
1	5'-4"x5'-2"	Triple	RX11-4 Doublehung
2	2'-0"x3'-0"	Louver	RX11-1 Stationary
2	2'-4"x4'-6"	Twin	RX11-4 Doublehung
2	2'-4"x6'-2"	Single	RX11-4 Doublehung
2	3'-0"x4'-6"	Single	RX11-4 Doublehung
2	6'-0"x4'-6"	Twin	RX11-4 Doublehung
3	2'-4"x4'-2"	Single	RX11-4 Doublehung
4	2'-4"x4'-6"	Single	RX11-4 Doublehung
19			

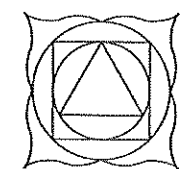
All windows to be wood windows



Floor 2 plan
scale 1/4" = 1'-0"



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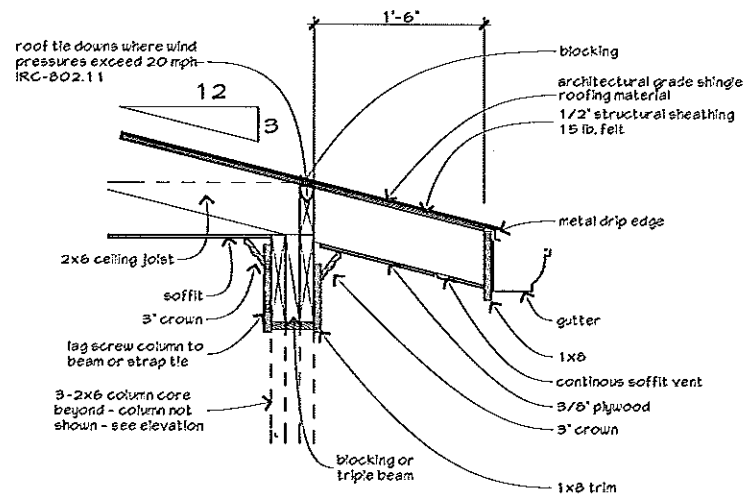


