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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 906 Magnolia Avenue

**SUMMARY OF REQUEST:** Addition

**OWNER:** Jeff Morgart

**APPLICANT:** ALB Architecture

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**Details of Proposed Request**

*Existing Conditions*

The existing structure is a 1 story Bungalow listed as a contributing structure, ca 1925. It has a high hip roof with front bracketed gable dormer and a side gable over the porch. The surrounding context is 1, 1.5 and 2 story single family homes.

*Proposal*

The proposal is an addition to right side not to be taller than the existing structure. A portion of the addition will extend beyond the existing right thermal wall. Materials, fenestration and other building details will be consistent with the existing home.

**Policy & Design Guidelines**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

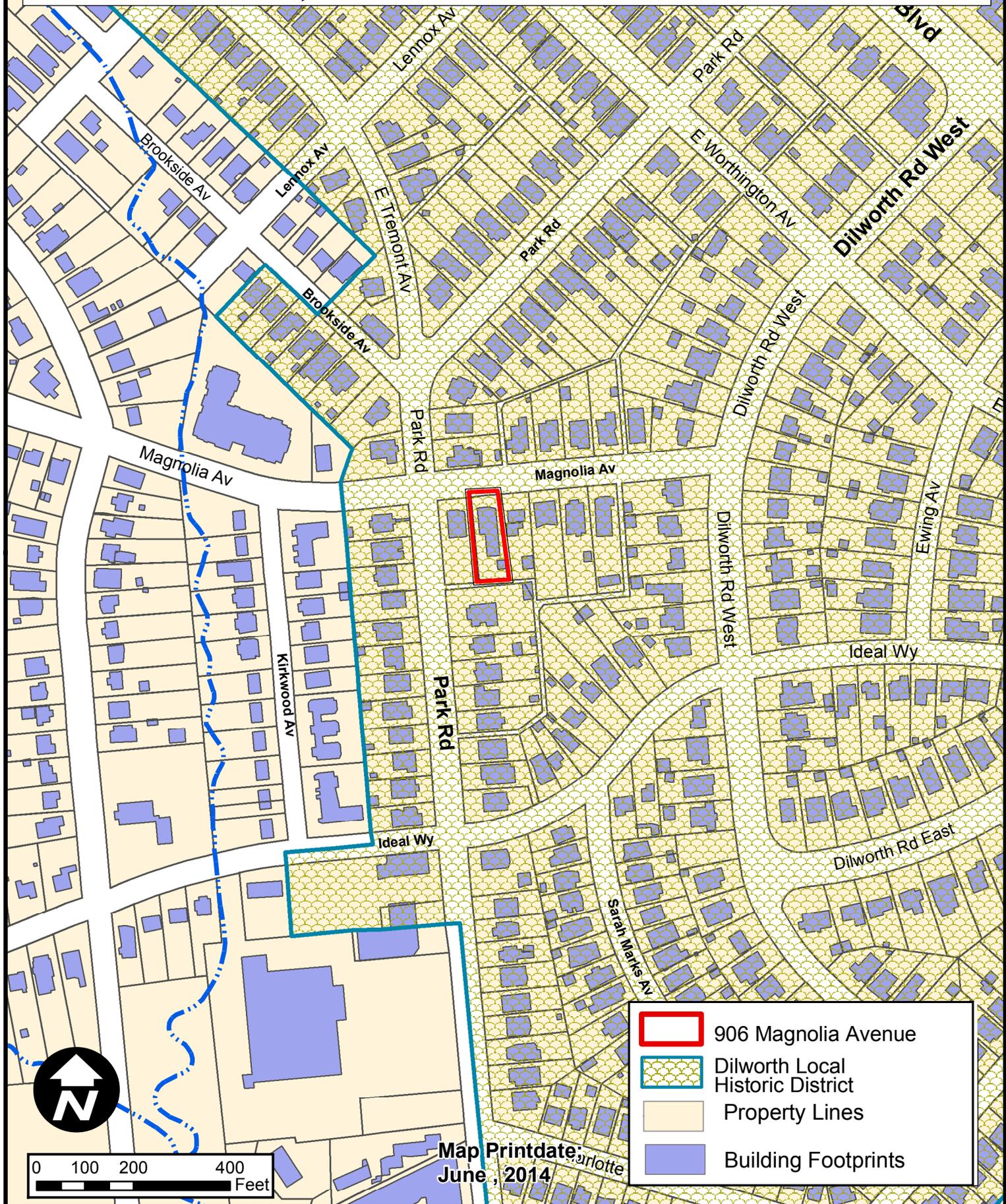
Continued on page 2.

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis**

The Commission shall determine if the proposal meets the guidelines for additions. The guideline for Setback is not applicable.

# Charlotte Historic District Commission - Case 2014-133 Historic District; Dilworth

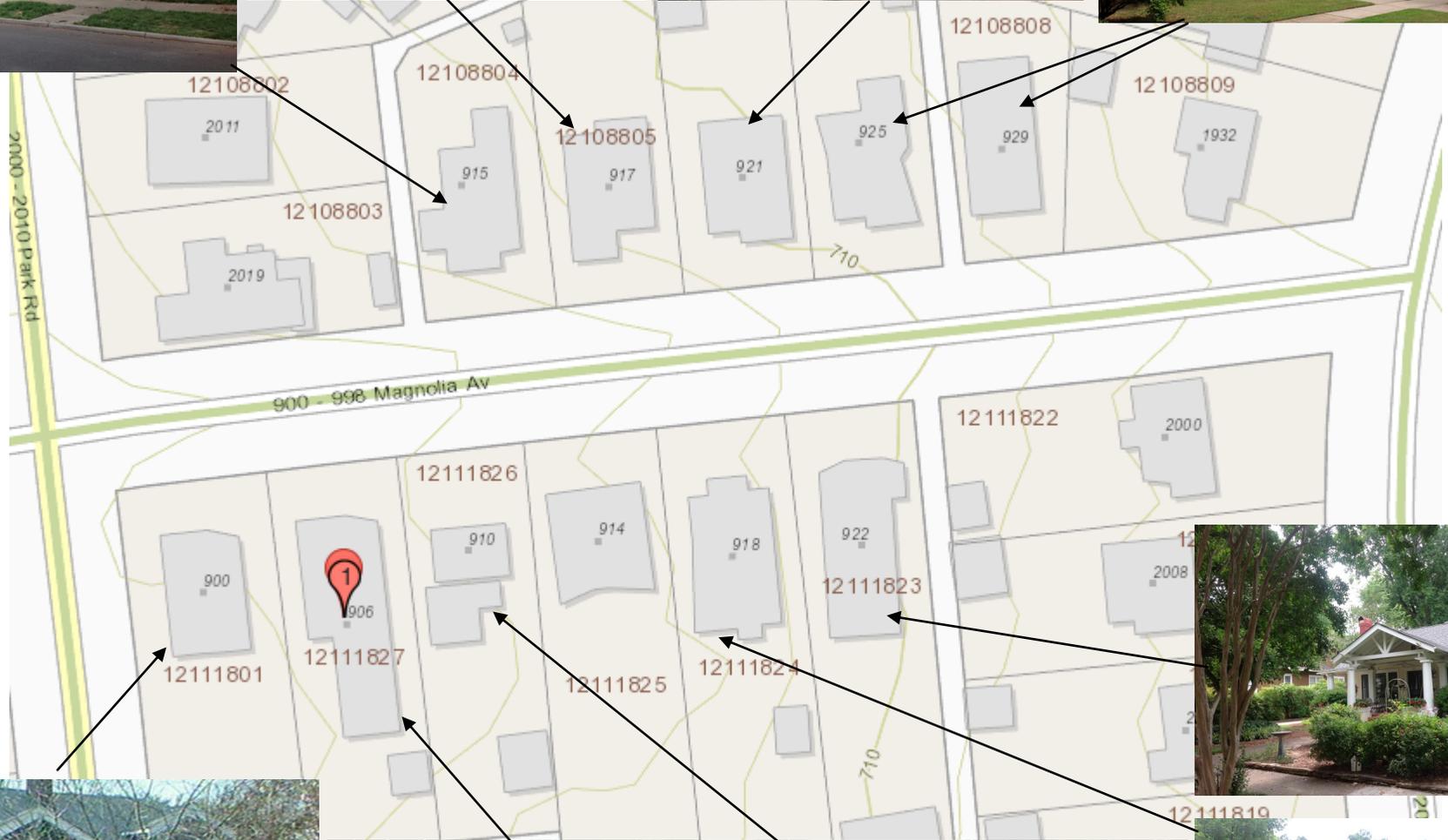


-  906 Magnolia Avenue
-  Dilworth Local Historic District
-  Property Lines
-  Building Footprints

