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**LOCAL HISTORIC DISTRICT:** Dilworth

**ADDRESS OF PROPERTY:** 1701 Park Road

**SUMMARY OF REQUEST:** New Construction - Single Family Home

**OWNER:** Brennan and Colleen Giggey

**APPLICANT:** Connie and Frank Reed

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**Details of Proposed Request - Demolition**

*Existing Conditions*

This c. 1920 house is identified as Contributing in the National Register of Historic Places Inventory. It appears as if it has for many years but the understanding is that it is completely gutted to the exterior walls. Demolition is being requested. This property qualifies for Preservation Tax Credits because it is located within a National Register Neighborhood. It is a 1.5 story Colonial Revival design with balanced fenestration along the façade and a covered entrance. The exterior is wood shingle siding. The home is set back slightly from the adjacent homes on either side.

*Determination of Substantial Change*

The proposal was denied in November 2013 based on non-compliance with the guidelines for Size, Scale and Massing. Before deliberating on the current project the Commission must determine if the applicant has made substantial changes to the previous plan. Based on the current submittal the following revisions have been made:

1. The roof has been redesigned as a series of hip forms.
2. The setback is more consistent with the houses to either side.
3. Context images are included to show the house in comparison to those on the block.
4. The overall design concept of the home has not changed.

Staff believes the revised roof design has improved the massing and scale of the home resulting in a substantial change.

*Proposal*

The proposed project is a new 2 story home on a lot that slopes downward from right to left. The front setback will be in alignment with adjacent homes. The overall height of the home is approximately 31'-9" measured from the finished floor to the ridge. The adjacent homes are approximately 18'-7" and 30'-10" as noted on the plans, measured from the finished floor. The roof form is a series of hips with exposed rafter ends. The front porch has stone piers with tapered columns supporting the roof. Windows are 3 over 1. Access to the garage is through a porte-cochere with conditioned space above it. Siding is a combination of cedar shake on the lower level and wood lap siding on the upper levels. Trim banding is continued on all sides. The roof features exposed rafter ends.

**Policy & Design Guidelines for New Construction**

HDC Design Policy requires that new construction be evaluated according to the following:

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. <b>Size</b>	<i>the relationship of the project to its site</i>
2. <b>Scale</b>	<i>the relationship of the building to those around it</i>
3. <b>Massing</b>	<i>the relationship of the building's various parts to each other</i>
4. <b>Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
5. <b>Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
6. <b>Setback</b>	<i>in relation to setback of immediate surroundings</i>
7. <b>Materials</b>	<i>proper historic materials or approved substitutes</i>
8. <b>Context</b>	<i>the overall relationship of the project to its surroundings</i>
9. <b>Landscaping</b>	<i>as a tool to soften and blend the project with the district</i>

**Staff Analysis – Updated for February 2014 Hearing**

The Commission should consider the following:

1. Scale
2. Massing

Staff believes the proposal meets the remaining guidelines for new construction.