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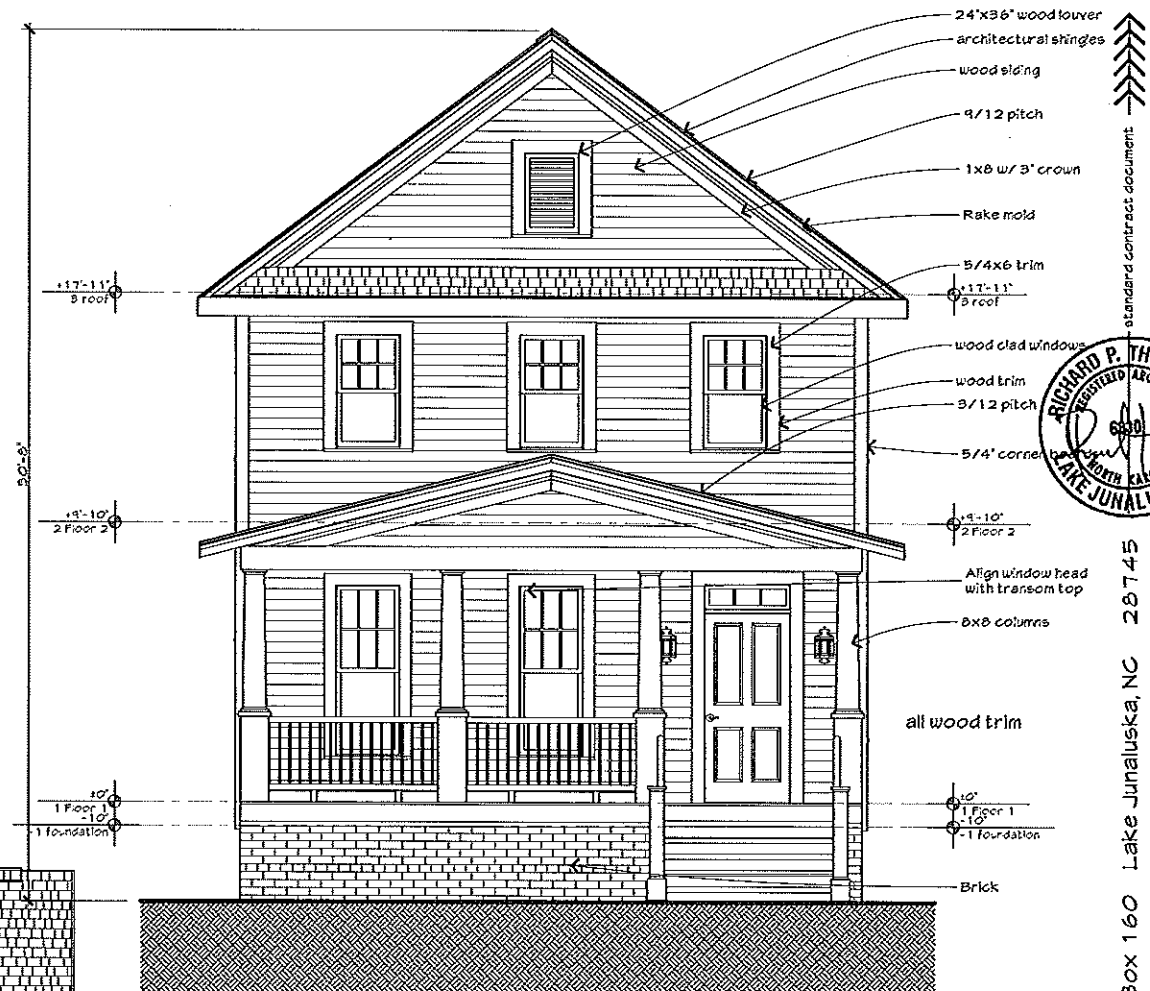
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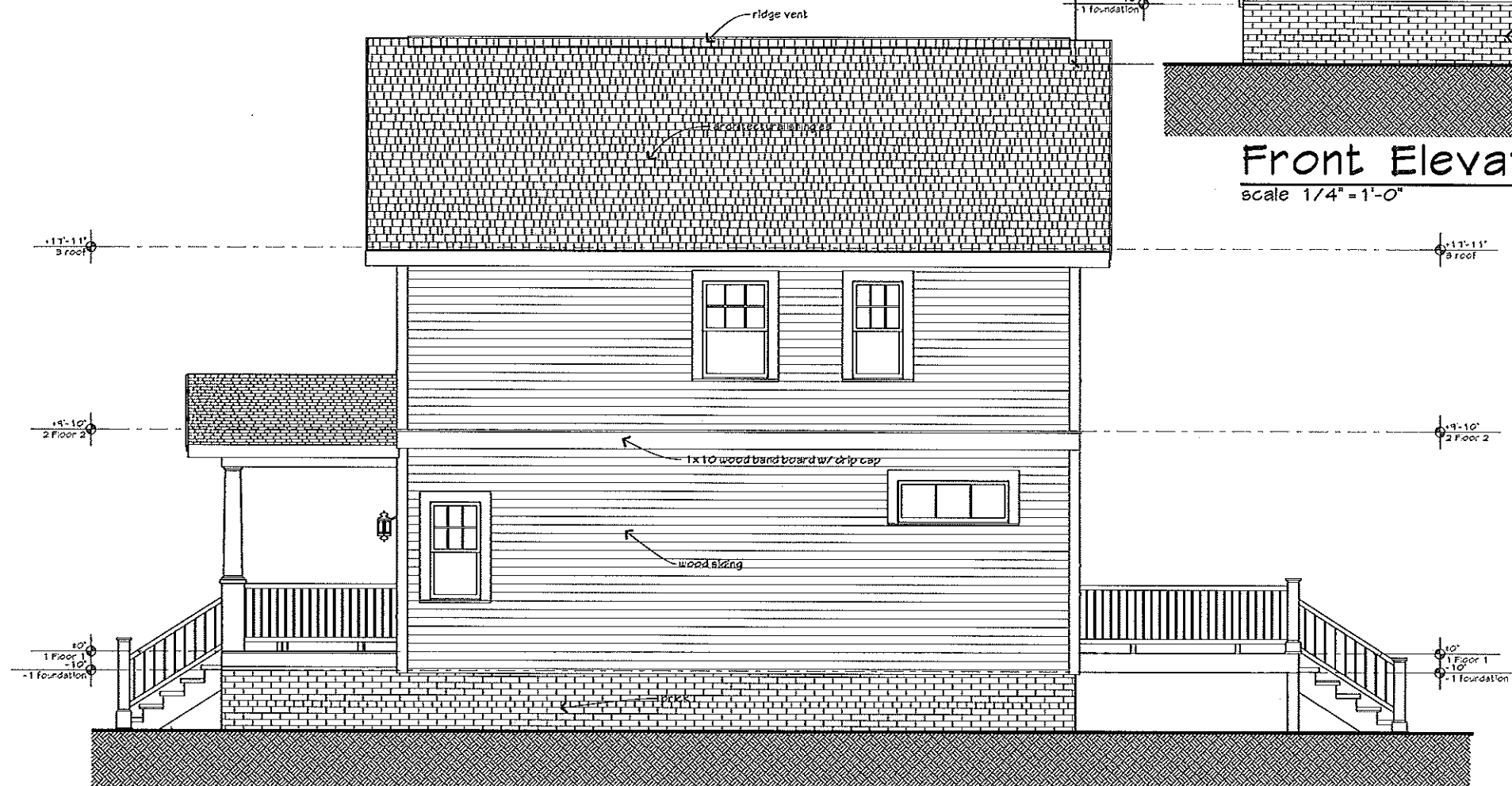
OCTOBER 2014