Map Printdate: June, 2014



0 100 200 400 Feet



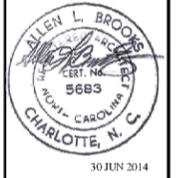


**VICINITY MAP**

**INDEX OF DRAWINGS**

- A-0 Cover Sheet
- A-1 Existing & Proposed Site Plan
- A-2 Existing Plans
- A-3 Existing Plans
- A-4 Existing Elevations
- A-5 Existing Elevations
- A-6 Proposed Plans
- A-7 Proposed Plans
- A-8 Proposed Plans
- A-9 Proposed Elevations
- A-10 Proposed Elevations

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**SQUARE FOOTAGE CALCULATIONS**

	<u>Heated</u>	<u>Unheated</u>
Existing First Floor:	2,312 S.F.	216 S.F.
	+	+
Proposed First Floor:	694 S.F.	49 S.F.
	Total: 3006 S.F.	265 S.F.
	Total Under Roof:	3,271 S.F.

**NOTE:**  
 Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

Addition & Renovation for the:  
**MORGART RESIDENCE**  
 906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
 ISSUED - 30 JUN 2014  
 REVISIONS -

COVER SHEET

**A-0**

OF: ELEVEN



WATERFALL POOL @ BACK YARD



SUBJECT HOUSE LEFT SIDE @ REAR



SUBJECT HOUSE LEFT SIDE @ REAR



SUBJECT HOUSE AT LEFT SIDE @ FRONT



SUBJECT HOUSE AT FRONT LEFT



SUBJECT HOUSE AT FRONT RIGHT



RIGHT SIDE GABLE @ FRONT PORCH



SUBJECT HOUSE AT RIGHT SIDE @ FRONT



KITCHEN CORNER WHERE NEW ADDITION W/PORCH ADDED



SUBJECT HOUSE AT REAR RIGHT WHERE SIDE ADDITION WILL BE



RIGHT REAR PORCH TO BE ENCLOSED



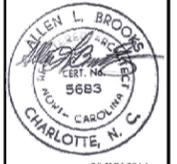
SUBJECT HOUSE AT REAR WHERE A SMALL BAY WOULD BE ADDED



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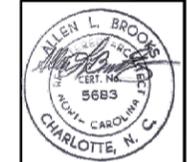
SITE CONTEXT

OF: ELEVEN



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HOUSE ACROSS STREET FACING PARK