# Charlotte Historic District Commission - Case 2014-015

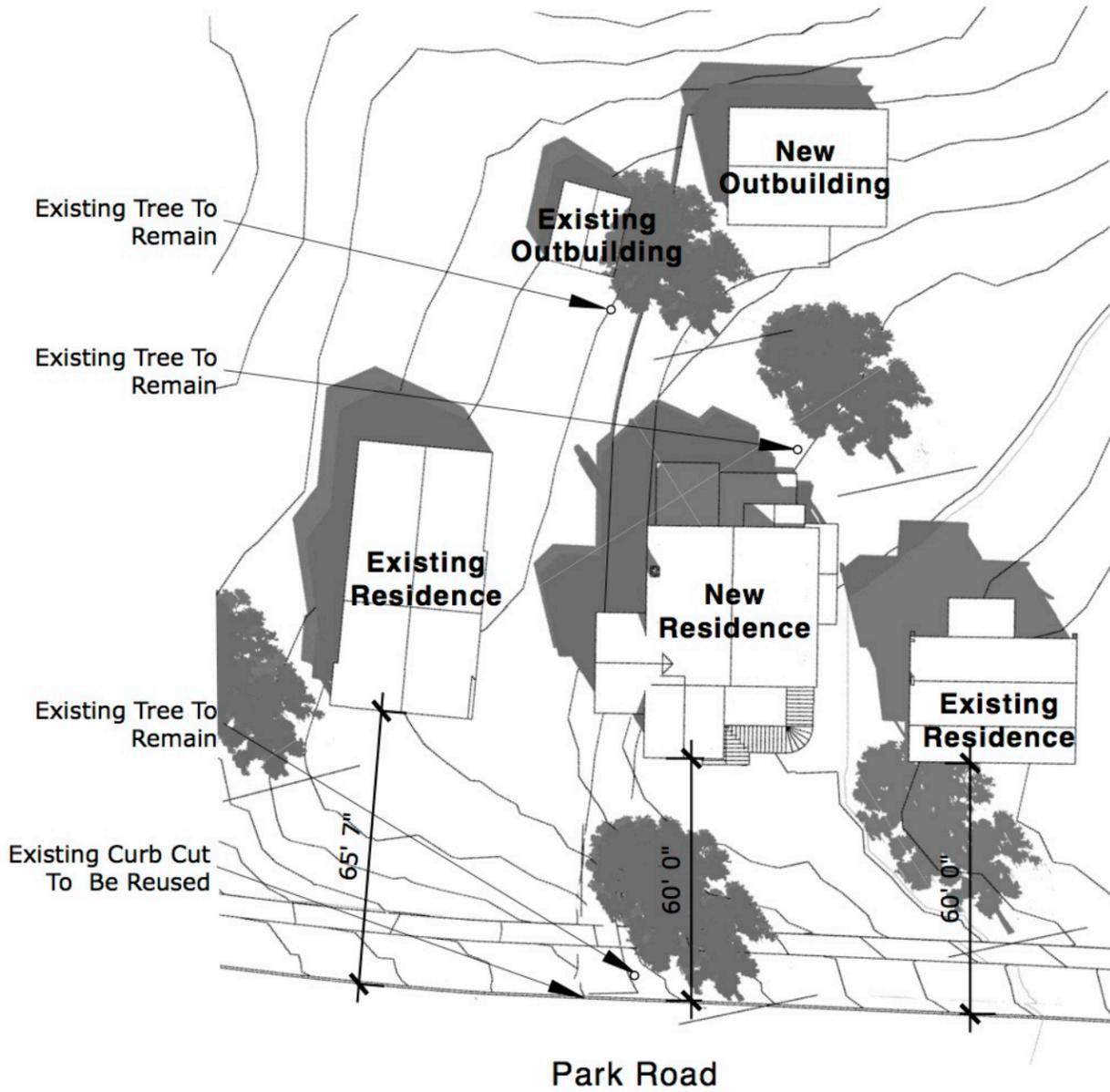
## Historic District -DILWORTH



Map Printdate:  
Oct. 2013

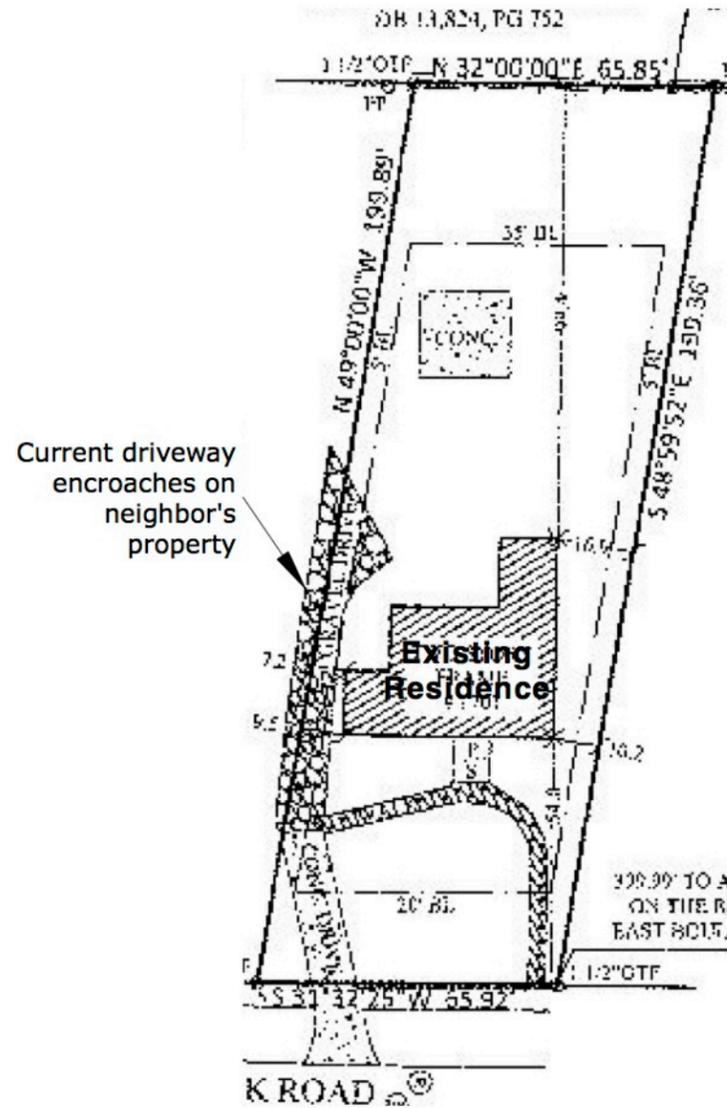
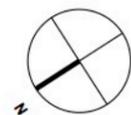


# DENIED IN NOVEMBER



**Aerial of Context**

Scale: 1"=40'-0"



