
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1615 Dilworth Road West

SUMMARY OF REQUEST: Addition – Front porch redesign

OWNER: Joan Haubenreiser

APPLICANT: Mike Novick

Details of Proposed Request

Existing Conditions

The existing structure is a two story single family home constructed in 1939. A prominent feature is the terrace on the front facade with a wrought iron railing and supports.

Proposal

The proposal is an addition of columns to support the balcony, extension of the terrace and the addition of metal brackets and new entry porch and steps.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

Additions must respect the original character of the property, but must be distinguishable from the original construction.

3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis:

The Commission will determine if the structure meets the applicable guidelines for additions.

Charlotte Historic District Commission - Case 2014-223

Historic District; Dilworth



	1615 Dilworth Road West
	Dilworth Local Historic District
	Property Lines
	Building Footprints

Map Printdate:
Sept. 2014

1615 Dilworth Road West



Front Elevation View from Sidewalk



Looking at Existing Entry Porch and Balcony above



View of upper balcony from right side



Looking at Existing Entry Porch and Balcony above from existing sidewalk



1615

ADT



1623

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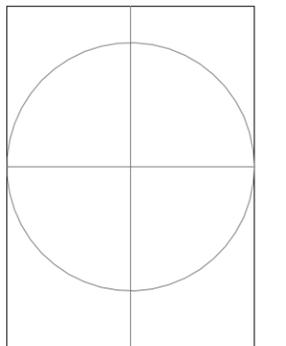
IN PARTNERSHIP WITH
**LIGHTHOUSE
 CONSTRUCTION**