900 MAGNOLIA HOUSE TO RIGHT



CORNER OF MAGNOLIA PARK



STREET SCAPE TO LEFT



SUBJECT HOUSE @  
906 MAGNOLIA AVENUE



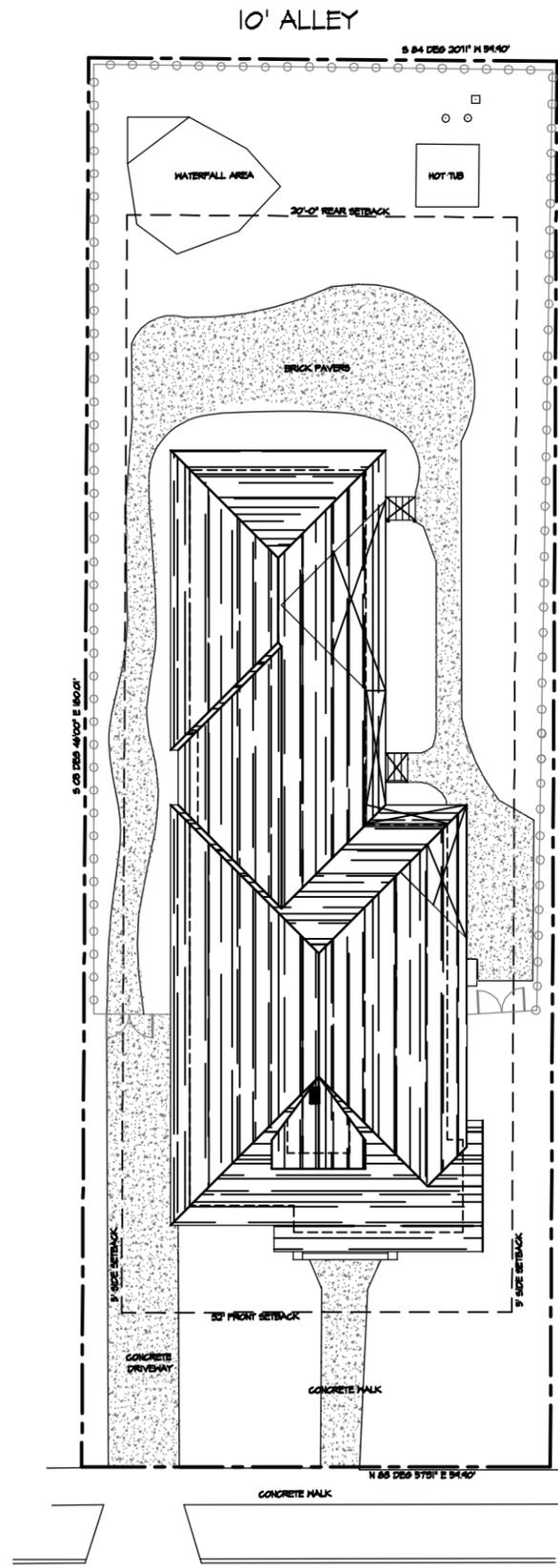
STREET SCAPE TO RIGHT

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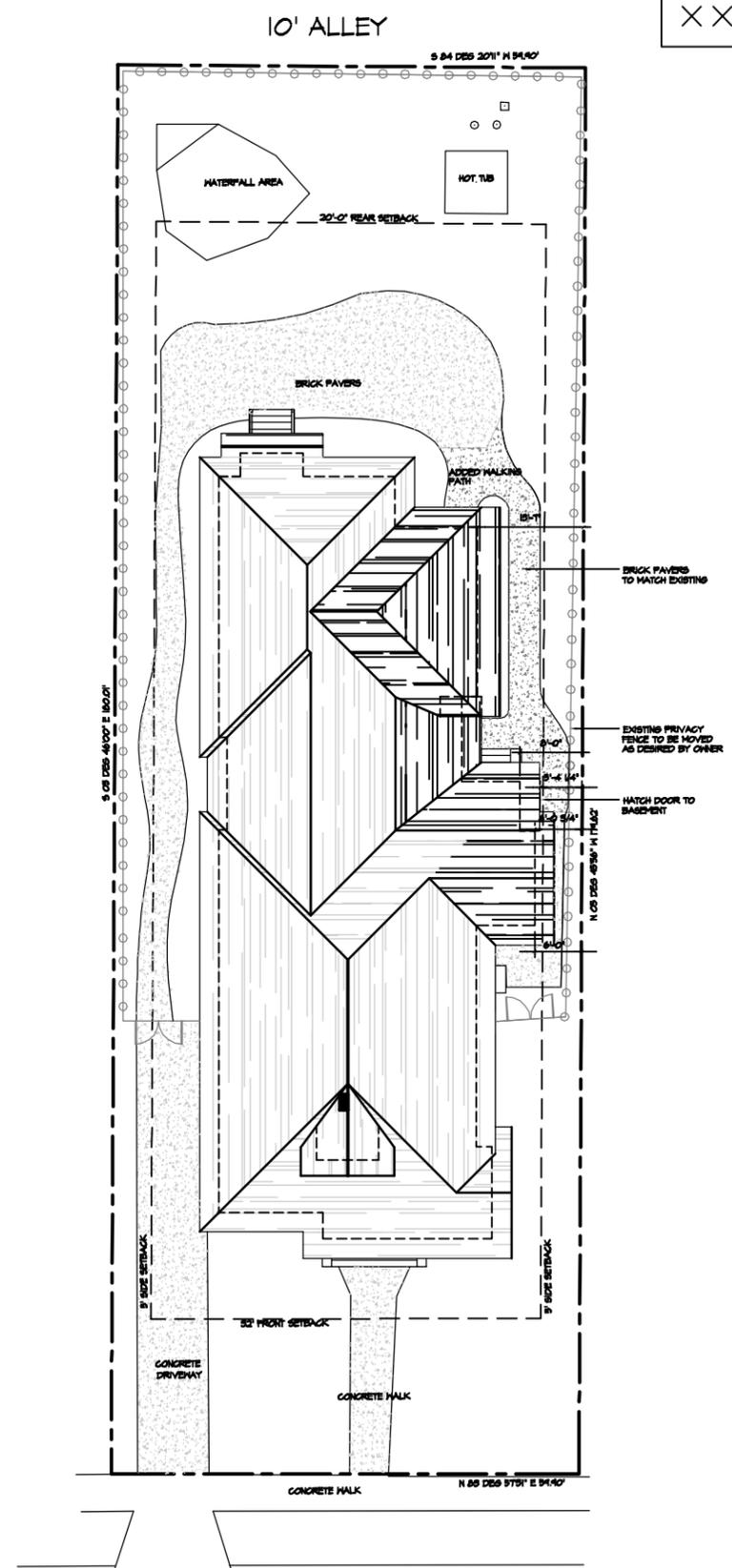
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STREET SCAPE

OF: ELEVEN



② EXISTING SITE PLAN  
1" = 10'-0"



① PROPOSED SITE PLAN  
1" = 10'-0"

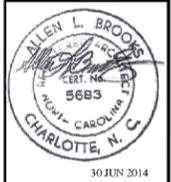


XXXX AREAS TO BE REMOVED

BRICK PAVERS TO MATCH EXISTING  
EXISTING PRIVACY FENCE TO BE MOVED AS DESIRED BY OWNER  
HATCH DOOR TO BASEMENT  
1'-0" SIDE SETBACK  
1'-0" SIDE SETBACK



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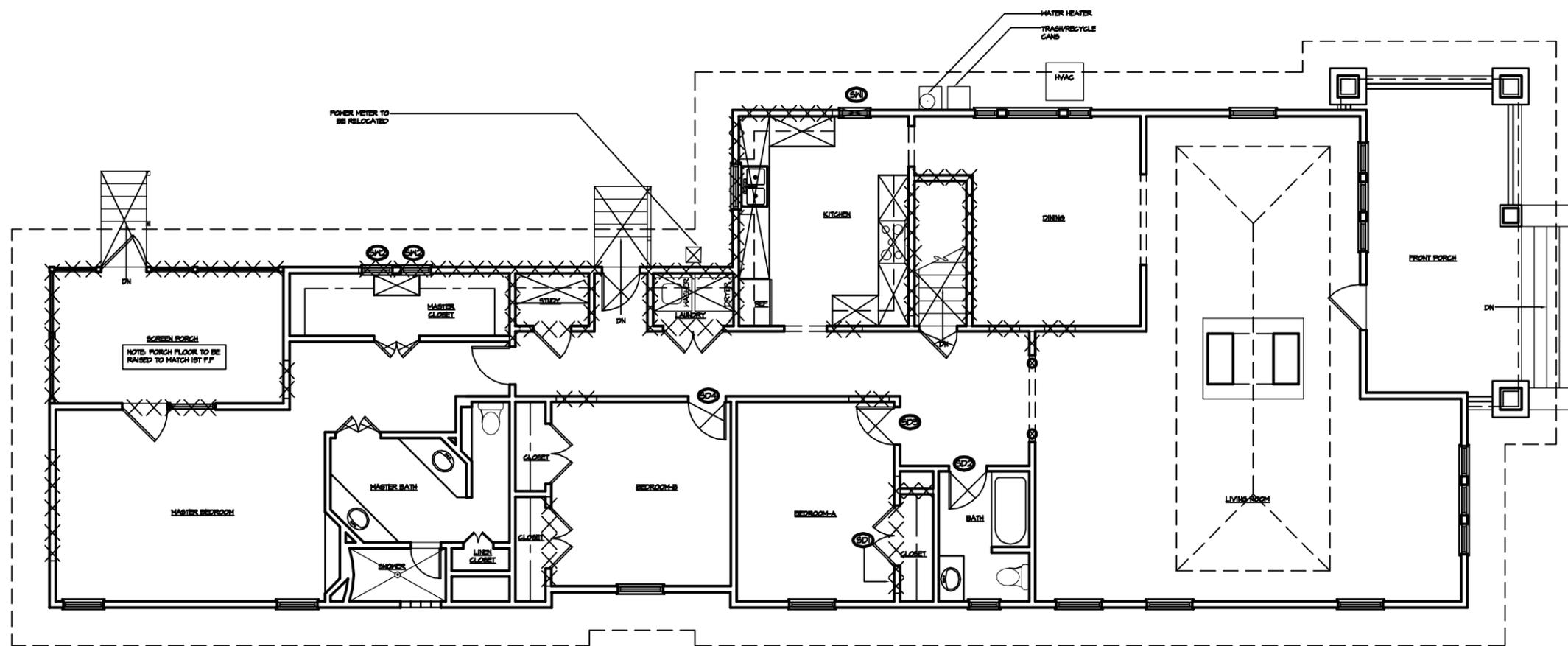
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EXISTING & PROPOSED SITE PLAN