**Existing vs. New**

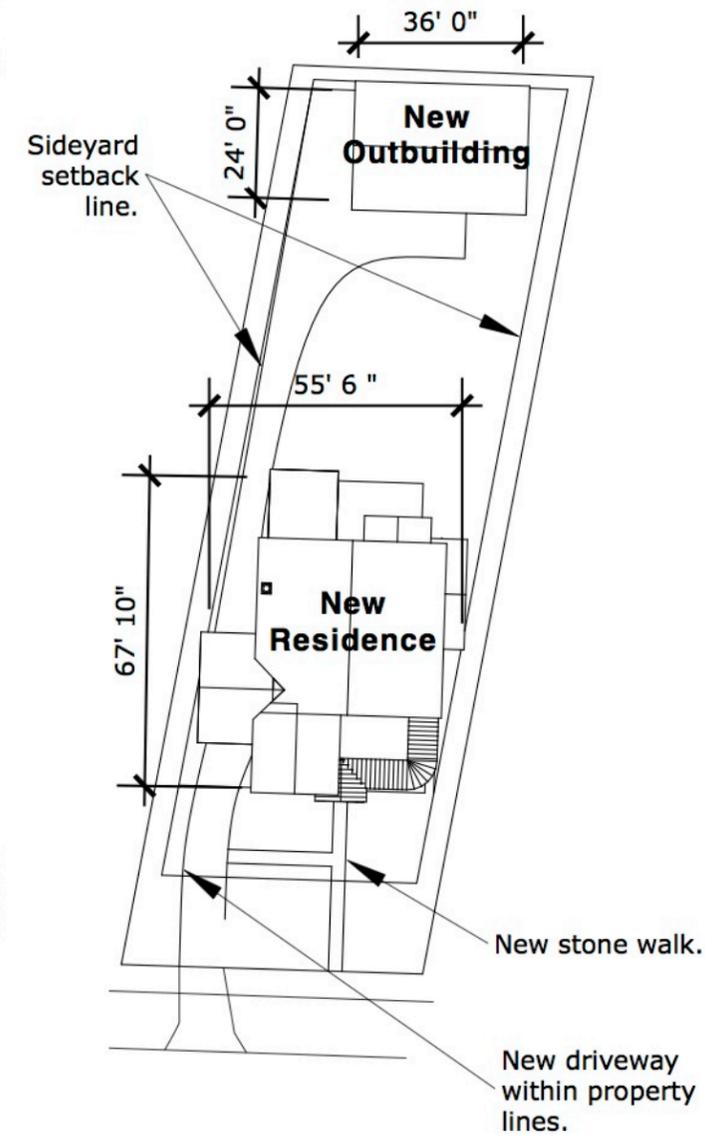
Scale: 1"=40'-0"

**Zoning Setback Summary:**

Zoning: R-5  
 Required Setback: 30 ft.  
 Required Side yard Setback: 5 feet  
 Required Rear Yard Setback: 40 feet  
 Architectural Features (Eaves, Cornices, Etc.)  
 Allowed to project up to 3 feet into any required yard

**Accessory Structure Setbacks:**

Side Yard: 5 feet  
 Rear Yard: 3 Feet  
 No architectural feature of any feature on the accessory building shall project into the setback.

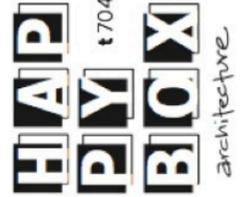


**New Residence Setbacks:**

Front Yard Setback: 39'-6"  
 Left Sideyard Setback: 5'-0"  
 Right Sideyard Setback: 5'-10"  
 Architectural Feature Encroachment: 1'-10"

**Accessory Structure Setbacks:**

Sideyard: 10' and 16'  
 Rearyard: 5'-0"  
 Overhang: 2'-0"



Issue Date:  
 09.18.13 HDC Initial  
 11.04.13 HDC Final  
 Job Number: 13-13  
 Drawn By: CLG

Reed Residence  
 New Residence  
 1701 Park Road  
 Charlotte, NC 28203

Site Plans

# A1

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# DENIED IN NOVEMBER



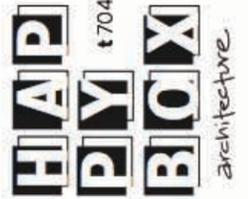
## New Streetscape

Scale: 1/16" = 1'-0"



## Existing Streetscape

Scale: NTS



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Issue Date:

09.18.13 HDC Review  
10.01.13 HDC Final

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Drawn By: CLG

Reed Residence  
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View From Park Road

# A2

**DENIED IN NOVEMBER**



Asphalt Shingle Roof  
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

3 Over One Double-  
Hung Windows  
(Transoms At First  
Floor)

Cedar Shake Siding

Stone Foundation  
(Stone Columns  
At Porte Cochere)

**Front Elevation**

Scale: 1/8" = 1' 0"



Asphalt Shingle Roof  
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

Cedar Shake Siding

Stone Foundation  
(Stone Columns  
At Porte Cochere)

**Left Side Elevation**

Scale: 1/8" = 1' 0"