MIKE NOVICK, DESIGNER

HAUBENREISER
 RESIDENCE

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 27203

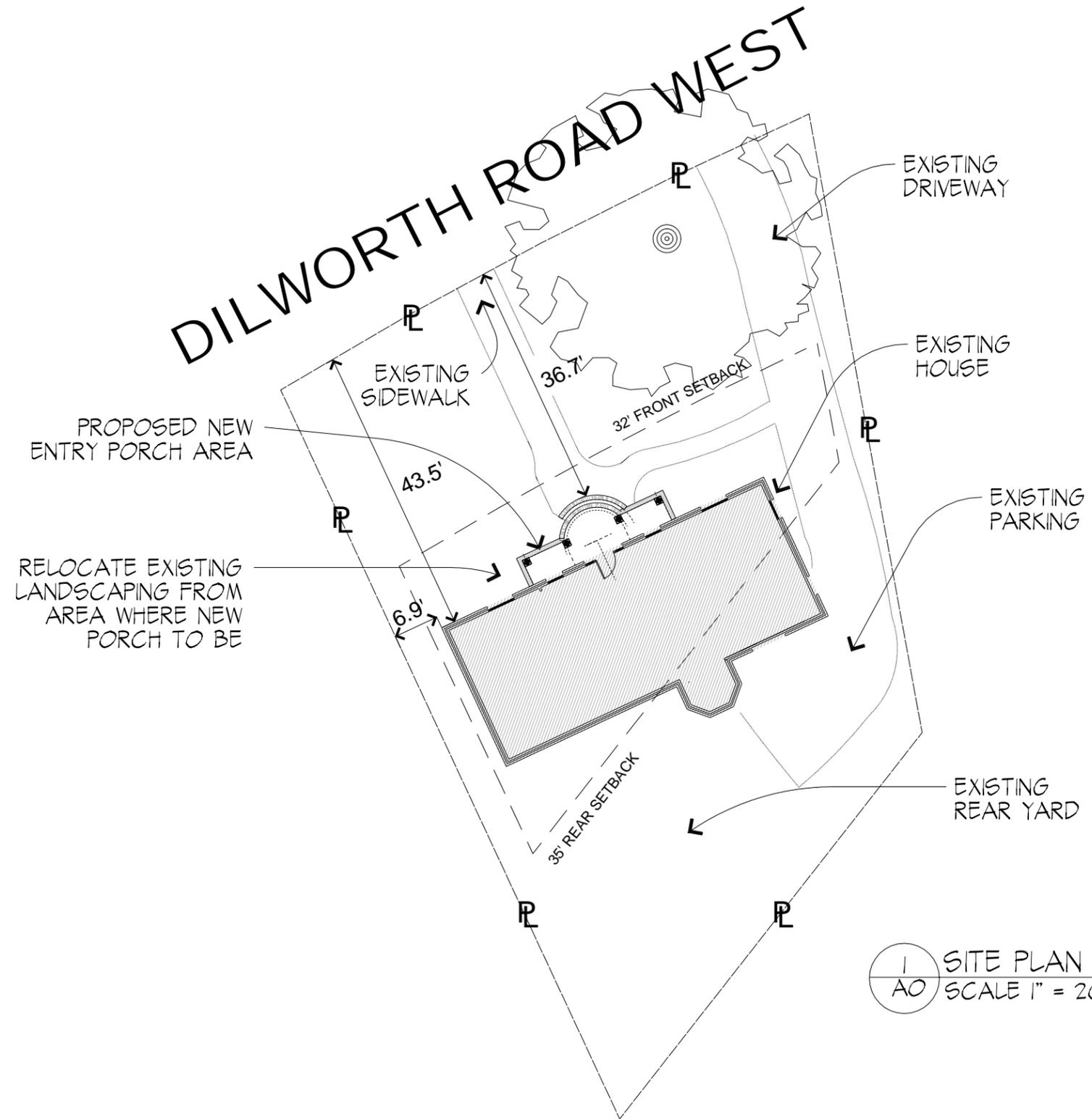
FOR REVIEW
 06 JULY, 2014



SITE PLAN

A0

DILWORTH ROAD WEST



1 SITE PLAN
 A0 SCALE 1" = 20'-0"

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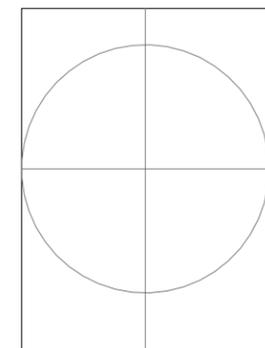
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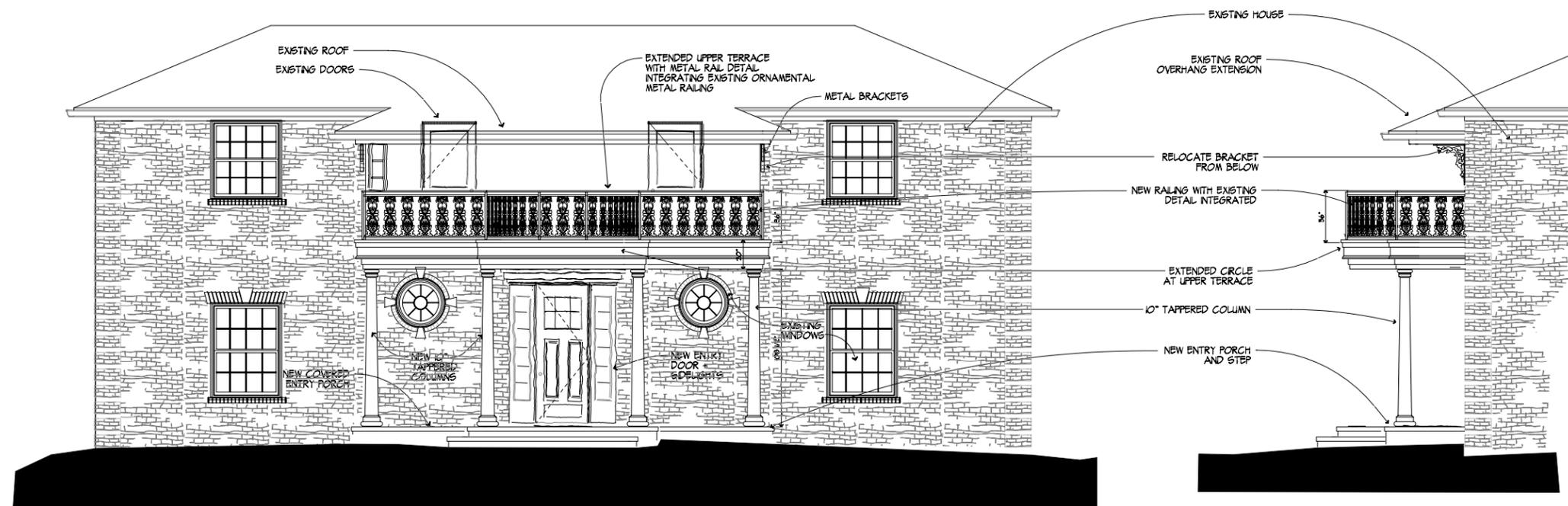
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EXTERIOR ELEVATIONS

