



**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** 2014-069

**DATE:** May 29, 2014

**ADDRESS OF PROPERTY:** 1400 Pecan Avenue

**HISTORIC DISTRICT:** Plaza Midwood

**TAX PARCEL NUMBER:** 08117212

**OWNER(S):** Brian Woods (Ryan DeRuby-Applicant)

**DETAILS OF APPROVED PROJECT:** Addition-The rear porch on the right side will be enclosed for the construction of a bathroom and closet. The addition will have wood siding and a gable roof that ties into the existing roof. The window on the addition is a relocated unit from the opposite side. A new shed roof will cover the rear entry door. See attached plans.

The project was approved by the HDC on May 21, 2014.

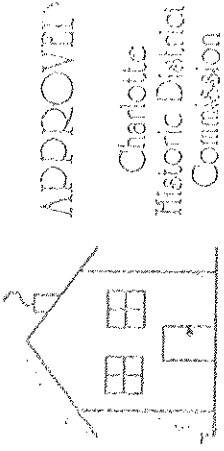
- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff



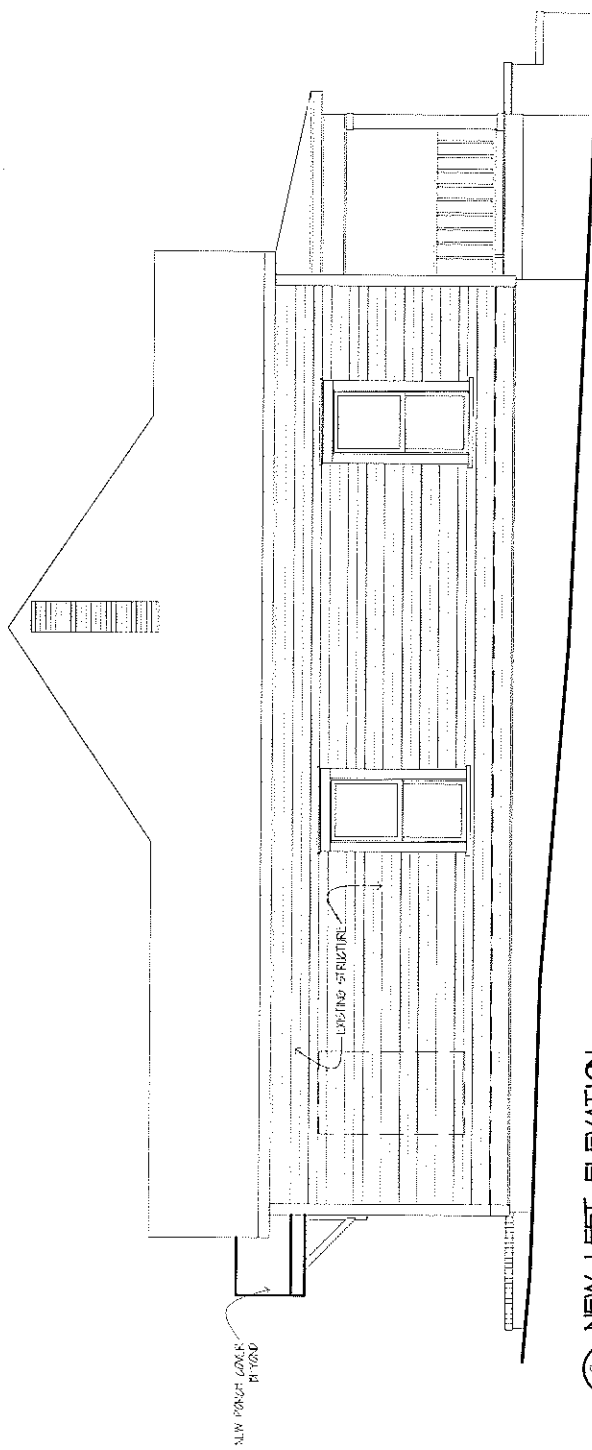


APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HDC 2014-069



3 NEW LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

**1400 PECAN AVENUE**  
**REMODEL PROJECT**  
**1400 PECAN AVENUE**  
**CHARLOTTE, NORTH CAROLINA**

**CREATIVE A BUNDANCE**  
 Design-Build Construction, LLC  