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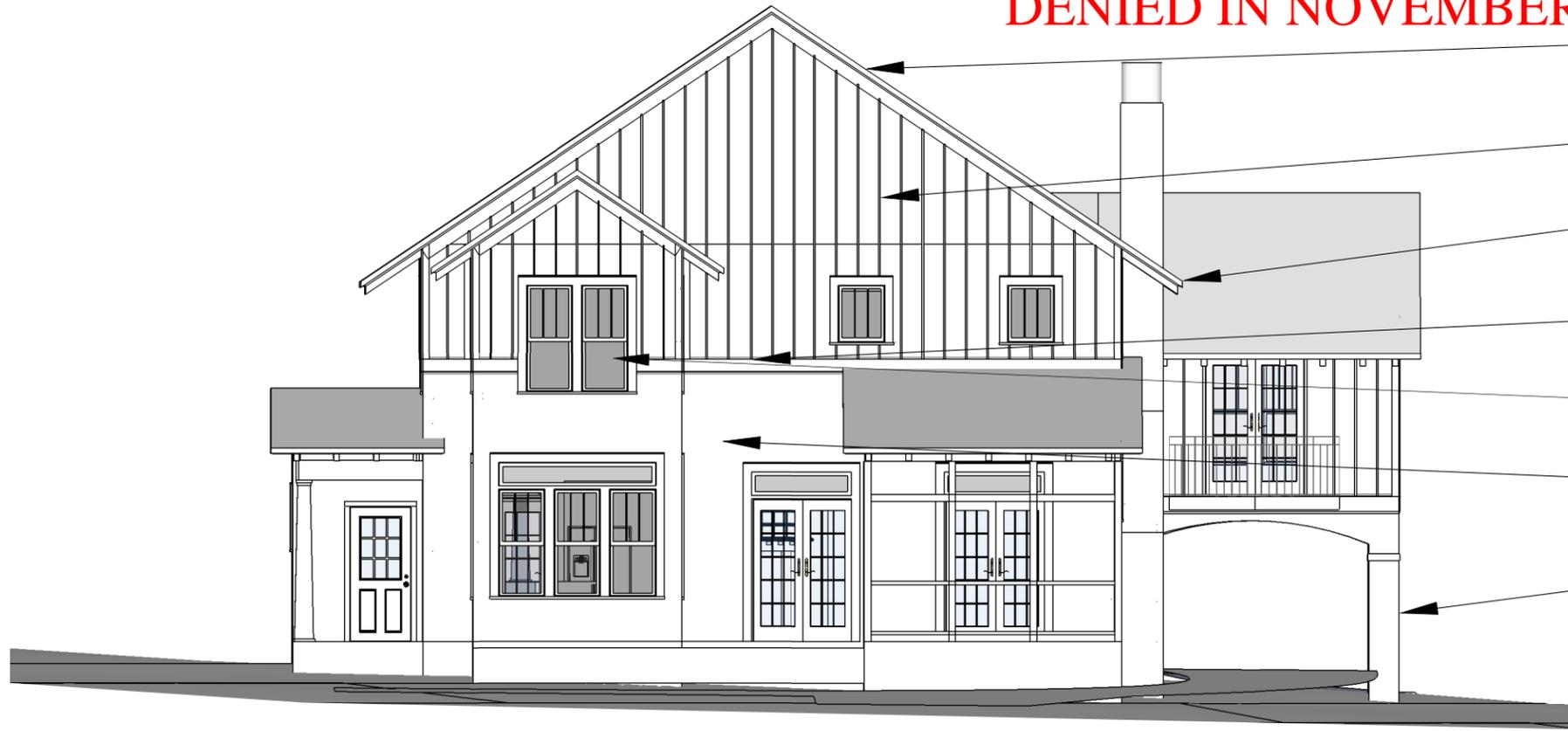
Job Number: 13-13  
Drawn By: CLG

Reed Residence  
New Residence  
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Exterior Elevations

**A3**

**DENIED IN NOVEMBER**



Asphalt Shingle Roof  
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

3 Over One Double-Hung Windows

Cedar Shake Siding

Stone Foundation  
(Stone Columns  
At Porte Cochere)

**Rear Elevation**

Scale: 1/8" = 1' 0"



Asphalt Shingle Roof  
(Standing Seam At Porch)

Board And Batten Siding

Exposed Rafter Tails

Trim Band

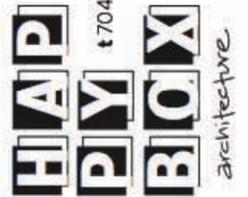
3 Over One Double-Hung Windows  
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Floor)

Cedar Shake Siding

Stone Foundation  
(Stone Columns  
At Porte Cochere)

**Right Side Elevation**

Scale: 1/8" = 1' 0"