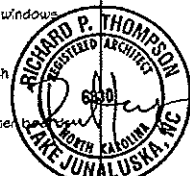
PE2 Typical Porch Boxed Eave
scale 1" = 1'-0"



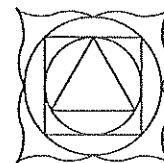
Front Elevation
scale 1/4" = 1'-0"



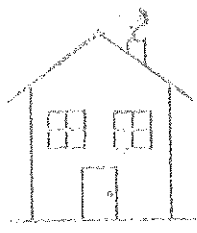
Right Side Elevation
scale 1/4" = 1'-0"



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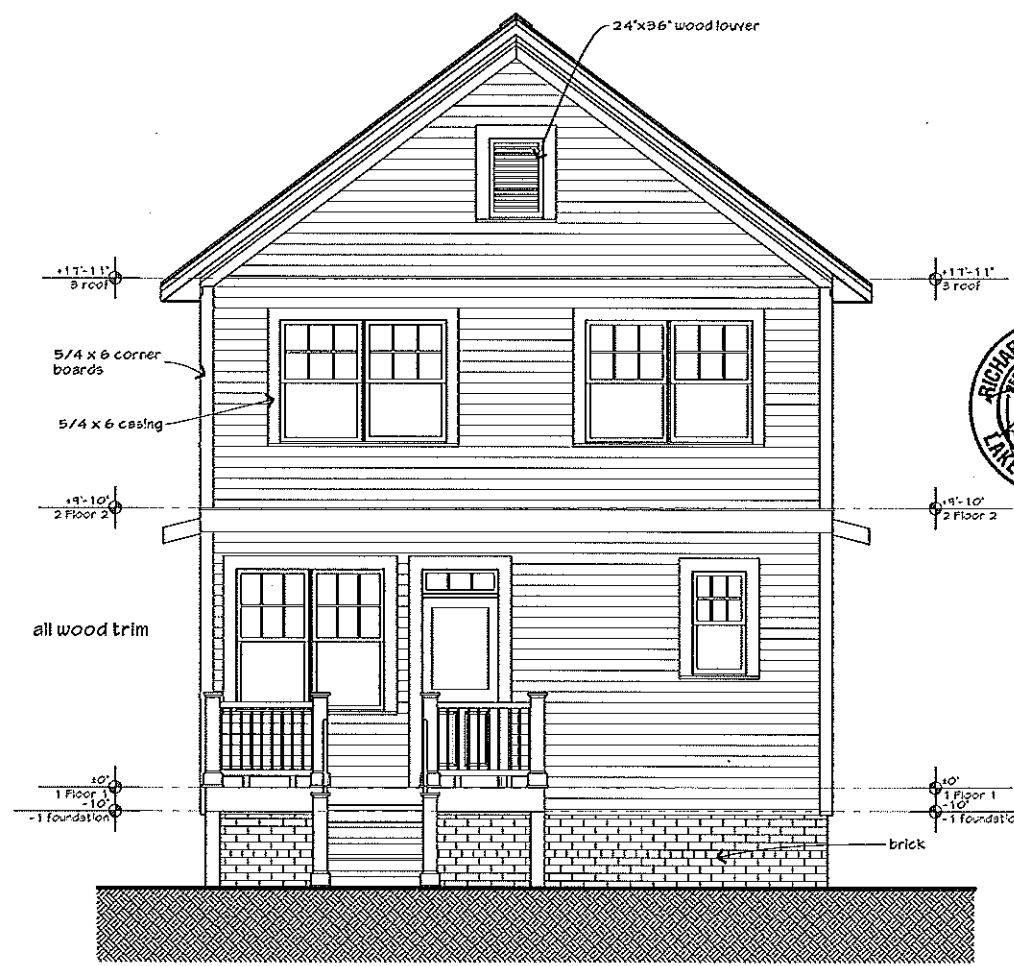
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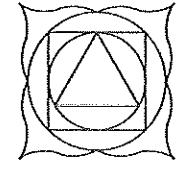
Rear Elevation