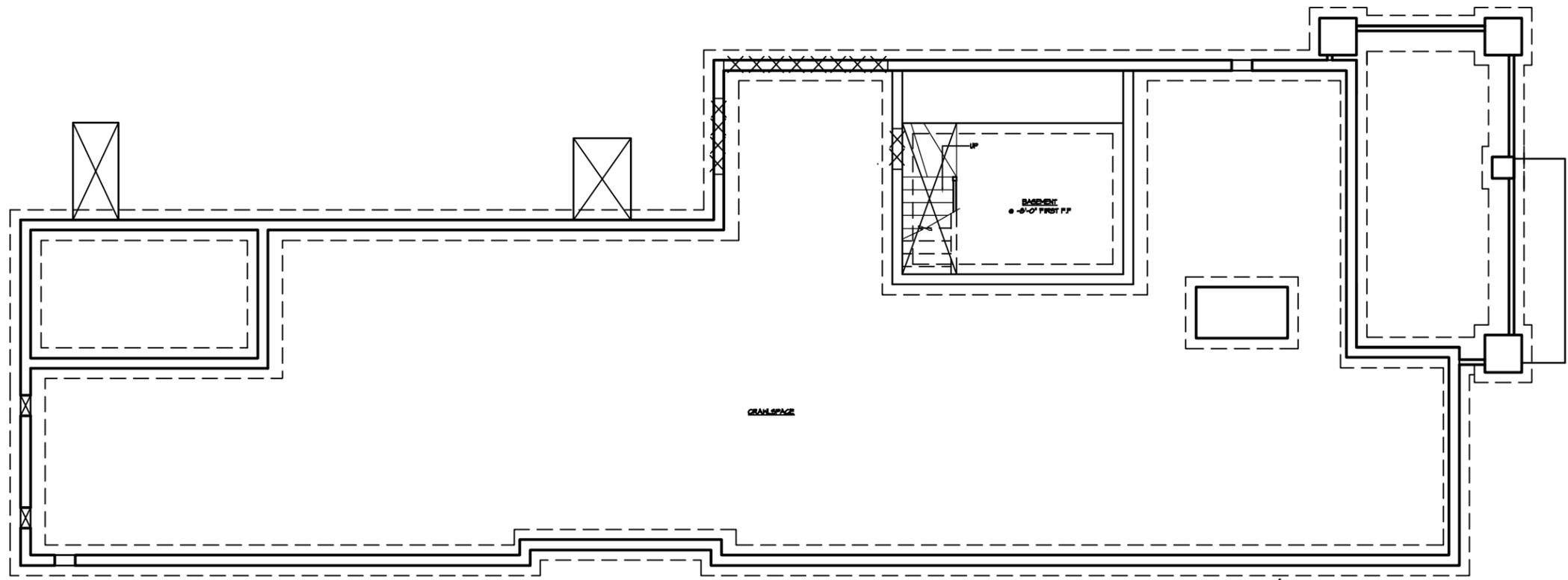
**A-1**

OF: ELEVEN

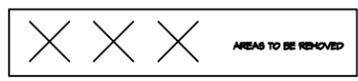
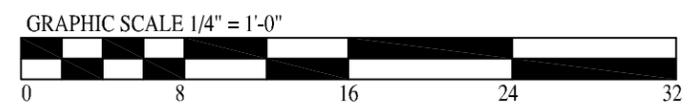




② EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



① EXISTING FOUNDATION/BASEMENT PLAN  
1/4" = 1'-0"



SALVAGED WINDOW SCHEDULE

ID	OPENING	LOCATION	TYPE
SW1	2'-0" x 5'-0"	KITCHEN	DOUBLE HING
SW2	2'-0" x 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

FIRST FLOOR SALVAGED DOOR SCHEDULE

ID	OPENING	LOCATION
SD1	PR 2'-0" x 6'-0"	CLOSET OF BEDROOM-A
SD2	2'-0" x 6'-0"	BATH
SD3	2'-0" x 6'-0"	BEDROOM-A
SD4	2'-0" x 6'-0"	BEDROOM-B



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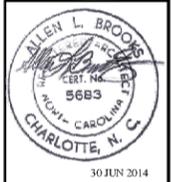
EXISTING PLANS

**A-2**

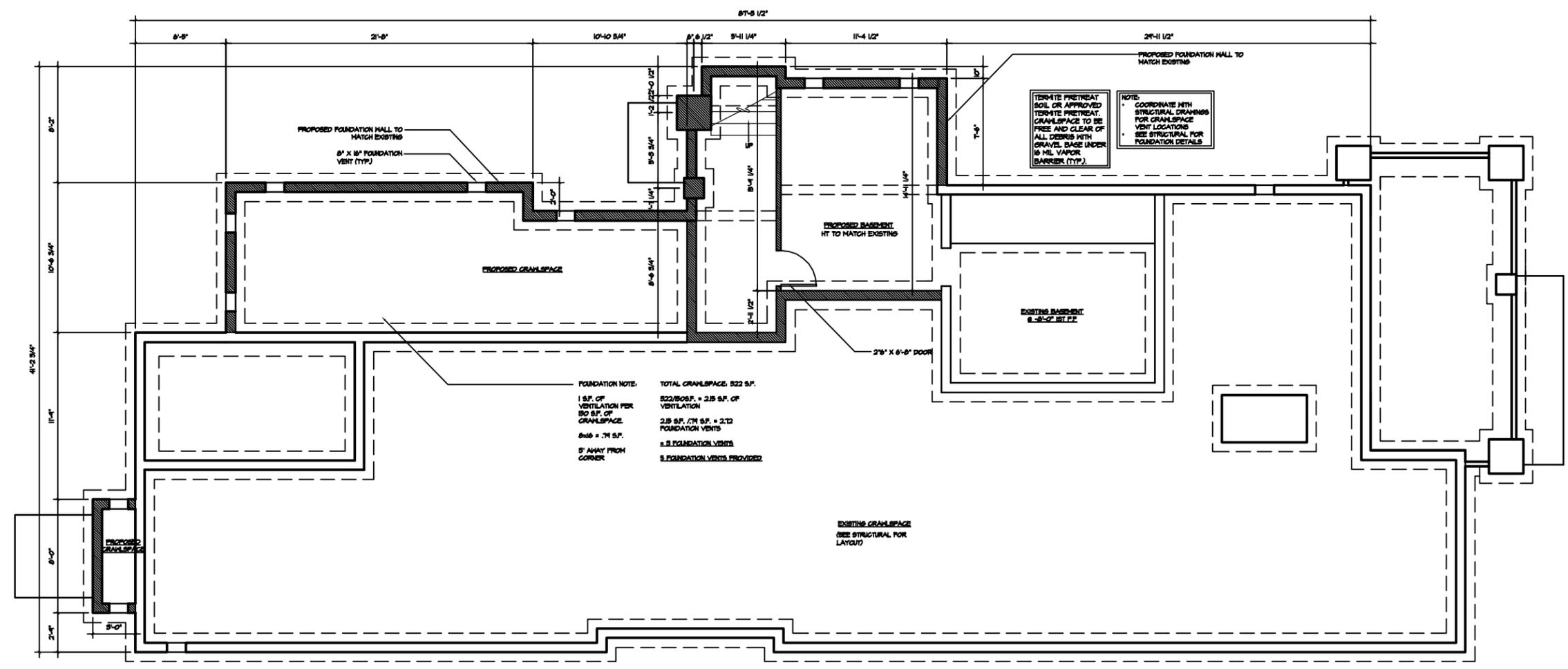
OF: ELEVEN

NOTE:  
NEW WALLS

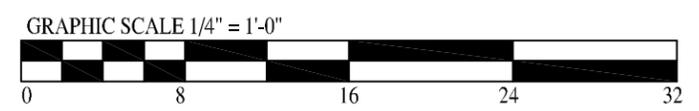
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① **PROPOSED FOUNDATION/BASEMENT PLAN**  
1/4" = 1'-0"



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PROPOSED PLANS

**A-6**

OF: ELEVEN

SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
5A	2'-0" X 5'-10"	KITCHEN	DOUBLE HING
5B	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