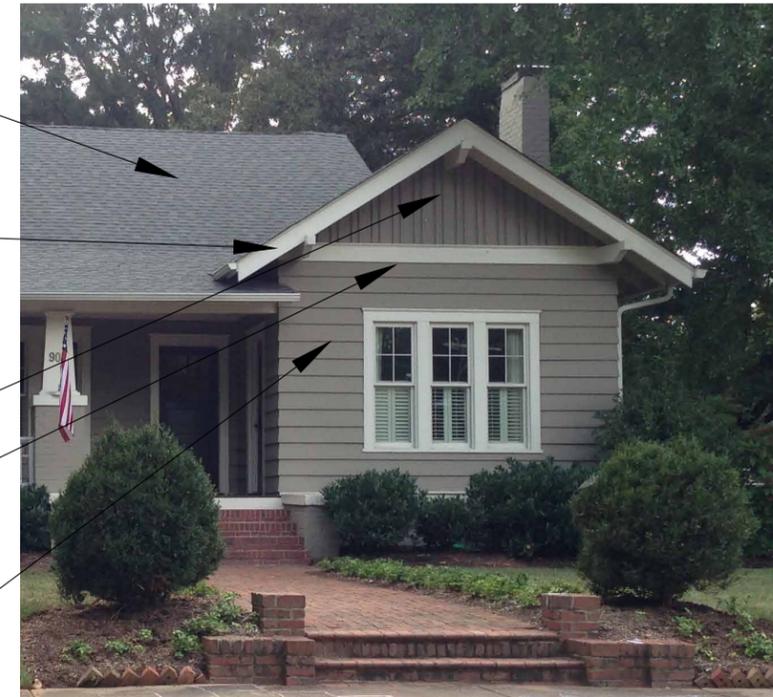
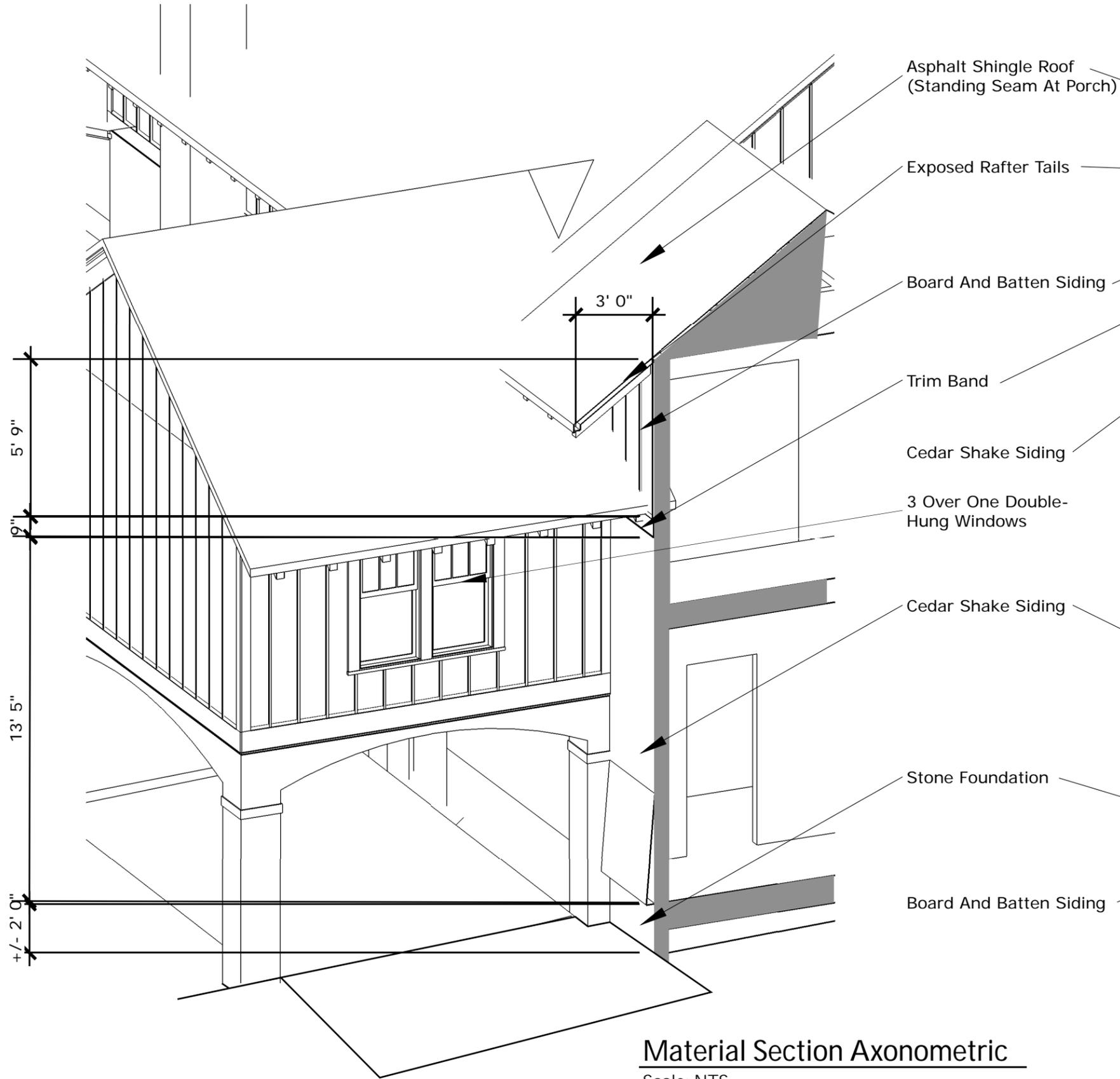
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Exterior Elevations  
**A4**