scale 1/4" = 1'-0"



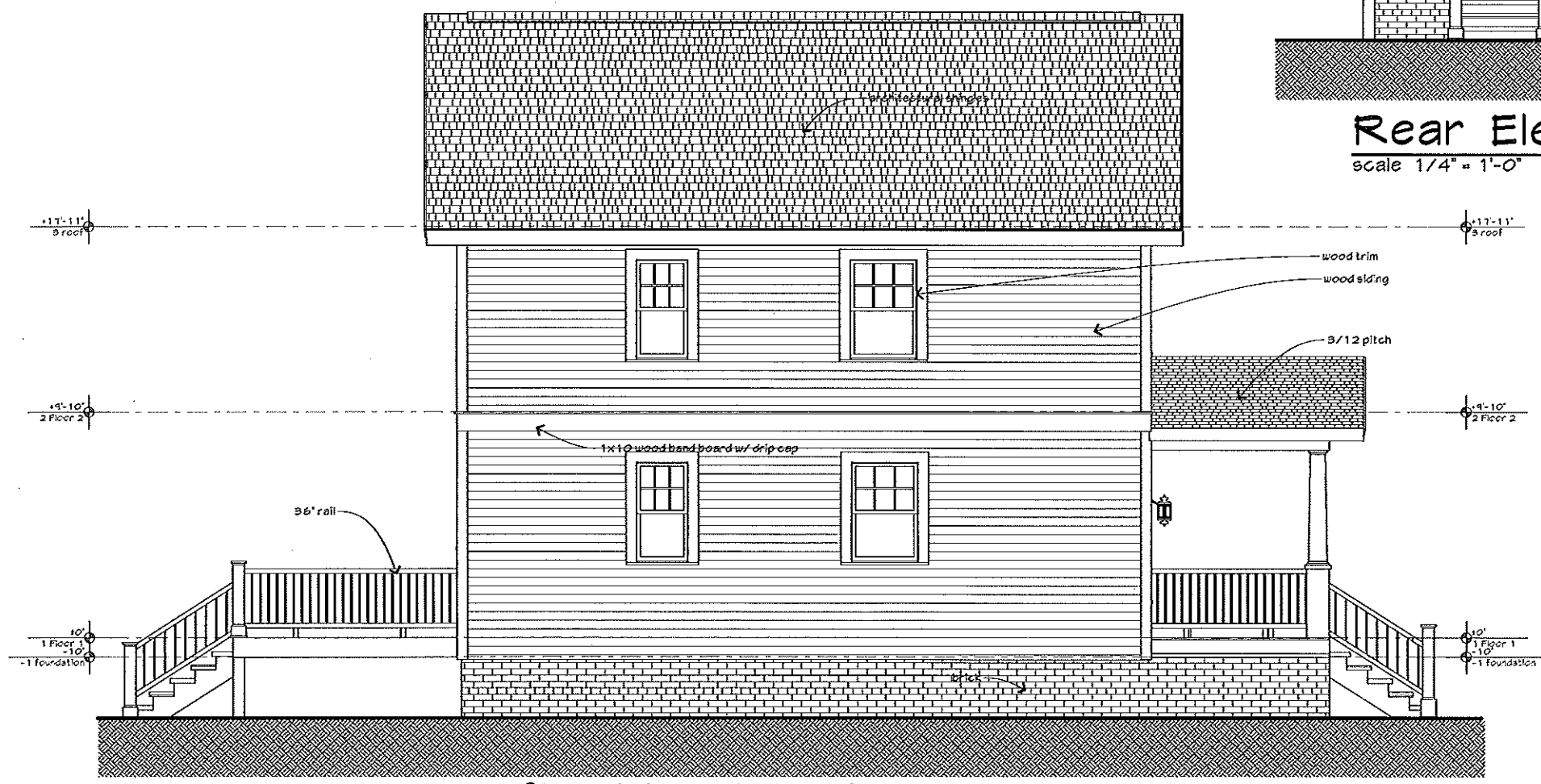
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Left Side Elevation

