
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1165 Linganore Place

SUMMARY OF REQUEST: New Construction - Garage

OWNER: Kimberly Newman

APPLICANT: Bill Prestwood

Details of Proposed Request

Existing Conditions

The existing home is a 1.5 story Tudor Revival constructed in 1930. It is a contributing structure.

Proposal

The proposal is the removal of a detached carport and construction of a 1.5 story detached garage. The garage will be of a lower scale than the house. Details include a slate roof, shed dormers. Carriage style doors, casement windows and other trim details to match the home.

Policy & Design Guidelines for Garages

1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.
5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

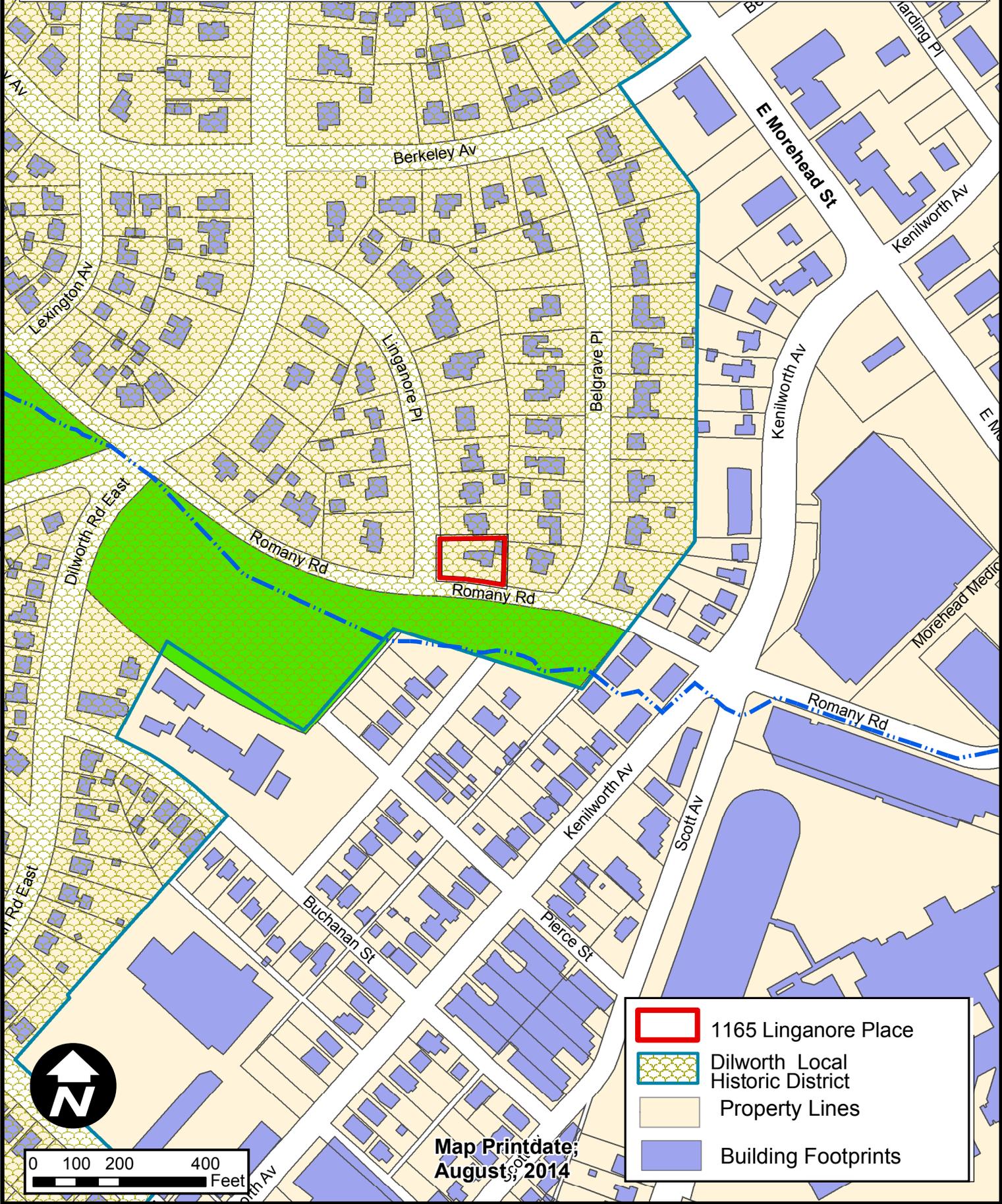
Policy & Design Guidelines for New Construction

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis

The Commission will determine if the garage meets the applicable guidelines for new construction.