# DENIED IN NOVEMBER



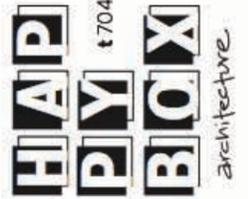
**Worthington Road Precedent**

Scale: NTS



**Dilworth Road West Precedent**

Scale: NTS



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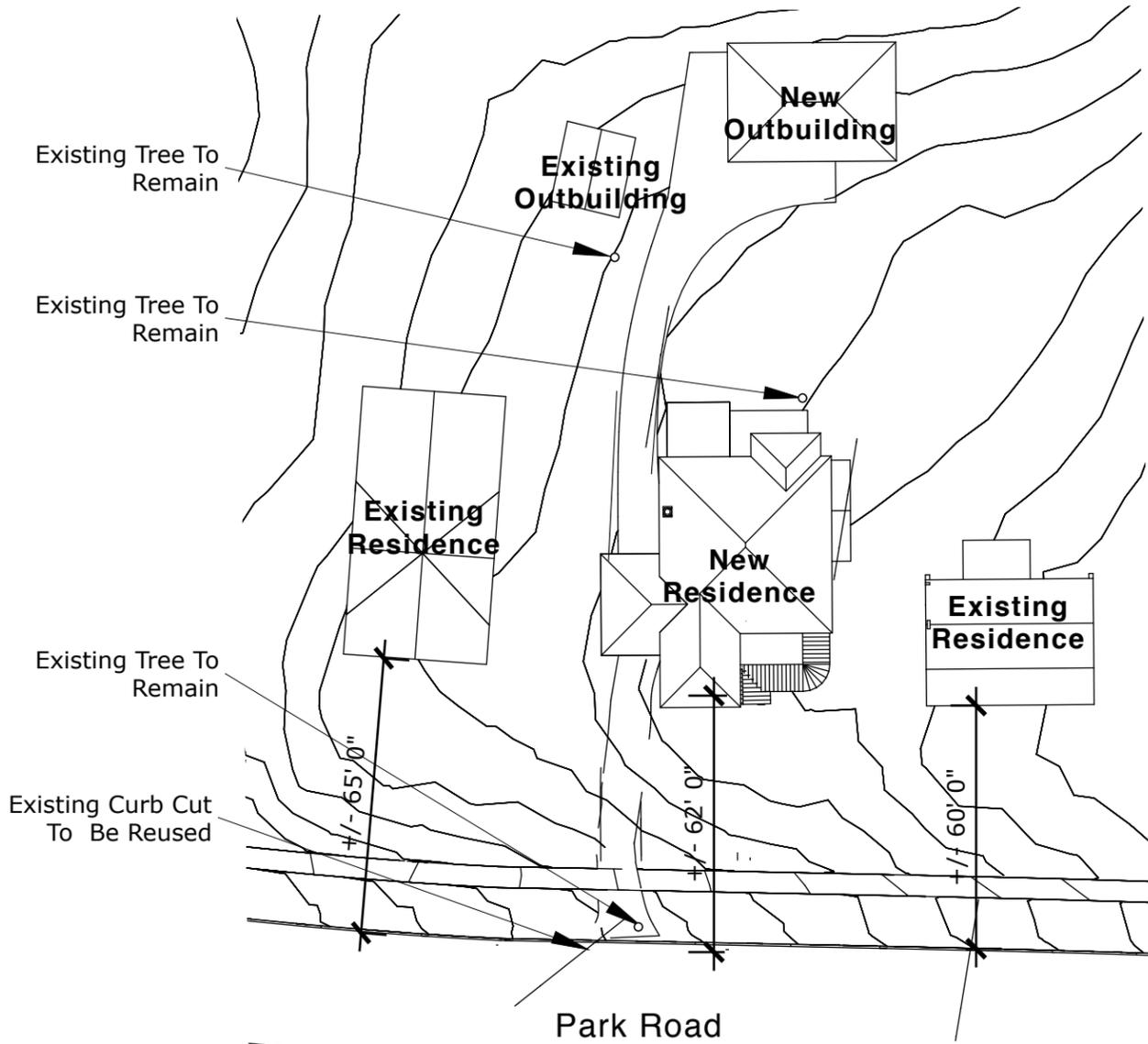
Job Number: 13-13  
 Drawn By: CLG

Reed Residence  
 New Residence  
 1701 Park Road  
 Charlotte, NC 28203

Material Palette and  
 Precedence

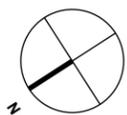
**A5**

FEBRUARY 2014



Aerial of Context

Scale: 1"=40'-0"