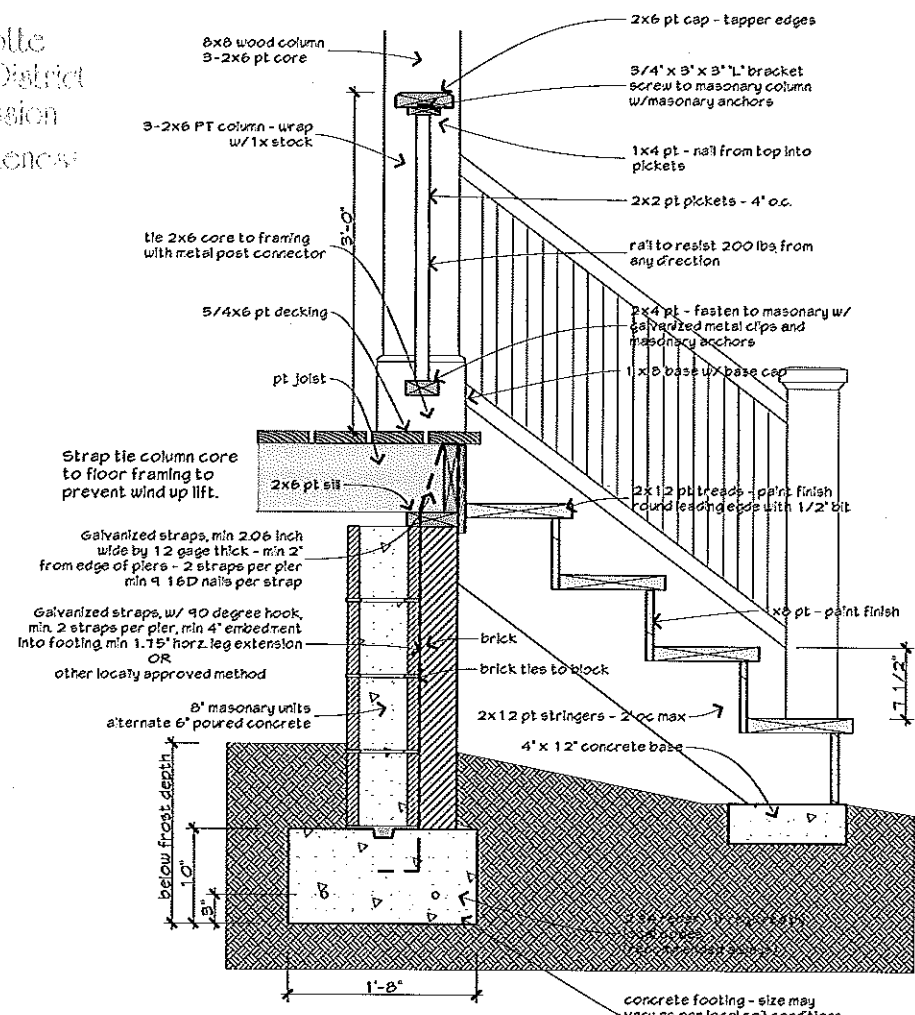
scale 1/4" = 1'-0"

All Federal, State and local codes shall be considered as a part of these documents, and shall take preference over anything shown or implied if differences arise.