Charlotte Historic District Commission - Case 2014-161 Historic District; Dilworth



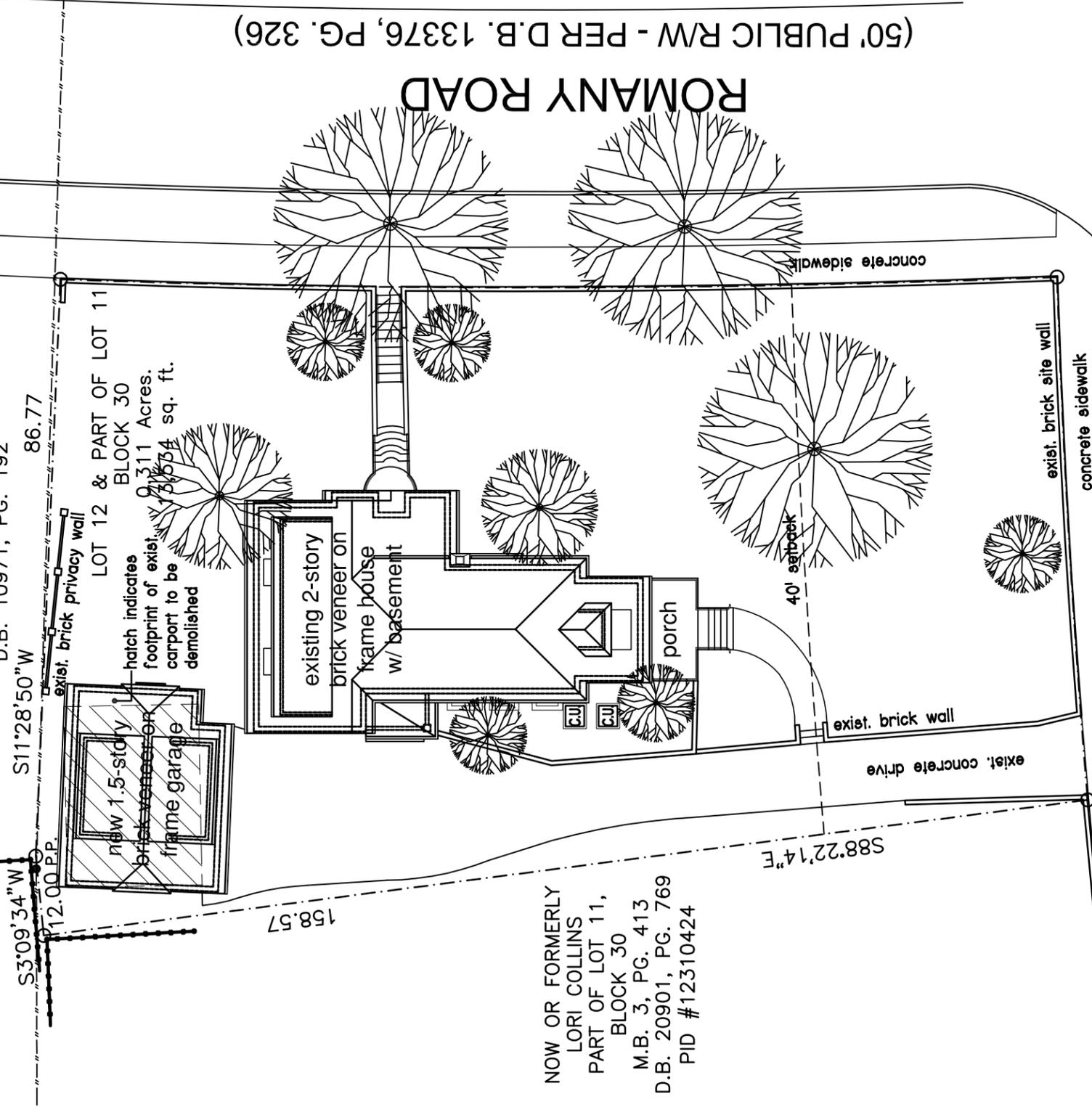
Map Printdate:
August 5, 2014





NOW OR FORMERLY
LINDA COOPER
LOT 14, BLOCK 30
M.B. 3, PG. 413
D.B. 7079, PG. 135

NOW OR FORMERLY
LARRY ELDER &
JANICE ELDER
LOT 13, BLOCK 30