FINISH NOTE:
 ALL MATERIALS, AND COLORS SHALL
 MATCH AS POSSIBLE THE EXISTING
 FINISHES AND COLORS



1 FRONT ELEVATION
 A5.0 SCALE 1/8" = 1'-0"

2 RIGHT SIDE ELEVATION
 A5.0 SCALE 1/8" = 1'-0"

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A5.0

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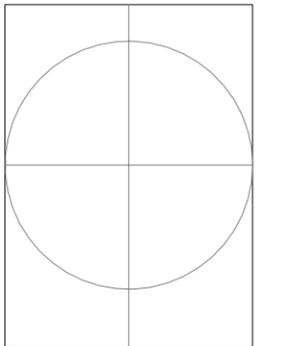
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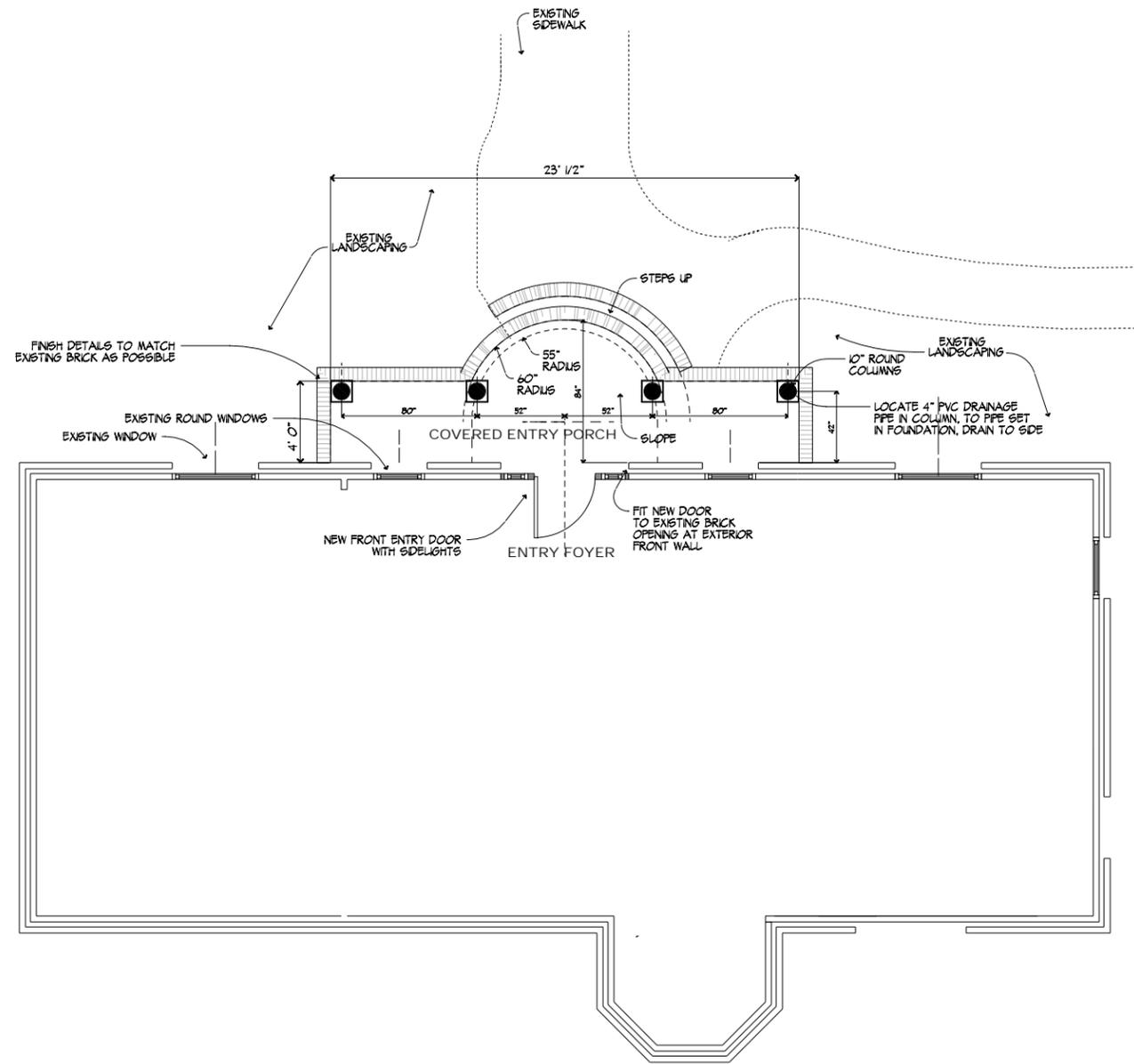
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MAIN LEVEL PLAN