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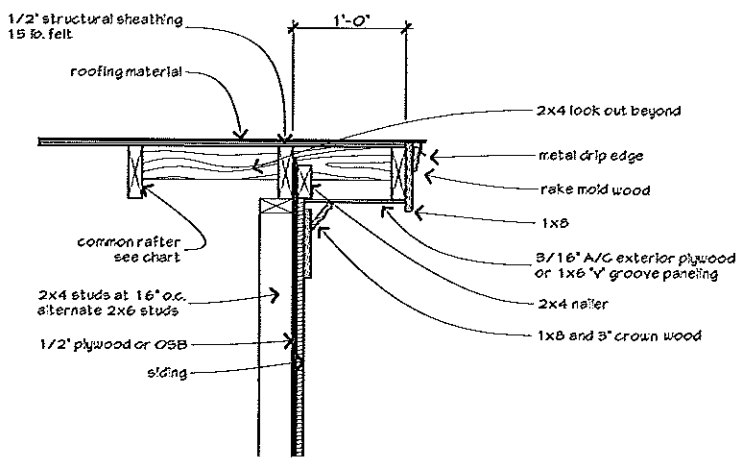
F6 Porch Detail
scale 1" = 1'-0"

Minimum Insulation Chart

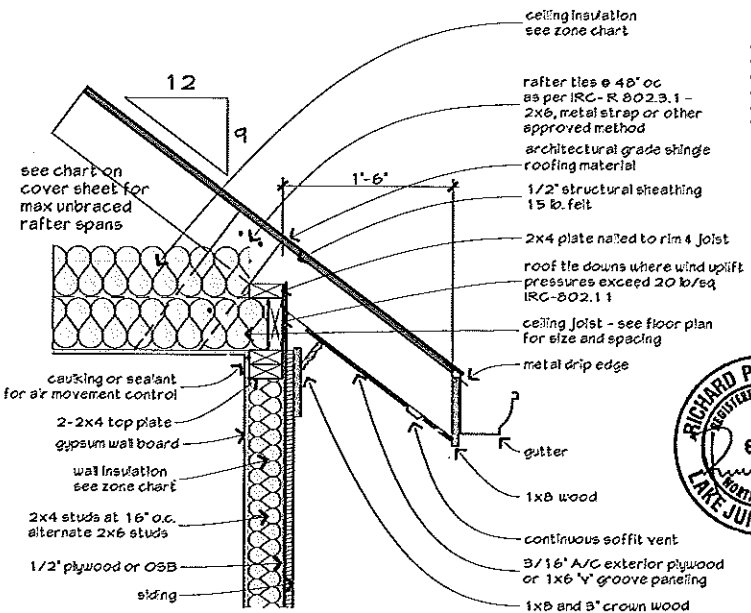
Table N1102.1 - International Residential Code 2009
Insulation and fenestration requirements by components*

Climate Zone	Glazing U-factor SHGC ^a	Glazing R-value SHGC ^a	Ceilings R-value	ADOD ^b Frame wall R-value	Floors ^c R-value	Basement ^d walls R-value	Slab ^e perimeter R-value and depth	Crawl space ^f wall R-value
1	1.2	.30	30	13	13	0	0	0
2	.65	.30	30	13	13	0	0	0
3	.50	.30 ^g	30	13	14	5/13 ^h	0	5/13
4	.35	NR	38	13	14	10/13	10, 2'	10/13
5	.35	NR	38	13	14	10/13	10, 2'	10/13
6	.35	NR	49	13	14	15/14	10, 2'	10/13
7	.35	NR	49	21	15	15/14	10, 4'	10/13
8	.35	NR	49	21	15	15/14	10, 4'	10/13

