



CHARLOTTE

CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2014-055

DATE: August 14, 2014

ADDRESS OF PROPERTY: 530 Hermitage Court

HISTORIC DISTRICT: Hermitage Court

TAX PARCEL NUMBER: 15502207

OWNER(S): Scott and Lisa Yarbrough

DETAILS OF APPROVED PROJECT: This COA amends the initial approval from 2011 and includes work that was approved in 2012 by the HDC but did not receive a COA. The work is on areas that are not substantially visible from the street.

The project includes the installation of a full length screened rear porch, elimination of proposed smooth panels on the rear elevation and replaced with wood siding, addition of a 4 over 8 window on the right elevation (lower level left of chimney), and the addition of a window on the left elevation over the porch. The decorative railing over on the second floor rear balcony may be installed at a later date. See attached plans.

The project was approved by the HDC on August 14, 2014.

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

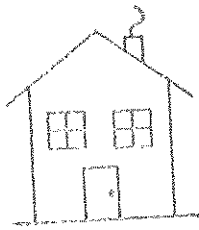
Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

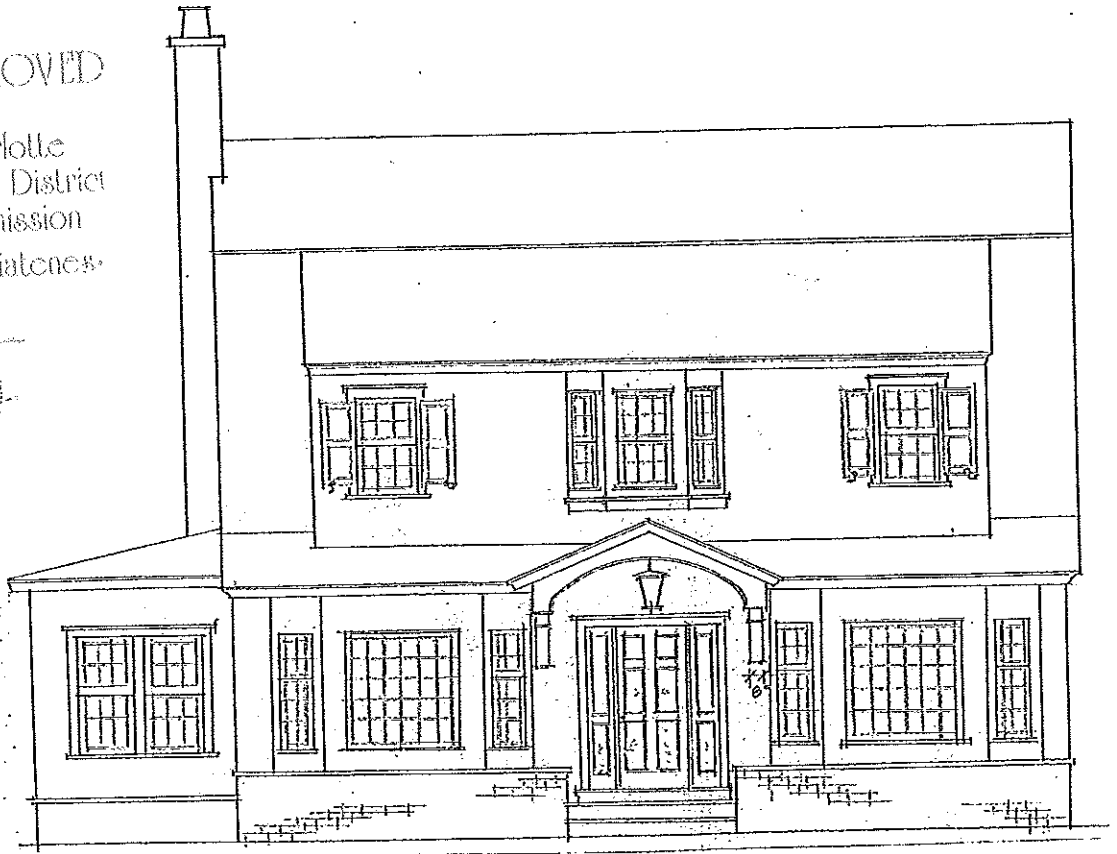


APPROVED

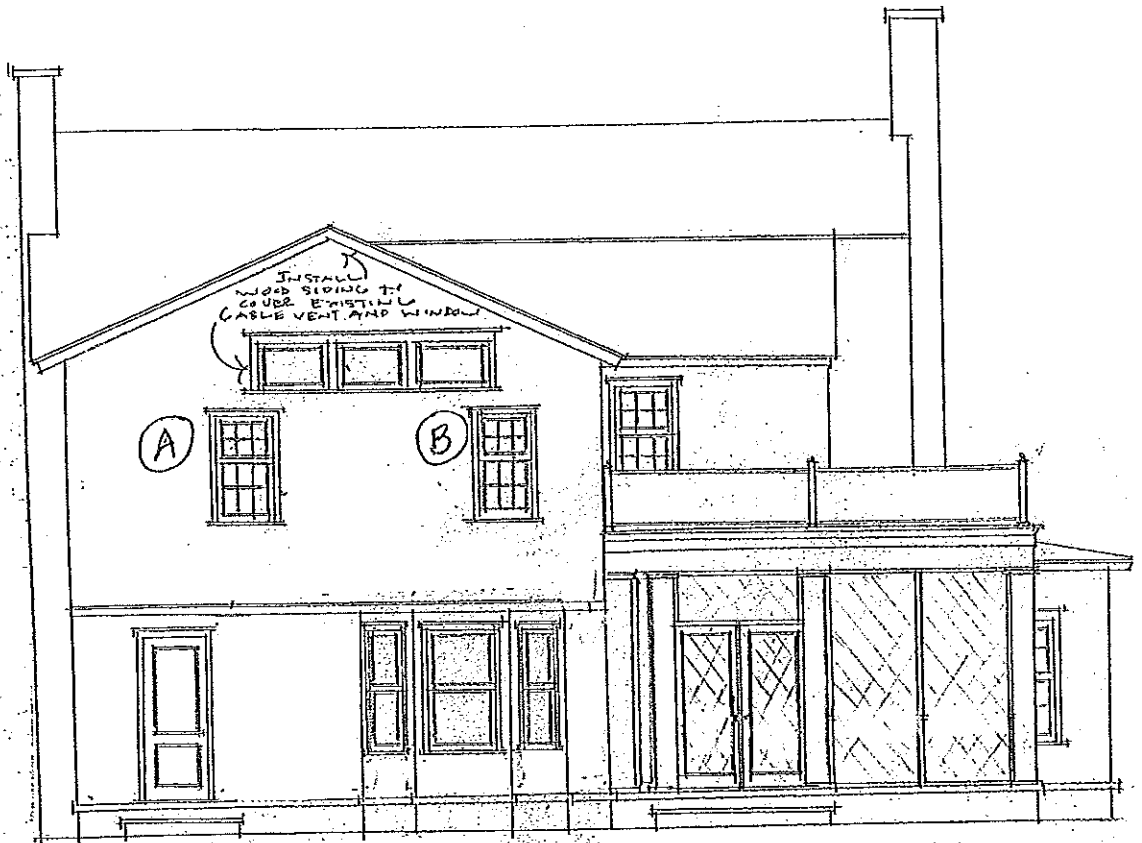
Charlotte
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Certificate of Appropriateness

2014-035



FRONT ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"

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2014-055

- ARCH. ASPHALT SHINGLES
- BEAD BOARD CEIL.
- 3/4" CROWN
- SOLID WOOD BRACKET

NEW WINDOW UNIT

RIGHT ELEVATION 1/8" = 1'-0"

WINDOWS
A, B, C, D:
61" H X 31" W



LEFT ELEVATION 1/8" = 1'-0"