



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2014-067

DATE: 5/20/2014

ADDRESS OF PROPERTY: 1505 Southwood Avenue

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 11908802

OWNER(S): Debbie Scheller And Merritt Scheller

DETAILS OF APPROVED PROJECT: 6'X8' wooden shed will be installed in rear yard, near the existing house. (See exhibit labelled Site Plan May 2014). Saltbox style roof will not exceed 10' in height. Siding will be plywood with a batten applied to read as vertical siding. Roof overhangs entry doors. (Exhibit labelled Shed Elevation May 2014).

Applicable Policy & Design Guidelines

Rear Yards page 64.

1. Staff may approve work in rear yards that is not substantially visible from a street.
2. No more than 50% of the rear yard can be of impermeable material, including the roofs of additions to original building, paving, deck, patios, and accessory buildings.

Accessory Buildings page 60

2. Materials and finishes must be in keeping with the main building
4. Building must be of a proper scale

Basis and authority for Staff Approval: Projects eligible for Administrative Approval page 23 Work in Rear Yards, including patios, and accessory buildings and structures. Policy & Design Guidelines are met by the location, materials, form, and elevation of the proposed shed.

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.



Chairman



Staff



Plans Design
www.plansdesign.com

APPROVED

Charlotte
Historic District
Commission
of Appropriateness

6x8 Storage Shed Plans

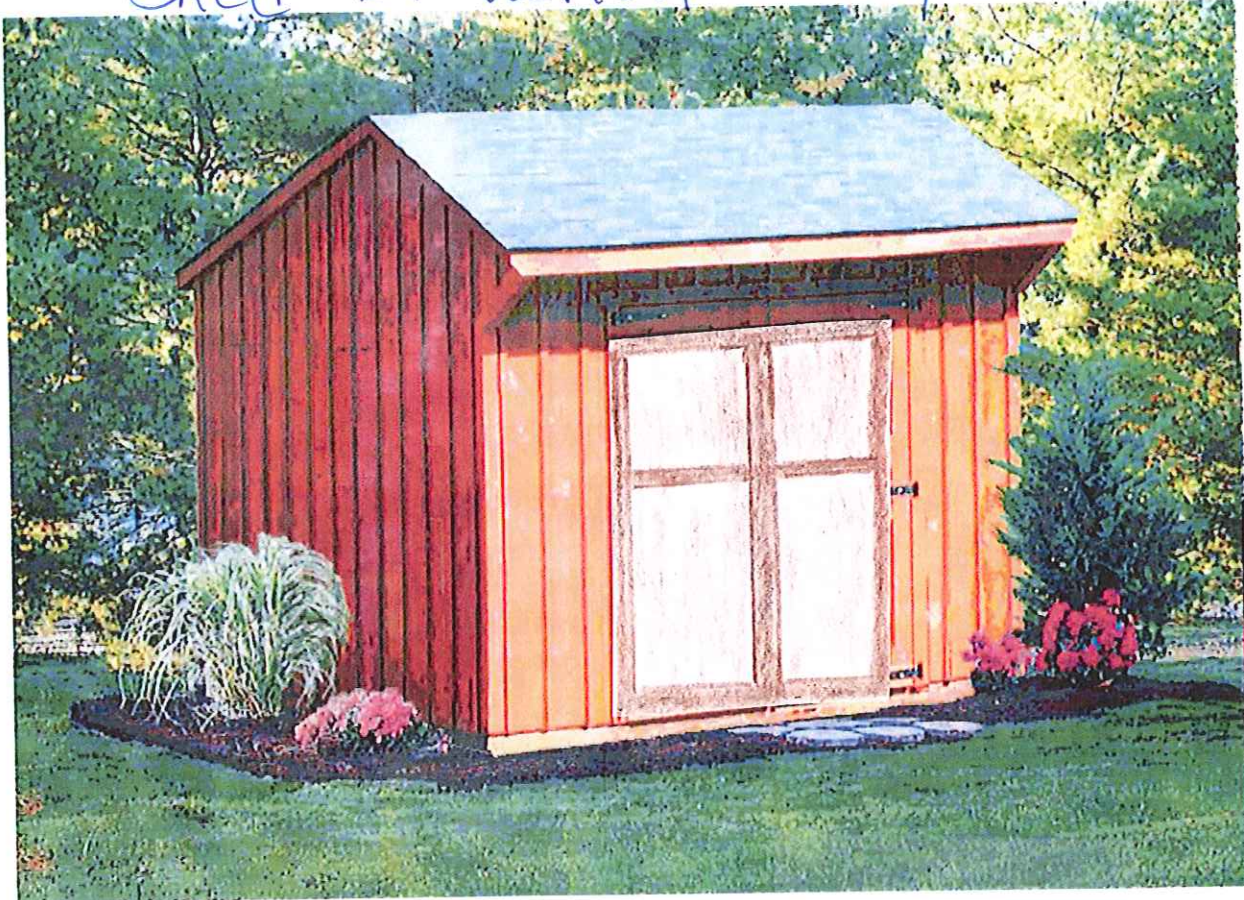
Design 70608

HISTORIC DISTRICT COMMISSION
COMPLIANCE WITH
CERTIFICATE OF APPROPRIATENESS
REQUIRED

8-20-2014

JTH

Shed Elevation May 2014



EXTERIOR PAINT TO
MATCH HOUSE

Feature:

- ▶ Building Size : 6'x8'
- ▶ Total Sq. Ft. : 48 Sq.Ft.
- ▶ Overall Height: 9'-3 1/4"
- ▶ Roof Style : Saltbox
- ▶ Roof Pitch : 7/12
- ▶ Roof Span : 6'
- ▶ Door : 54"x73"
- ▶ Foundation : Skid

Plans Include:

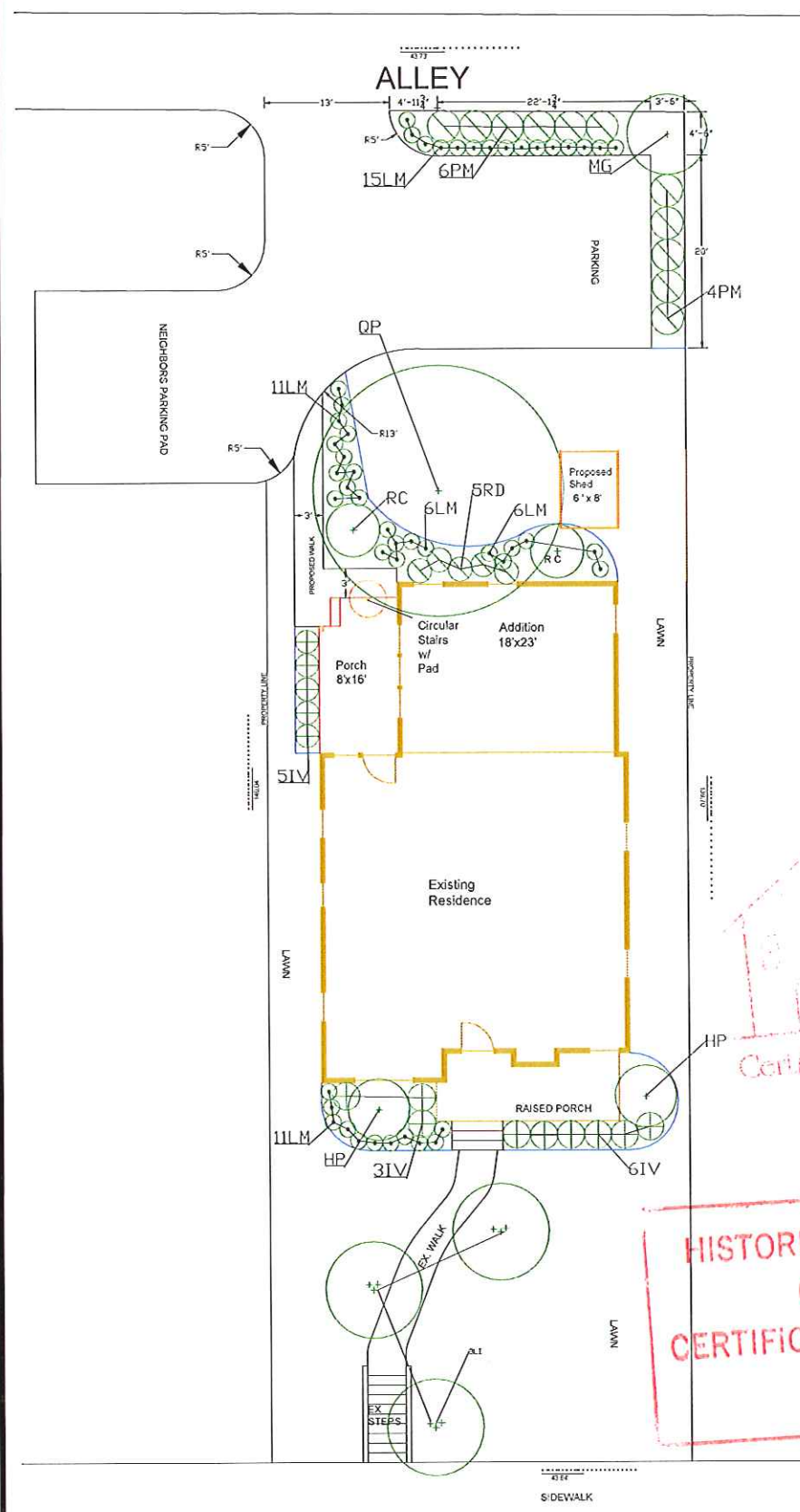
- ▶ List of Materials
- ▶ Step-by-step Instructions
- ▶ Full-size rafter templates
- ▶ Detail Drawings
- ▶ Tools List
- ▶ Safety and Helpful Hints