M.B. 3, PG. 413
D.B. 10971, PG. 192



NOW OR FORMERLY
LORI COLLINS
PART OF LOT 11,
BLOCK 30
M.B. 3, PG. 413
D.B. 20901, PG. 769
PID #12310424

(50' PUBLIC RW - PER D.B. 13376, PG. 326)
ROMANY ROAD



DETACHED GARAGE

1 SITE PLAN

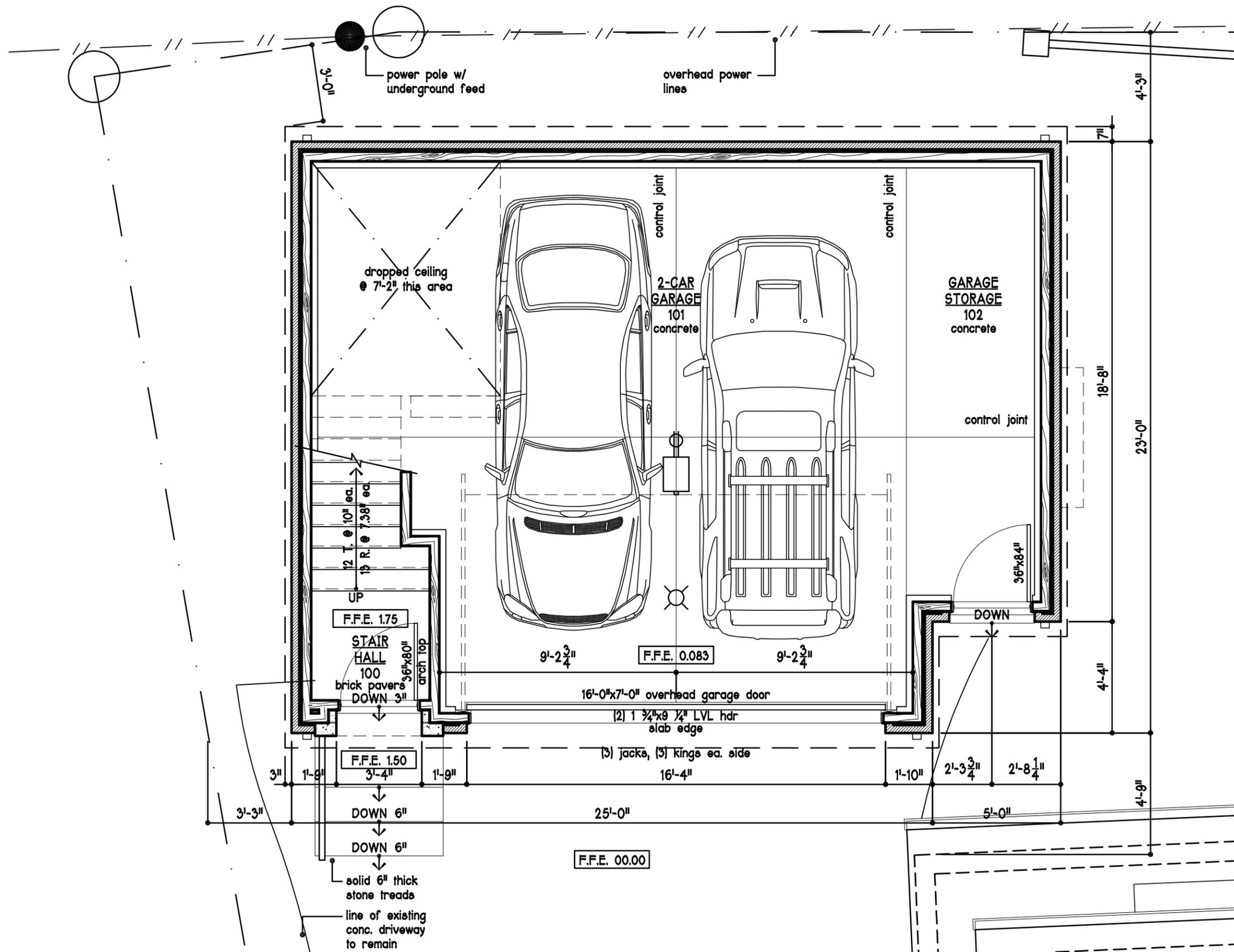
HDCO SCALE: 1" = 20'-0"

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Charlotte, NC 28207
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(f) 704 - 358 - 1721
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 ■ Sheet: **HDC5**

Newman Garage
1165 Linganore Place
Charlotte, NC



1
HDC1
1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

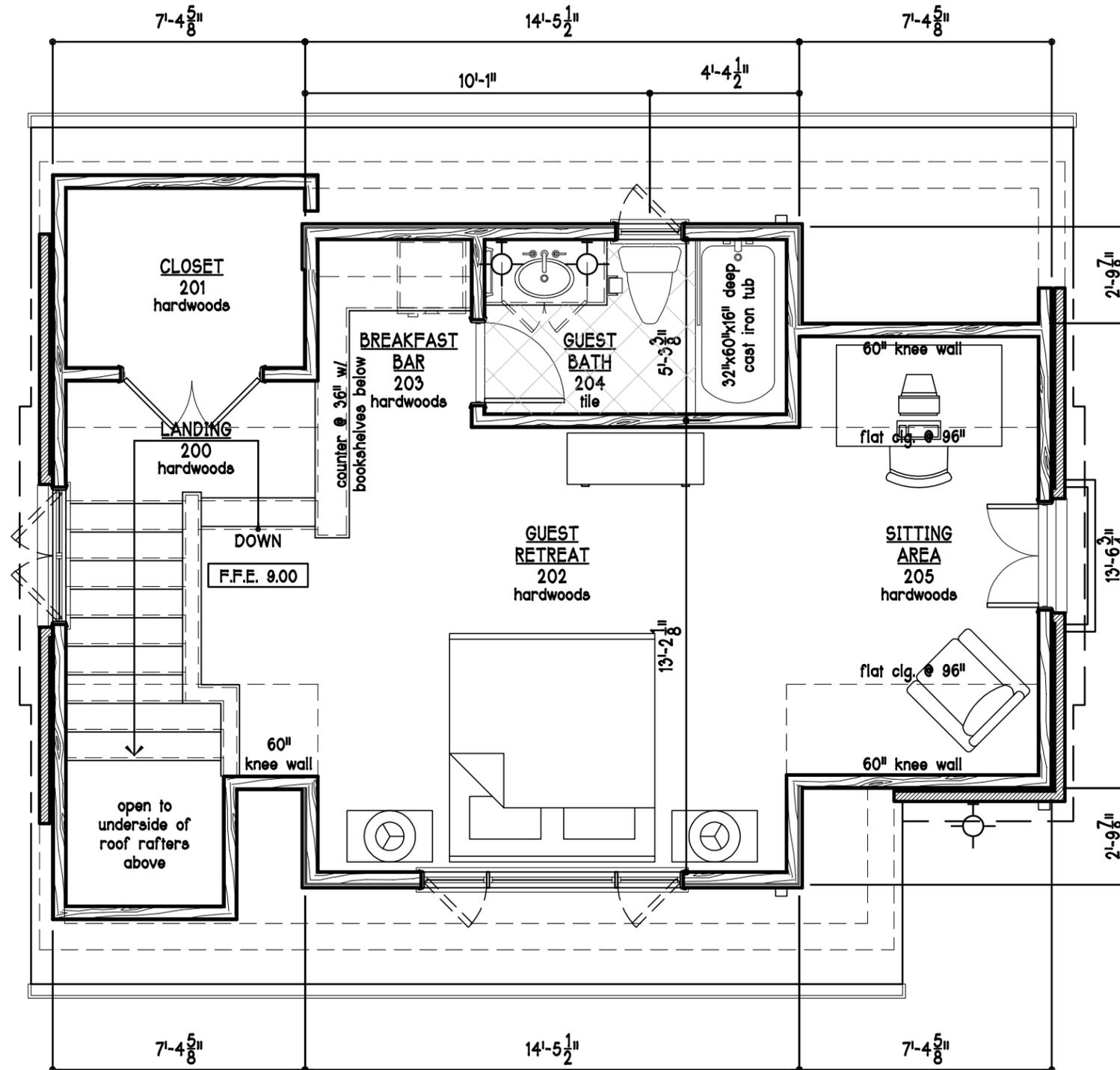
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1
 HDCS
 DETACHED GARAGE
2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Newman Garage
 1165 Linganore Place
 Charlotte, NC



steel frame casement windows to match main house, typ.

clapboard siding w/ mitered corners to match main house, typ.

lock seam, low pitch copper roof at window wells, typ.

cast stone door surround to match main house, typ.

bronze handrail

6" thick solid stone treads

slate roof to match main house, typ.

woven, "Boston Hip" no cap, typ.

copper ogee gutter & 3"x4" downspouts to match main house, typ.

brick corbeling to match main house, typ.

"Drunken" brick jack arches to match main house, typ.

brick veneer - size, shape, color, texture & coursing pattern to match main house, typ.

stained v-groove door w/ ornamental strap hinges

DETACHED GARAGE - VIEW FROM LINGANORE PLACE

1 FRONT ELEVATION

HDC3 SCALE: 1/4" = 1'-0"

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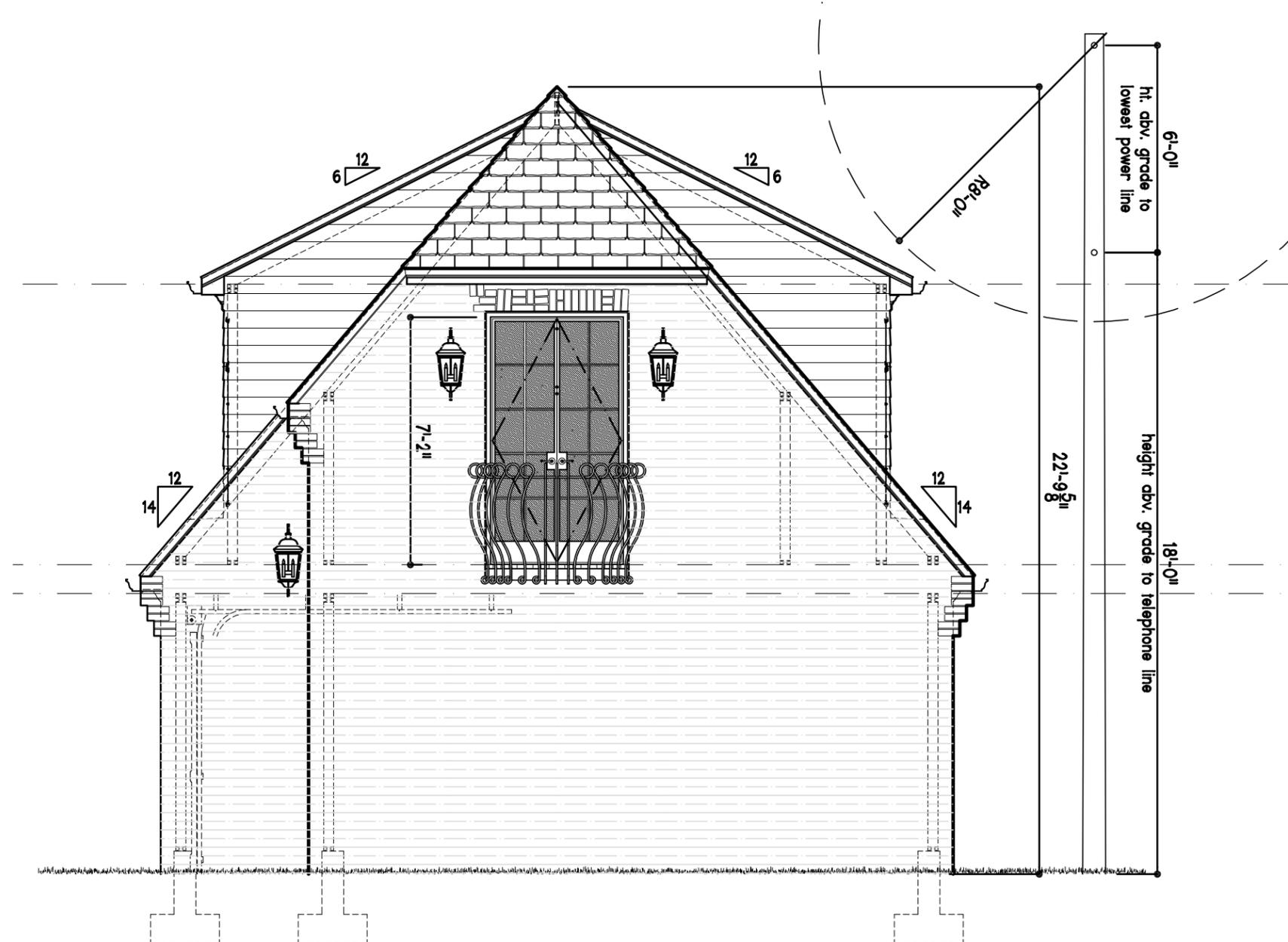
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1
 HDC4
 DETACHED GARAGE - VIEW FROM ROMANY ROAD
 SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

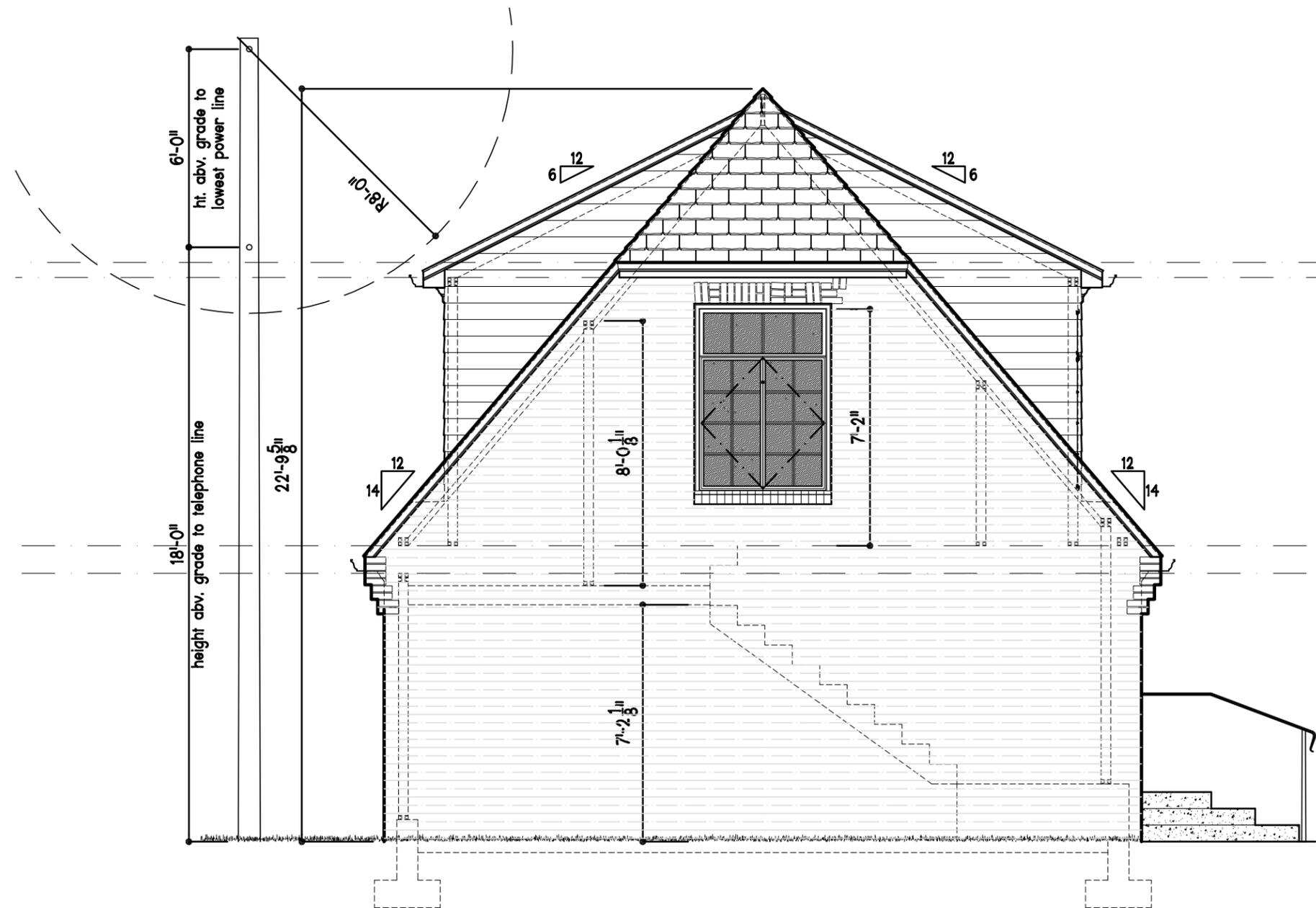
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 Kimberly Newman



1
 HDC5
 DETACHED GARAGE - VIEW FROM AJJOINING PROPERTY
SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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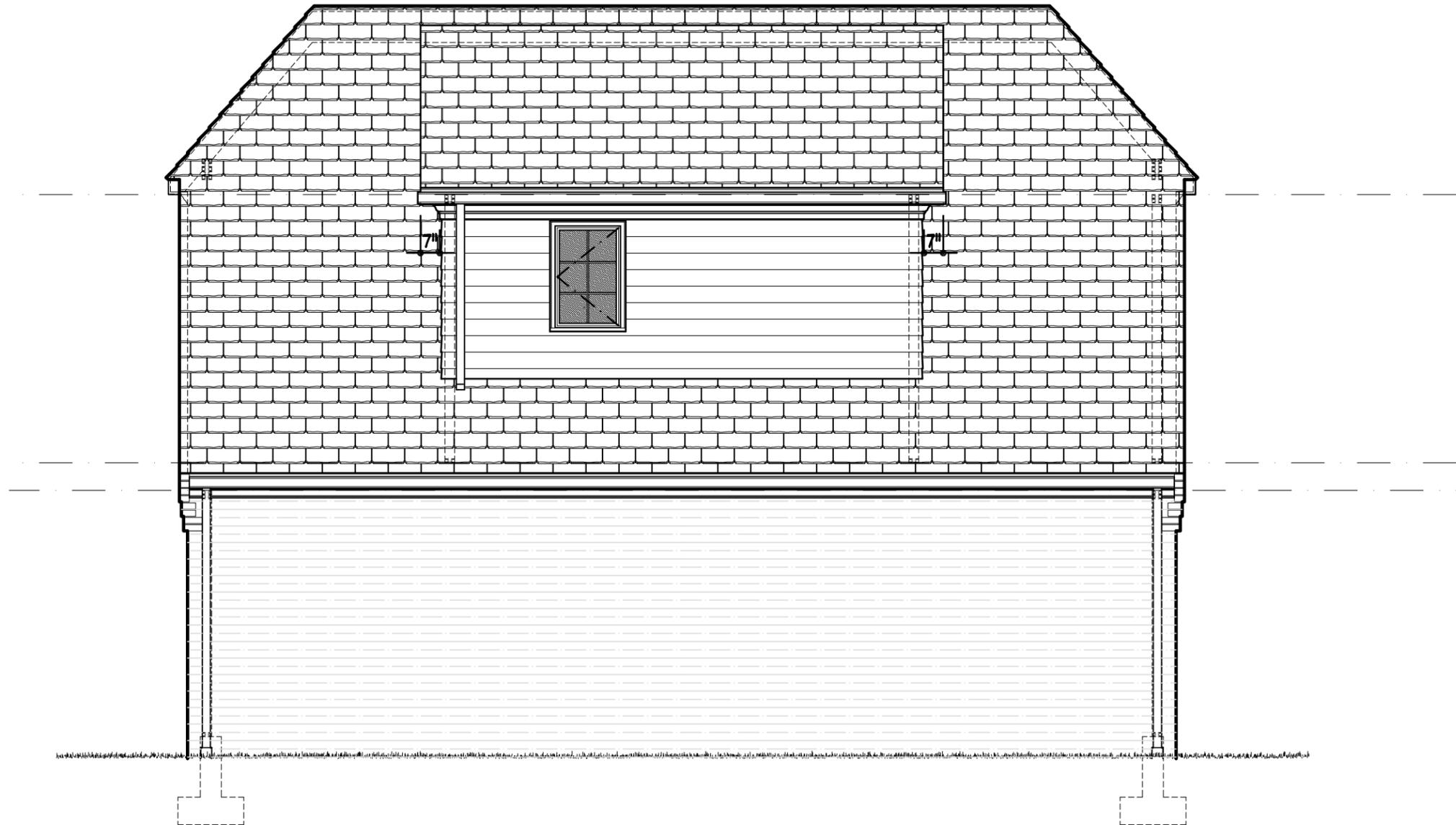


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Newman Garage
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1
 HDC6
 DETACHED GARAGE - VIEW FROM LINGANORE PLACE
REAR ELEVATION
 SCALE: 1/4" = 1'-0"

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1
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DETACHED GARAGE & EXISTING HOUSE
SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

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Kimberly Newman

1
HDC4a

DETACHED GARAGE & EXISTING HOUSE - VIEW FROM ROMANY ROAD
SIDE ELEVATION
SCALE: 1/4" = 1'-0"