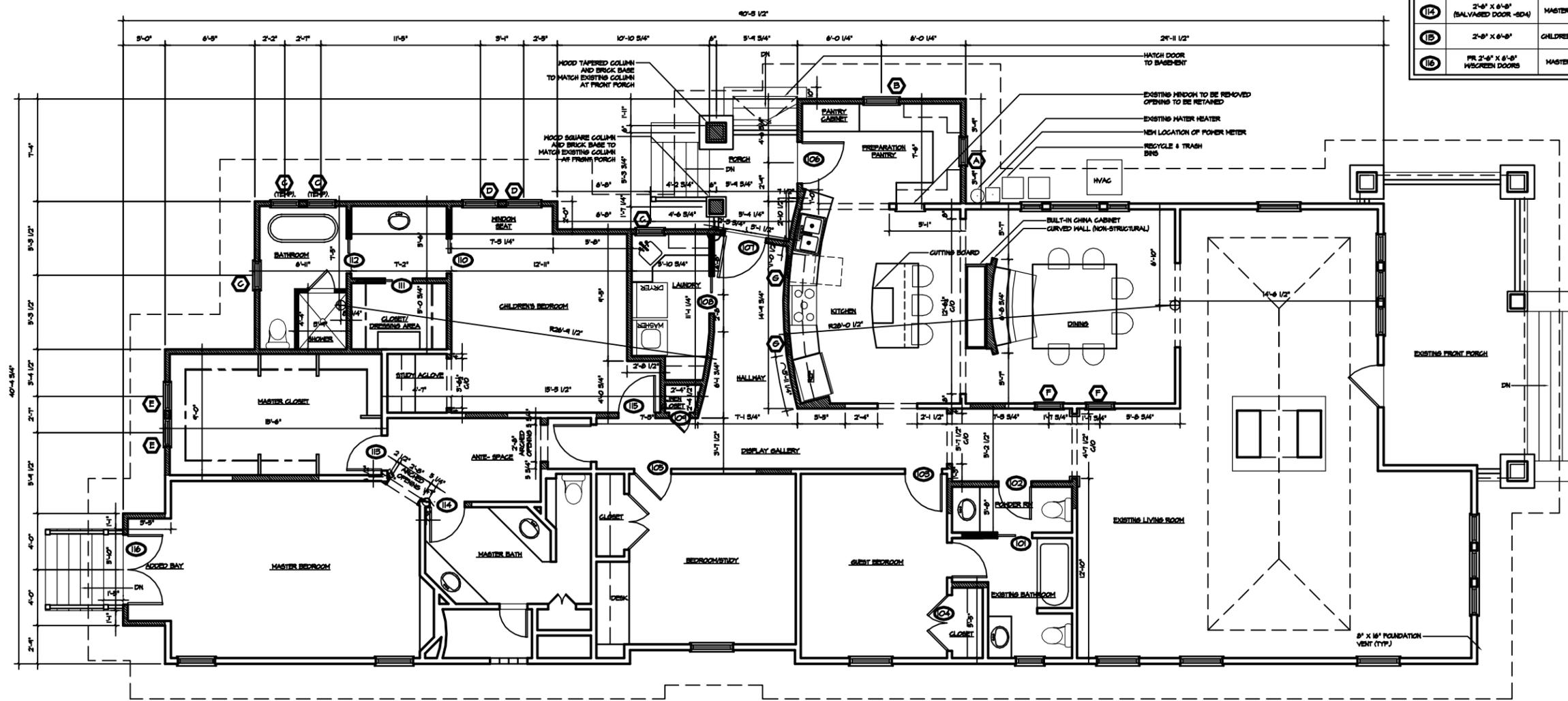
FIRST FLOOR SALVAGED DOOR SCHEDULE		
ID	OPENING	LOCATION
5D	PR 2'-0" X 6'-8"	CLOSET OF BEDROOM-A
5E	2'-6" X 6'-8"	BATH
5F	2'-6" X 6'-8"	BEDROOM-A
5G	2'-6" X 6'-8"	BEDROOM-B

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW-5M)	MATCH EXISTING	DOUBLE HING
B	2'-6" X 3'-10"	MATCH EXISTING	DOUBLE HING
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HING
D	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HING
E	2'-0" X 1'-0" (SALVAGED WINDOW-5H)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	T-6"	FIXED
G	1'-6" X 1'-6"	4'-0"	FIXED

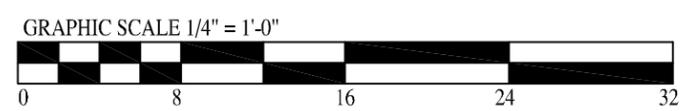
FIRST FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
1M	2'-6" X 6'-8" POCKET DOOR	EXISTING BATHROOM
1O1	2'-6" X 6'-8" (SALVAGED DOOR-8D2)	POWDER ROOM
1O2	2'-6" X 6'-8"	GUEST BEDROOM
1O3	PR 2'-0" X 6'-8" (SALVAGED DOOR-8D)	GUEST BEDROOM CLOSET
1O4	2'-6" X 6'-8"	BEDROOM/STUDY
1O5	3'-0" X 6'-8"	PREPARATION PANTRY
1O7	3'-0" X 6'-8"	SIDE HALLWAY
1O8	2'-6" X 6'-8" POCKET DOOR	LAUNDRY
1O9	1'-6" X 6'-8"	LINEN CLOSET
1I1	2'-6" X 6'-8" POCKET DOOR	CHILDREN'S BEDROOM BATHROOM
1I2	2'-6" X 6'-8" POCKET DOOR	CHILDREN'S BEDROOM CLOSET
1I3	2'-6" X 6'-8" POCKET DOOR	CHILDREN'S BEDROOM BATHROOM
1I5	2'-6" X 6'-8" (SALVAGED DOOR-8D5)	MASTER CLOSET
1I4	2'-6" X 6'-8" (SALVAGED DOOR-8D4)	MASTER BATHROOM
1I6	2'-6" X 6'-8"	CHILDREN'S BEDROOM
1I6	PR 2'-6" X 6'-8" W/SCREEN DOORS	MASTER BEDROOM

NOTE:  
NEW WALLS

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN. VERIFY ANY REQUIREMENTS FOR EXPRESS OR TINTED GLASS.  
\* M.E. = MATCH EXISTING  
NOTE: ALL WINDOWS WITH 4 S.P. OF GLASS OR MORE & LESS THAN 18" A.P.F. MUST BE TREATED PER CODE (TYP.)



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



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**ALLEN L. BROOKS**  
REGISTERED ARCHITECT  
EST. 1983  
5685  
NORTH CAROLINA  
CHARLOTTE, N. C.  
30 JUN 2014

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Addition & Renovation for the:  
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906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

PROPOSED PLANS

**A-7**

OF: ELEVEN

× × × AREAS TO BE REMOVED



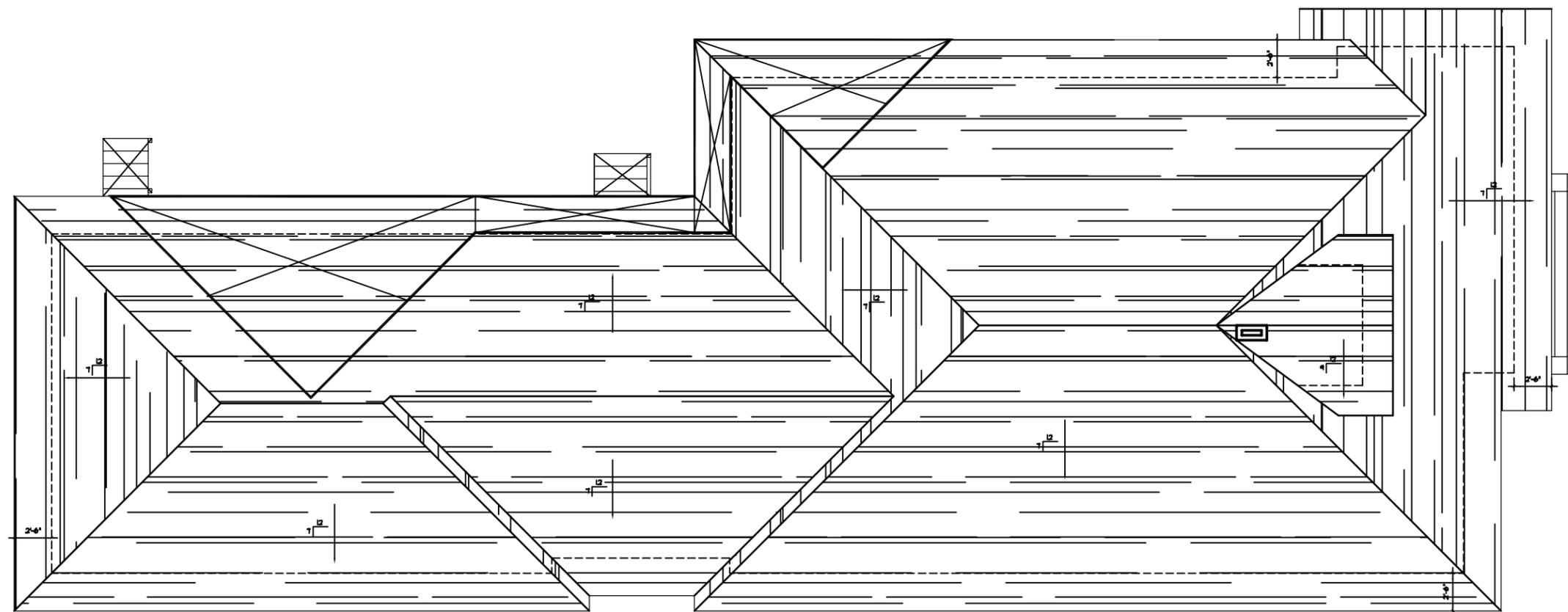
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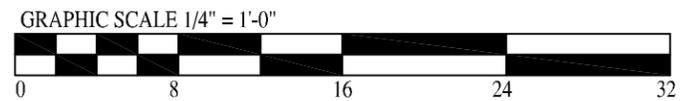