Plan Design: A quality set of plans come with every detail you need to complete your project with a limited amount of time, money and tools for any level skill of builders.

Material List

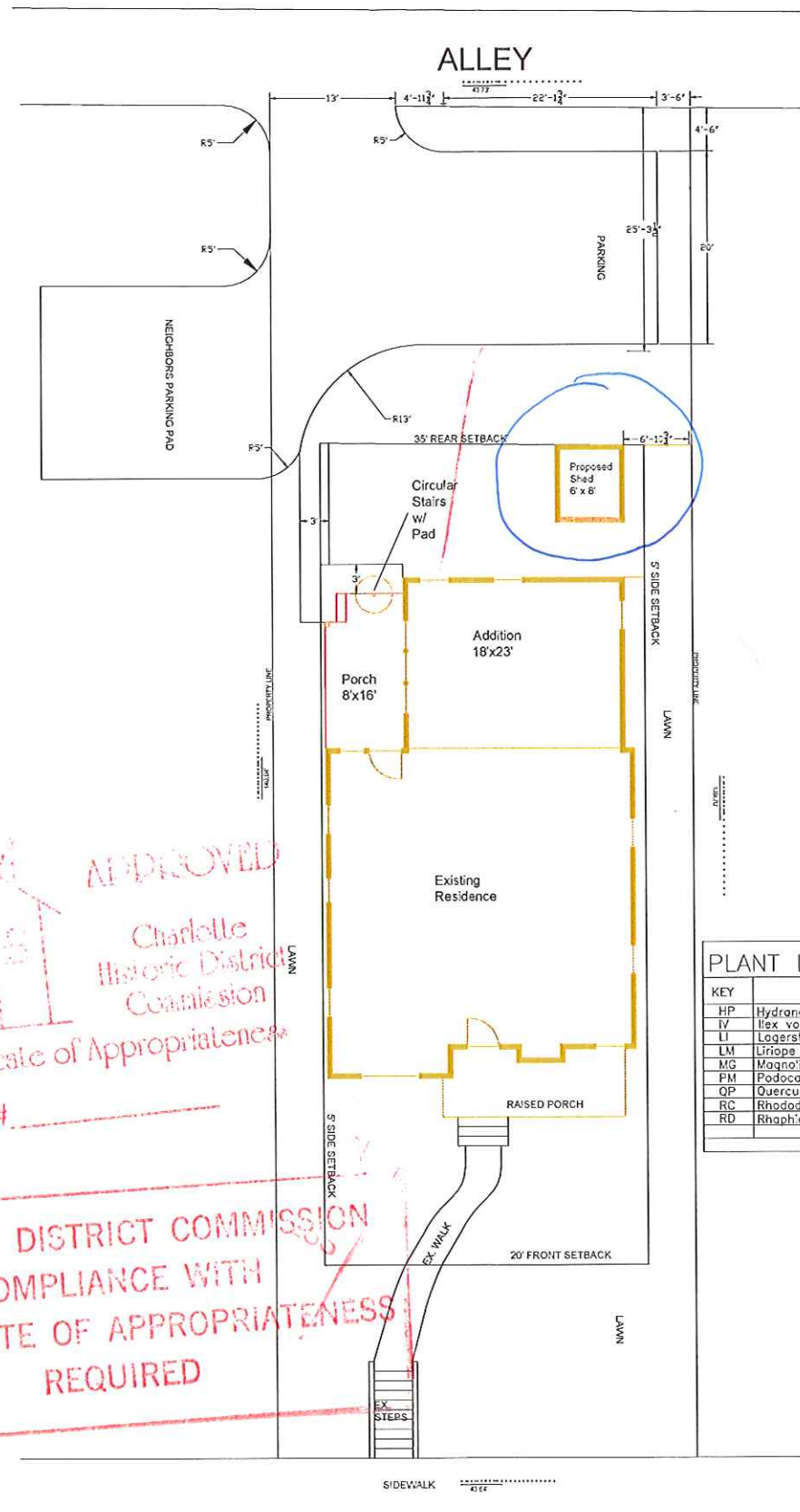
Code	Descriptions	Dimension	Qty
A*	4x4 Lumber	8' TRTD	3
B	2x4 Lumber	8'	57
C	5/8" Plywood	4'x 8'	13
D	2x6 Lumber	8'	3
E	7/16" OSB Sheet	4'x 8'	1
F	1x3 lumber	8'	18
G	1x4 Lumber	12'	3
H	1x2 Lumber	8'	30