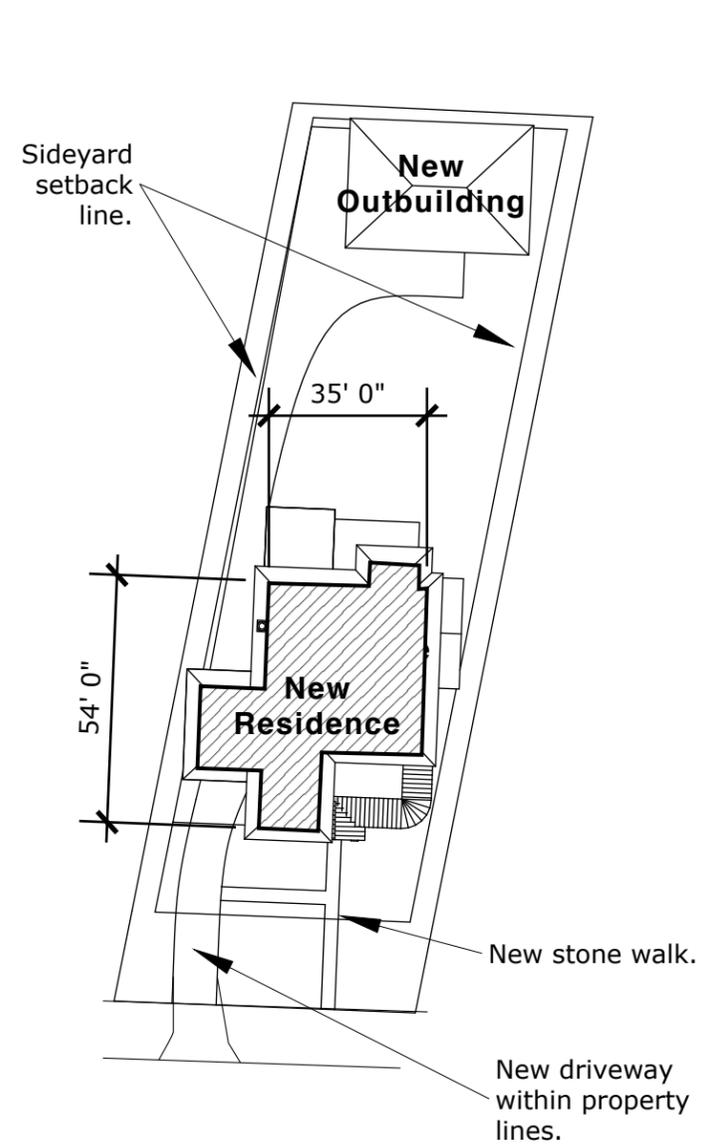
Existing vs. New

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 Job Number: 13-13  
 Drawn By: CLG

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Site Plans

A1

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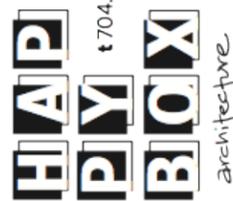
Proposed Streetscape

Scale: NTS



Proposed View From East Blvd.

Scale: NTS



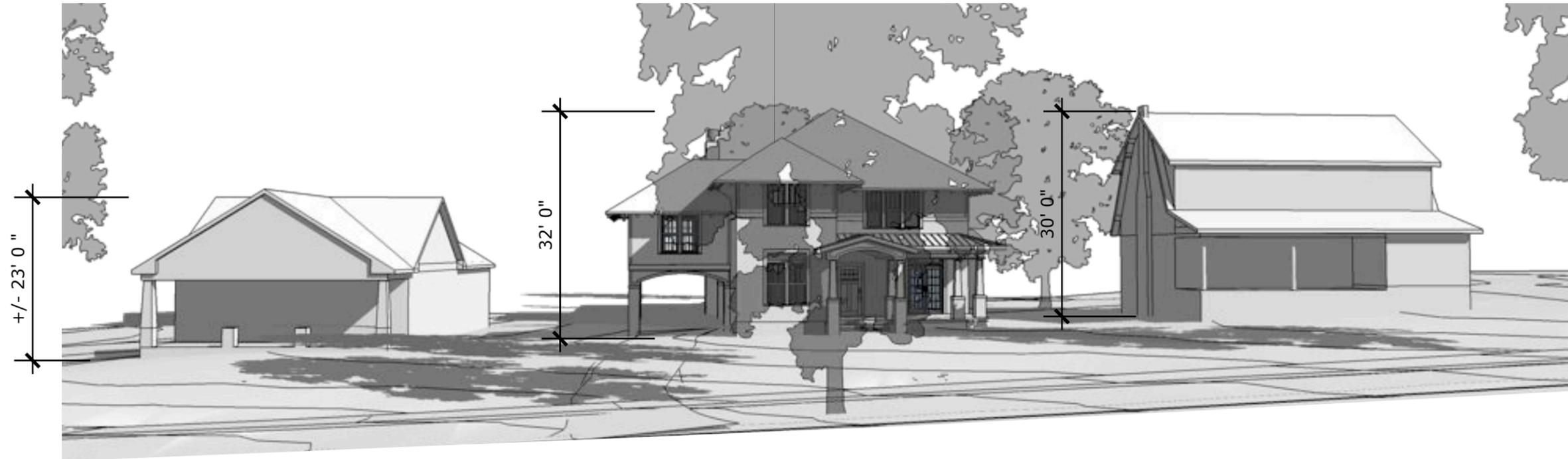
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Issue Date:  
02.03.14 HDC  
Application Addendum  
Job Number: 13-13  
Drawn By: CLG

Reed Residence  
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Street Perspectives  
**A7**

FEBRUARY 2014



**New Streetscape**

Scale: NTS



Issue Date:  
01.15.14 HDC Initial  
  
Job Number: 13-13  
Drawn By: CLG



**Existing Streetscape**

Scale: NTS

Reed Residence  
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View From Park Road

**A2**

FEBRUARY 2014



Asphalt Shingle Roof  
(Standing Seam At Porch)

Exposed Rafter Tails

German Lap Siding

Trim Band

3 Over One Double-  
Hung Windows  
(Transoms At First  
Floor)

Cedar Shake Siding

Stone Foundation  
(Stone Columns  
At Porte Cochere)

### Front Elevation

Scale: 1/8" = 1' 0"



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Asphalt Shingle Roof  
(Standing Seam At Porch)

German Lap Siding

Exposed Rafter Tails

Trim Band

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Stone Foundation  
(Stone Columns  
At Porte Cochere)

### Left Side Elevation

Scale: 1/8" = 1' 0"

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Exterior Elevations

# A3

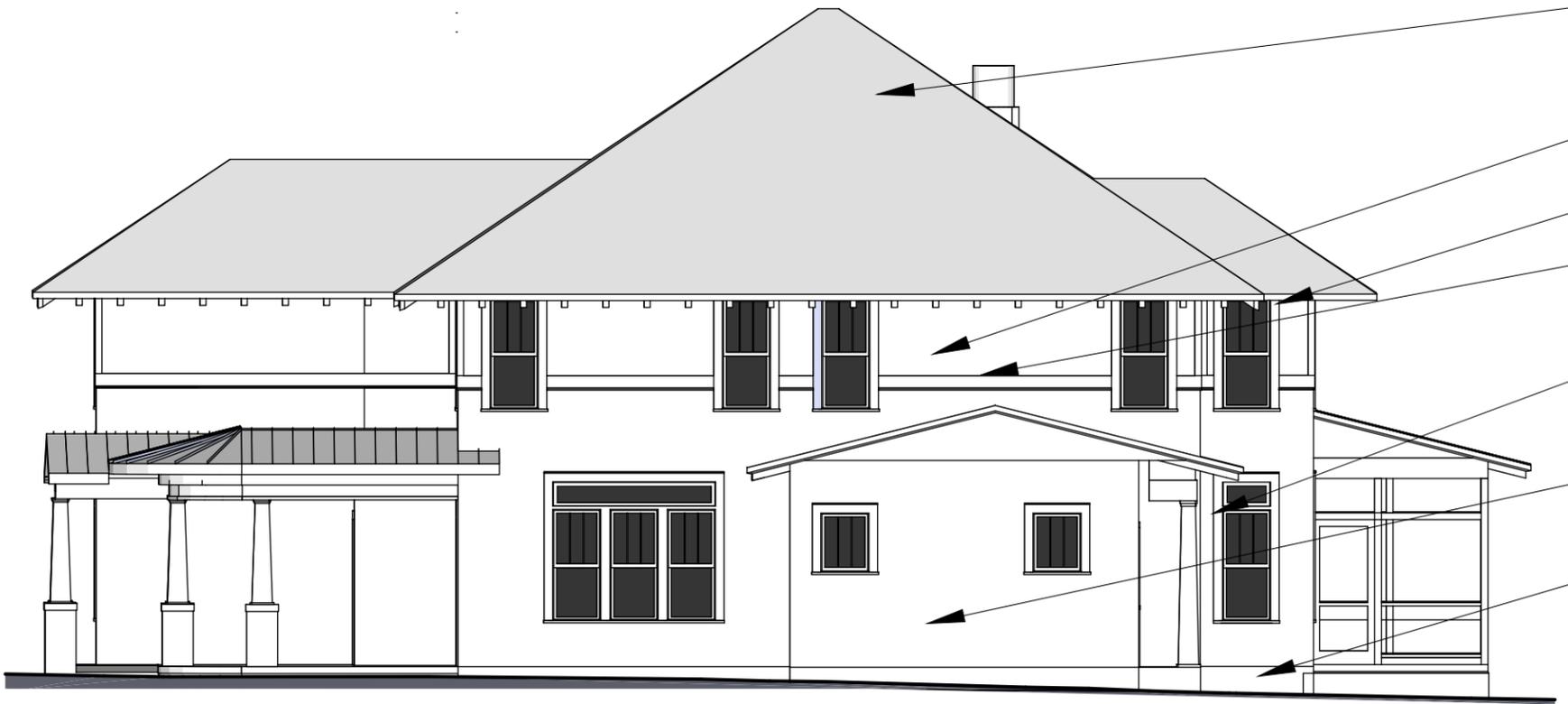
FEBRUARY 2014



- Asphalt Shingle Roof (Standing Seam At Porch)
- German Lap Siding
- Exposed Rafter Tails
- