



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2014-025 **DATE:** February 18, 2014

ADDRESS OF PROPERTY: 1003 Romany Road


HISTORIC DISTRICT: Dilworth **TAX PARCEL NUMBER:** 12309714

OWNER(S): Mike Glaser

DETAILS OF APPROVED PROJECT: Fence/Wall – Brick wall will enclose rear yard. Design of fence will include 1' square brick piers that will not exceed six feet in height. Brick will match that of the house. 5'6" tall brick bays will span the 8' distance between the piers. Design of the brick bays: the top one third of the fence will have a top header row (or two at the discretion of the owner), above a row of brick laid in a kicked out pattern, with three rows of a punched pattern below that, the bottom two thirds of the brick wall will be laid in a running bond pattern. (Punched pattern is at discretion of the owner but no more solid than identified in this approval.) 12' wide arched roll away wooden gate will close over drive and retract behind brick wall. Walk through gates on either side of the house will match the drive through gate – arched, wooden and the three gates will be stained or painted. Gate heights will not exceed six feet. Fence will be inset from property line to provide a planting/landscape area no less than three feet along Lexington Avenue. Planting will be determined by owner. Fence will tie onto rear corners of the thermal wall of the house. Approval of any substitute material is not implied. SEE ATTACHED PLANS.

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.


Chairman

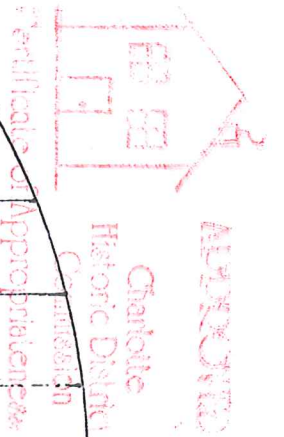

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

Refractable Gate opens
inside fence



HDC 2014-025

Stained wood Gate
6" Planks

6'0"

1'0"

HISTORIC DISTRICT COMMISSION
COMPLIANCE WITH

CERTIFICATE OF APPROPRIATENESS

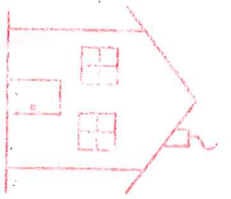
REQUIRED

RK

12'0"

5'6"

6'0"



Certificate of Appropriateness

#HDC 2614-025

Garage



12'0"

Retractable Gate

12'0"

3'0"

3'4"

3'0"

Side Gate

Drainage →

SIDEWALK

Side gate 3'0"

Porch

House

HISTORIC DISTRICT COMMISSION

COMPLIANCE WITH

CERTIFICATE OF APPROPRIATENESS

REQUIRED

OK

2/18/2014

Pillars - 6'0" tall

1'6" wide

Boys - 8'0" wide

5'6" tall

Brick to match house

Wood Stain gates
Driveaway gate 6'0" at arch

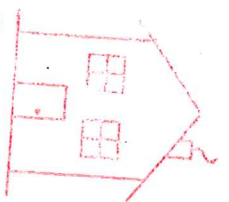
12'0" wide

Retractable inside fence

Pillars - 3'0" from sidewalk
fence bay - 3'4" from sidewalk
Gate - 3'6" from sidewalk

Planting Strip between
fence and sidewalk

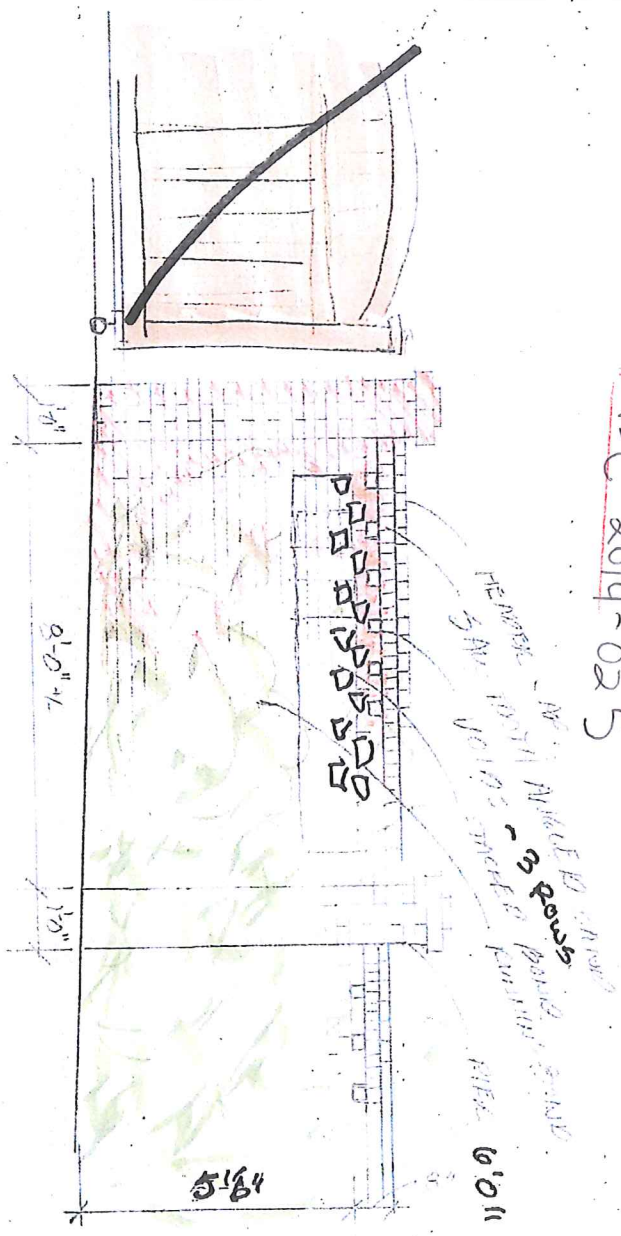
Gate - Wood stain
 6'0" tall at arch
 12'6" wide
 Retractable inside fence



APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness

HDC 2014-025

HISTORIC DISTRICT COMMISSION
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 REQUIRED
 2/18/2014



Gate to Match house

Planting Strip between fence and sidewalk

Pillars are 3'0" from sidewalk
 Bays are 3'4" from sidewalk
 Gate is 3'6" from sidewalk

Pillars - 6'0" tall
 1'6" wide
 Bays - 5'6" tall
 8'0" wide