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① EXISTING ROOF PLAN  
1/4" = 1'-0"



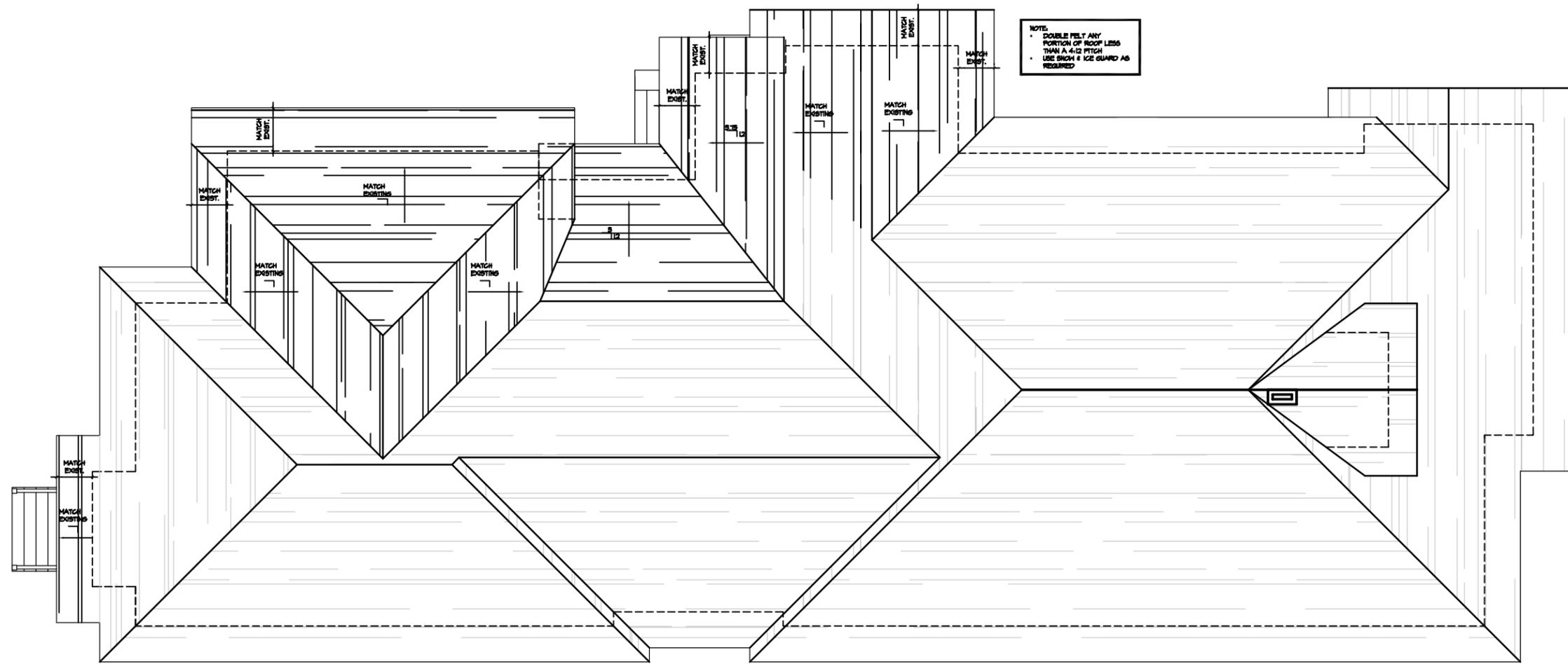
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EXISTING PLANS

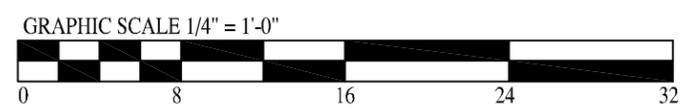
**A-3**

OF: ELEVEN

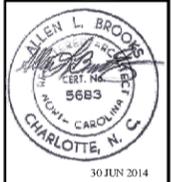


NOTE:  
 • DOUBLE FELT ANY PORTION OF ROOF LESS THAN A 4:12 PITCH.  
 • USE SNOW & ICE GUARD AS REQUIRED

① PROPOSED ROOF PLAN  
 1/4" = 1'-0"



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PROPOSED PLANS

**A-8**

OF: ELEVEN

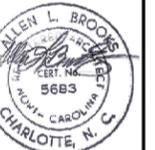
XXXX AREAS TO BE REMOVED

SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
10	2'-0" X 9'-10"	KITCHEN	DOUBLE HUNG
11	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED



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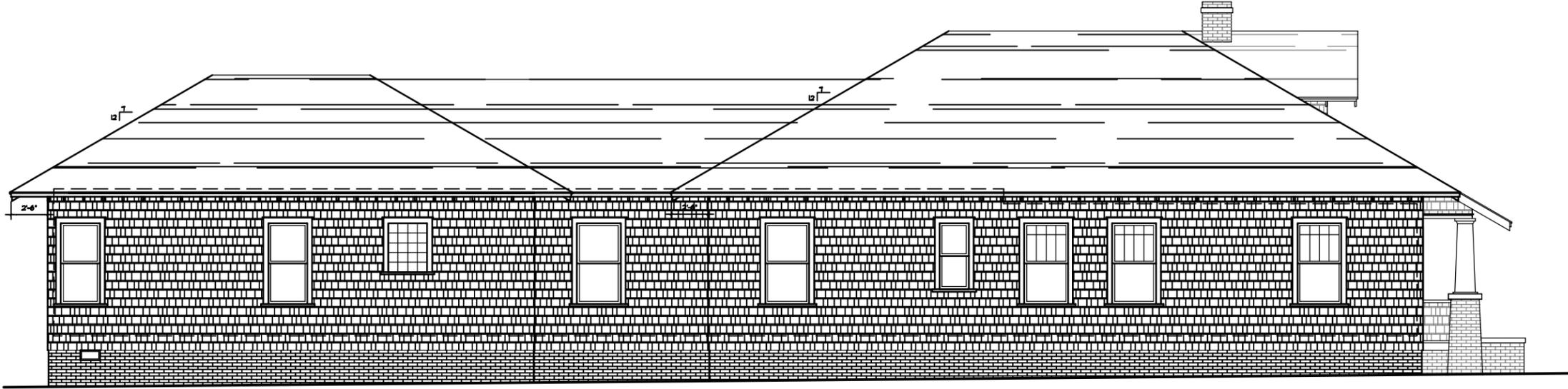
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EXISTING ELEVATIONS

**A-4**

OF: ELEVEN

TOP OF ROOF @ +22'-4"  
10'-4"  
1ST FIN. CLS. @ +12'-0"  
10'-0"  
1ST FF. @ +0'-0"

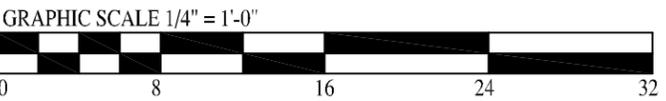


② EXISTING LEFT ELEVATION (NO CHANGE)  
1/4" = 1'-0"