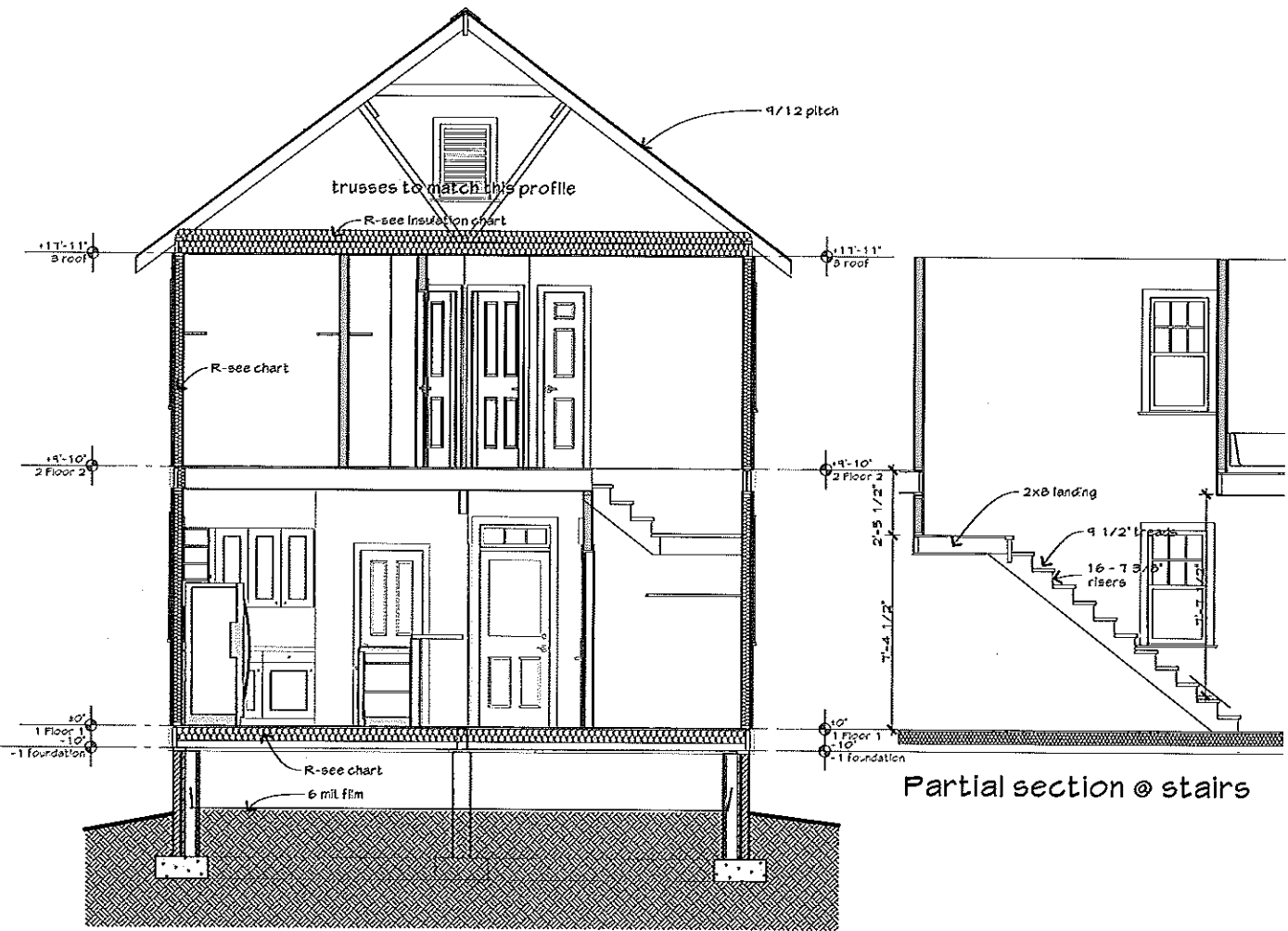
* R-values are minimum U-factors and SHGC are maximum R-14 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed R-value in addition to the full thickness R-value.
 b - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 c - 15/14 means R-15 continuous insulated sheathing on the interior or exterior of the home or R-14 cavity insulation at the interior of the basement wall plus R-10 wall sheathing on the interior or exterior of the home. 10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 d - R-5 shall be added to the required edge R-value for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in zones 1 through 3 for heated slabs.
 e - There are no solar heat gain coefficient (SHGC) requirements in the Marine Zone.
 f - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 g - Construction shall be to follow framing and R-14.
 h - 15/14 means R-15 cavity insulation plus R-10 insulating sheathing. If structural sheathing covers 25% or less of the exterior, insulating sheathing is not required. If structural sheathing is not required, structural sheathing covers more than 25 percent of exterior, structural sheathing shall be a minimum of 1/2\"/>



E4 Typical Rake - boxed soffit
scale 1" = 1'-0"
All wood siding and trim

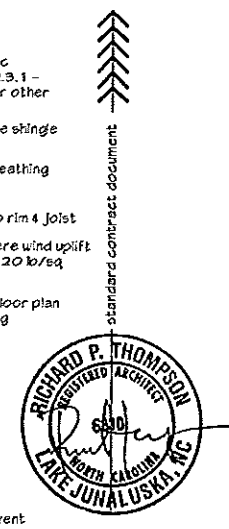


E1 Typical Boxed Eave - rafters on joist
scale 1" = 1'-0"
All wood siding and trim

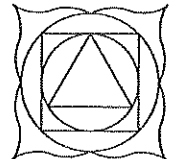


Building section
scale 1/4" = 1'-0"

Partial section @ stairs



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