 PHONE: 704.363.7804

DATE: 7/29/14  
 NAME:  
 FLOOR PLANS  
 SHEET: **A**  
**1.0**

**WINDOW SCHEDULE**

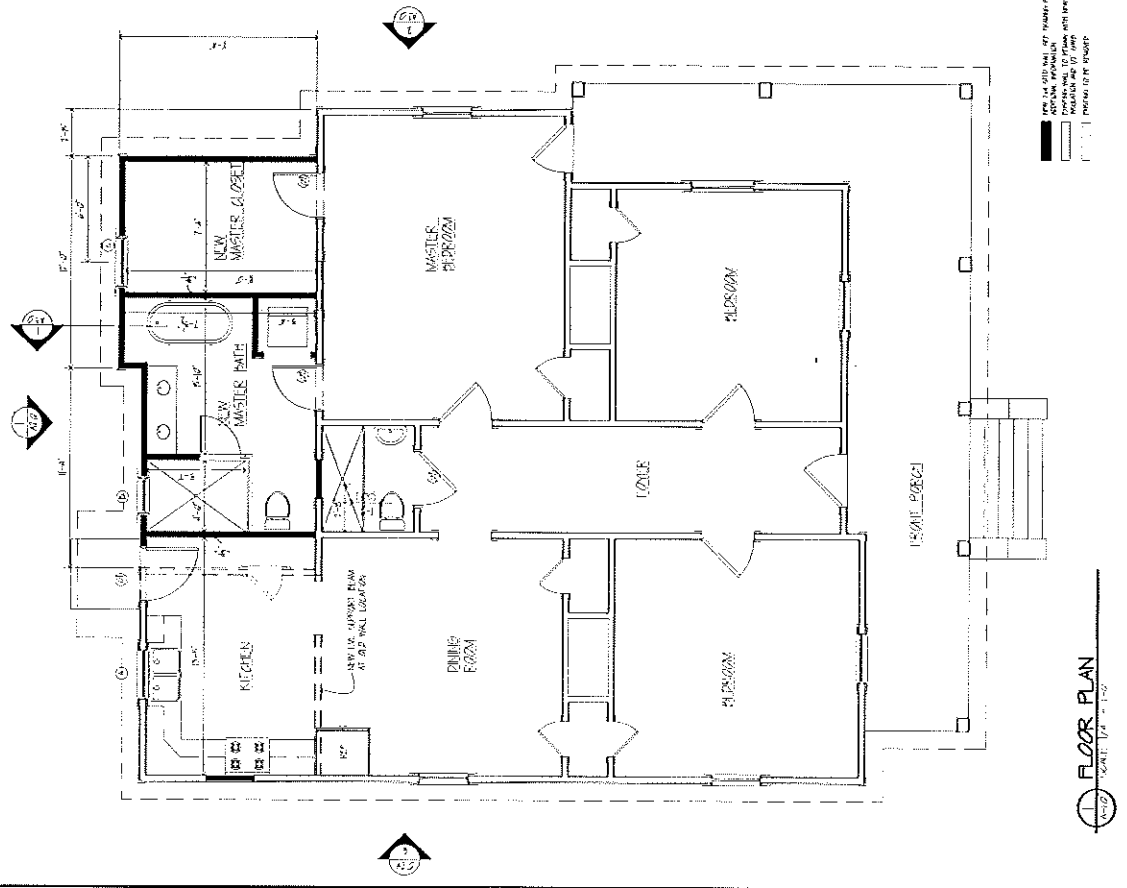
NO.	TYPE	DESCRIPTION	UNIT	QTY	COMMENTS
1	NEW	WOOD DOUBLE HUNG WINDOW	12" x 16"	2	EXISTING WINDOW
2	NEW	WOOD DOUBLE HUNG WINDOW	12" x 16"	2	EXISTING WINDOW
3	NEW	WOOD DOUBLE HUNG WINDOW	12" x 16"	2	EXISTING WINDOW

**DOOR SCHEDULE**

NO.	TYPE	DESCRIPTION	UNIT	QTY	COMMENTS
1	NEW	WOOD INTERIOR DOOR	36" x 80"	1	EXISTING DOOR
2	NEW	WOOD INTERIOR DOOR	36" x 80"	1	EXISTING DOOR

**DOOR AND WINDOW NOTES:**

1. FILL GIBBY AL 2009 AND WINDOW FINISHES.
2. ALL WINDOWS ABOVE THE FINISH OF AN OPENING WINDOW FINISH SHALL BE INSTALLED WITH A 2" MINIMUM CLEARANCE ABOVE THE WINDOW FRAME. THE CLEARANCE SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE WINDOW. ALL WINDOW FINISHES SHALL BE MATCHED TO THE EXISTING WINDOW FINISHES. ALL WINDOW FINISHES SHALL BE MATCHED TO THE EXISTING WINDOW FINISHES. ALL WINDOW FINISHES SHALL BE MATCHED TO THE EXISTING WINDOW FINISHES.



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