1 MAIN LEVEL FLOOR PLAN
 A3.0 SCALE 1/8" = 1'-0"

A3.0

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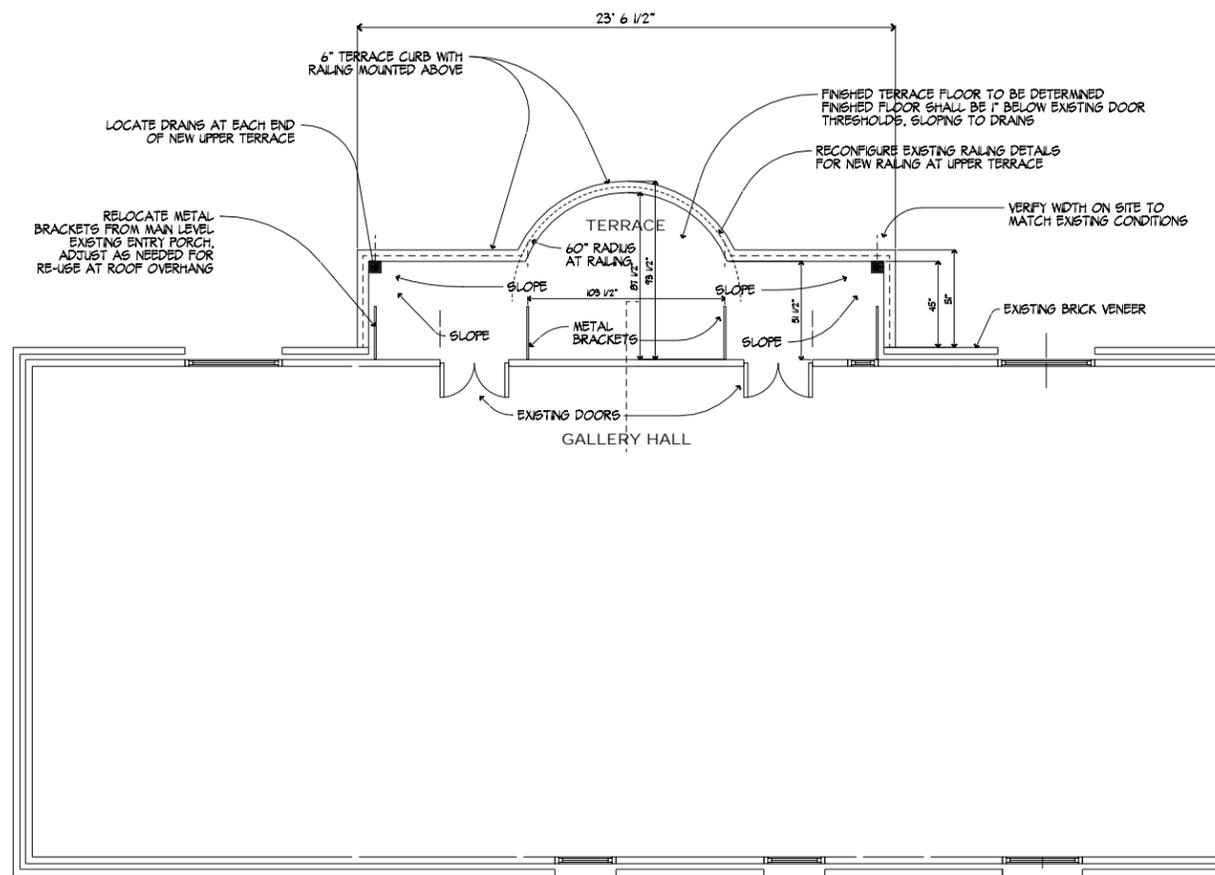
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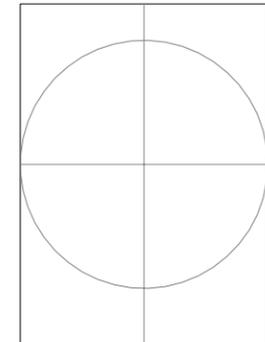
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1 UPPER LEVEL FLOOR PLAN
 A4.0 SCALE 1/8" = 1'-0"



UPPER LEVEL PLAN

A4.0

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