* Treated lumbers because they will have ground



SOUTHWOOD AVENUE

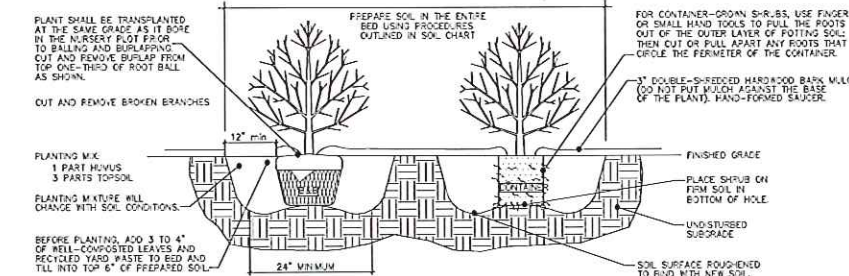
LANDSCAPE PLAN



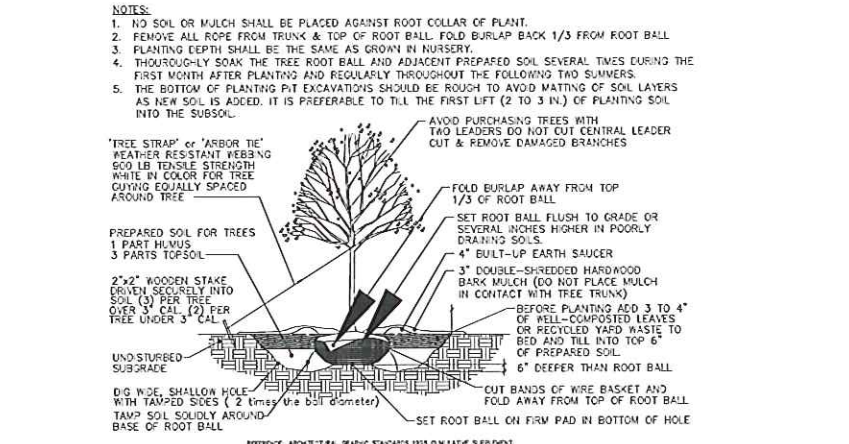
SOUTHWOOD AVENUE

DRIVEWAY LAYOUT

NOTE:
Apply approved pre-emergent weed control on all shrub beds prior to mulching.



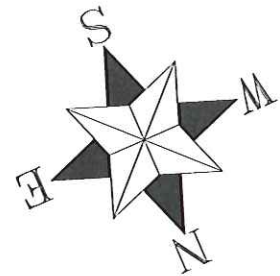
SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

PLANT LIST					
NOTE: In the event that there is a discrepancy between the quantity of plant material on the Plan Drawing and the quantity in the Plant List, the quantity of plant material on the plan drawing shall govern.					
KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
HP	Hydrangea paniculata 'Lime Light'	Lime Light Hydrangea	2	#5	Cont. Full Heavy Vigorous
IV	Ilex vomitoria 'Stokes Dwarf'	Stokes Dwarf Yaupon Holly	14	15/18"	B&B Full Heavy Vigorous
LI	Lagerstroemia indica 'Apalachee'	Apalachee White Crape Myrtle	3	6/8"	B&B Full Heavy Vigorous
LM	Liriodendron 'Variegata'	Variegated Liriodendron	49	1 QT	Pot Full Heavy Vigorous
MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	8/10"	B&B Full Heavy Vigorous
PM	Podocarpus macrophyllus 'Maki'	Maki Yew Podocarpus	10	3/4"	B&B Full Heavy Vigorous
QP	Quercus phellos	Willow Oak	2	2 1/2"	B&B Full Heavy Vigorous
RC	Rhododendron carolinianum	Carolina Rhododendron	5	5 Gal.	B&B Full Heavy Vigorous
RD	Rhododendron x delawarei	Indian Hawthorn	5	5 Gal.	Cont. Full Heavy Vigorous

Site Plan May 2014



BASE MAP INFORMATION BY
A STROME LAND SURVEYING CO.
1125 SARANDON DRIVE
MATTHEWS, NC 28104