TOP OF ROOF @ +22'-4"  
11'-4"  
1ST FIN. CLS. @ +4'-0" (SUSPENDED CLS HT)  
8'-0"  
1ST FF. @ +0'-0"



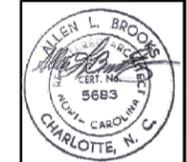
① EXISTING FRONT ELEVATION (NO CHANGE)  
1/4" = 1'-0"





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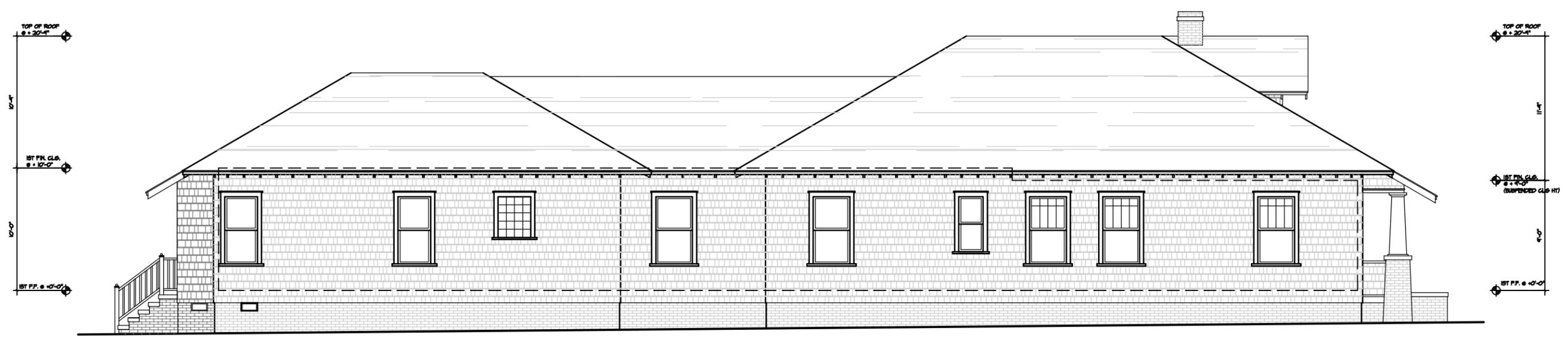
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PROPOSED ELEVATIONS

**A-9**

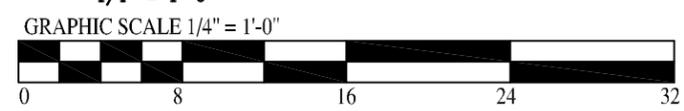
OF: ELEVEN



② PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
SH1	2'-0" X 5'-10"	KITCHEN	DOUBLE HUNG
SH2	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW- SH1)	MATCH EXISTING	DOUBLE HUNG
B	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
D	2'-6" X 5'-0"	MATCH EXISTING	DOUBLE HUNG
E	2'-0" X 1'-0" (SALVAGED WINDOW- SH2)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	7'-6"	FIXED
G	1'-6" X 1'-6"	9'-0"	FIXED

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

\* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYPE).

XXXX AREAS TO BE REMOVED

SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
52	2'-0" X 9'-10"	KITCHEN	DOUBLE HUNG
53	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED



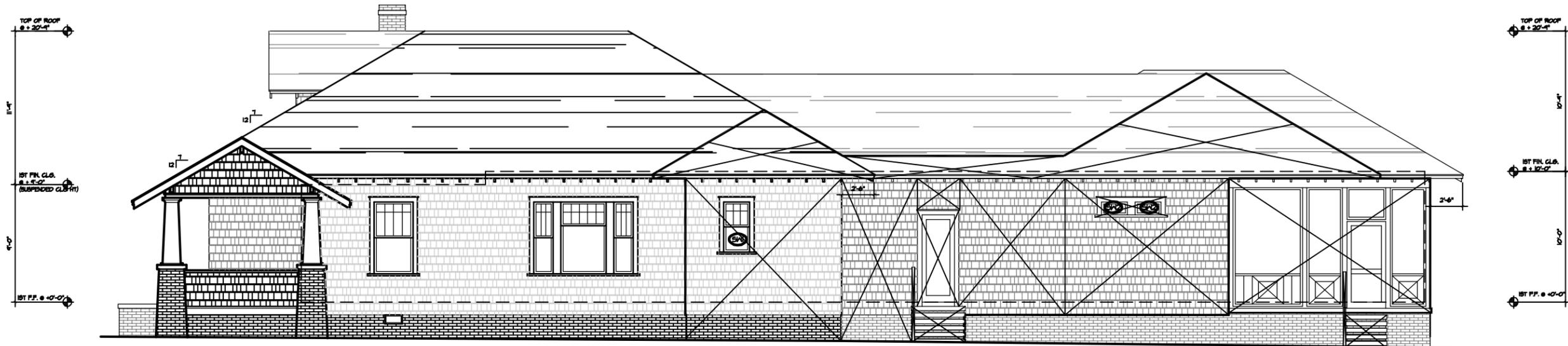
ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
albarchitecture@aol.com  
lauerarch@aol.com

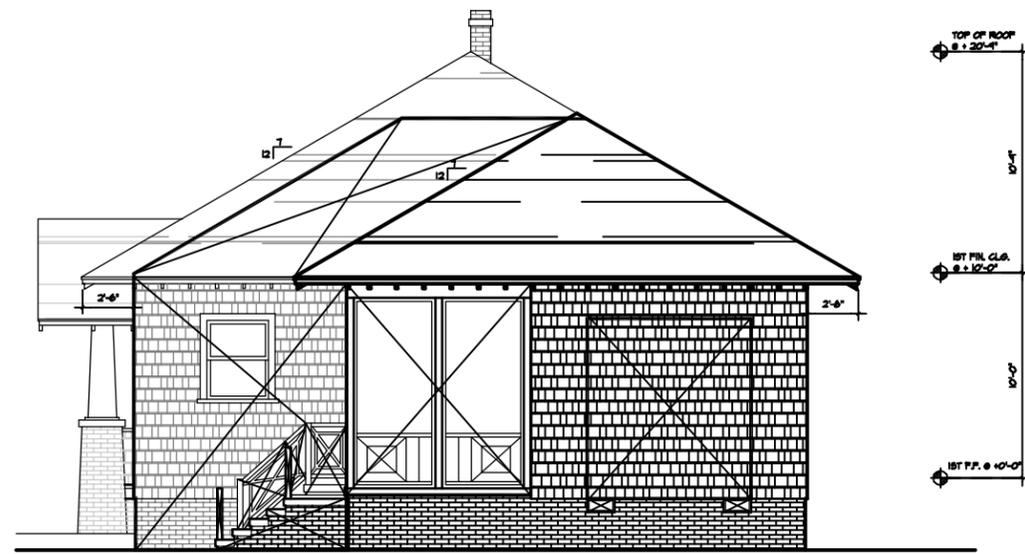


30 JUN 2014

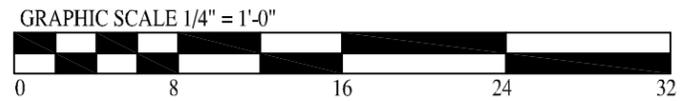
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② EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



① EXISTING REAR ELEVATION  
1/4" = 1'-0"



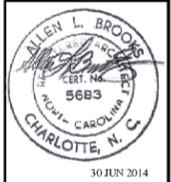
Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

EXISTING ELEVATIONS

**A-5**

OF: ELEVEN



30 JUN 2014  
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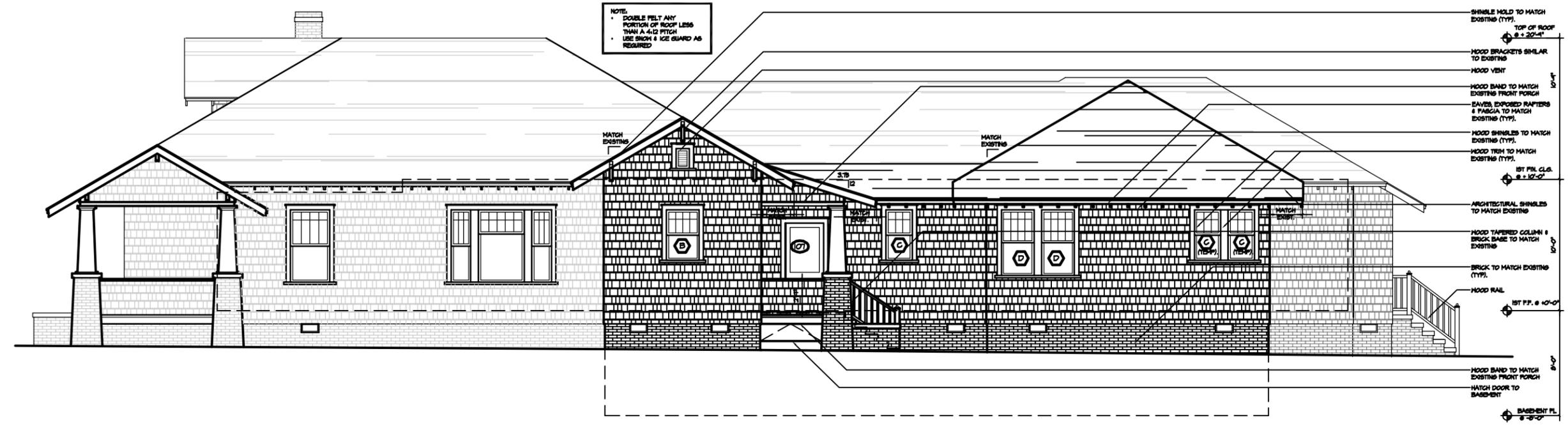
Addition & Renovation for the:  
**MORGART RESIDENCE**  
906 Magnolia Avenue, Charlotte, NC 28203

PROJ. NO. - 14024  
ISSUED - 30 JUN 2014  
REVISIONS -

PROPOSED ELEVATIONS

**A-10**

OF: ELEVEN



**2 PROPOSED RIGHT ELEVATION**  
1/4" = 1'-0"

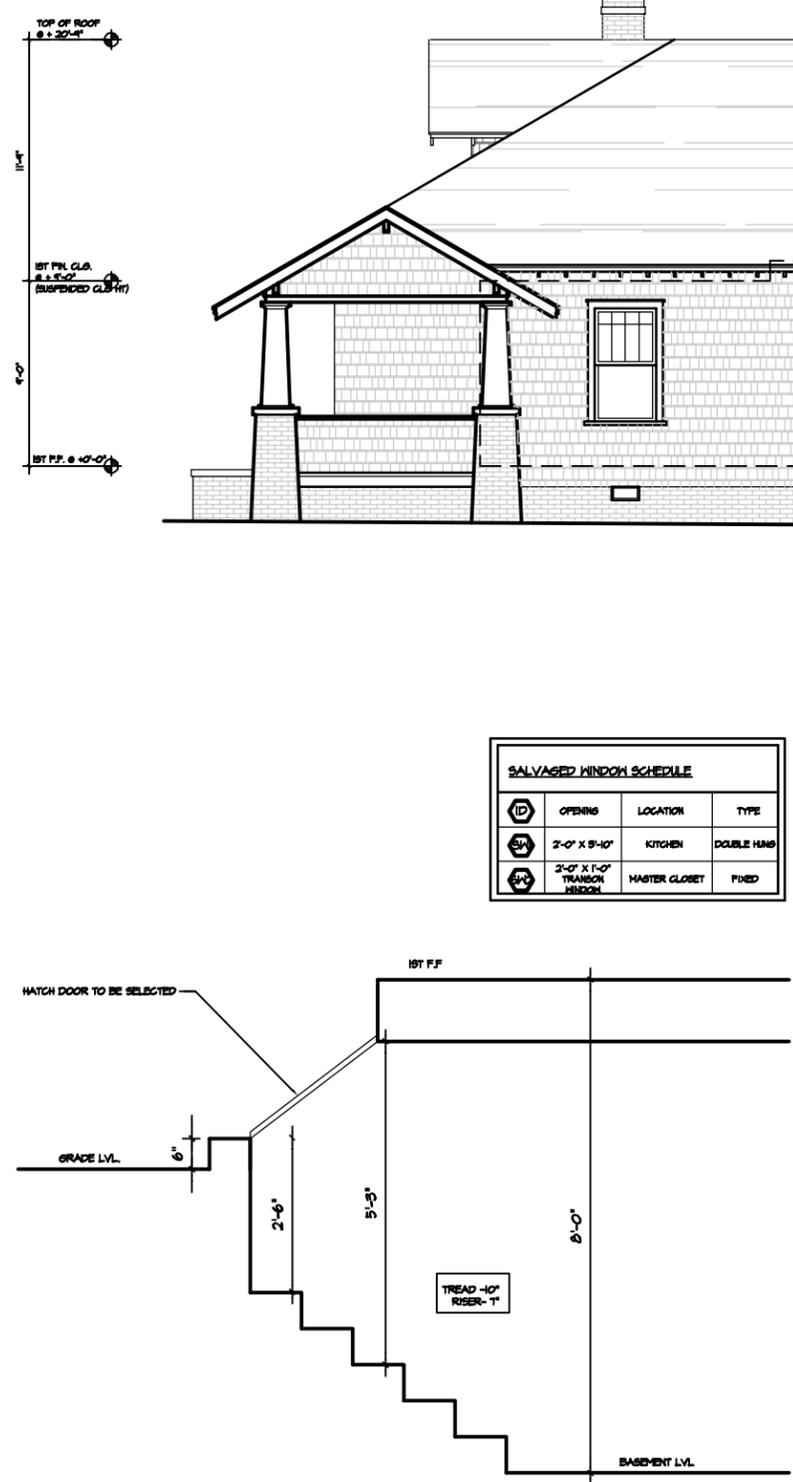
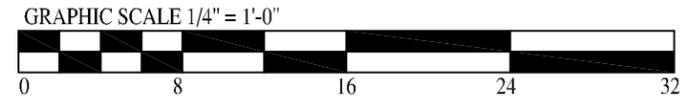
SALVAGED WINDOW SCHEDULE			
ID	OPENING	LOCATION	TYPE
D	2'-0" X 5'-10"	KITCHEN	DOUBLE HUNG
E	2'-0" X 1'-0" TRANSOM WINDOW	MASTER CLOSET	FIXED

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-10" (SALVAGED WINDOW- SH1)	MATCH EXISTING	DOUBLE HUNG
B	2'-6" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
C	2'-0" X 5'-10"	MATCH EXISTING	DOUBLE HUNG
D	2'-6" X 5'-0"	MATCH EXISTING	DOUBLE HUNG
E	2'-0" X 1'-0" (SALVAGED WINDOW- SH2)	MATCH EXISTING	FIXED
F	2'-0" X 1'-6"	7'-6"	FIXED
G	1'-6" X 1'-6"	4'-0"	FIXED

NOTE: MATCH TRIM DETAILS W/ HOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.  
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.  
NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MANTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.  
\* M.E. = MATCH EXISTING  
NOTE: ALL WINDOWS WITH 4 SF. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP.)



**1 PROPOSED REAR ELEVATION**  
1/4" = 1'-0"



**3 SECTION THROUGH BASEMENT STAIRS**  
3/4" = 1'-0"

NOTE:  
• DOUBLE FELT ANY PORTION OF ROOF LESS THAN 4:12 PITCH  
• USE SNOW & ICE GUARD AS REQUIRED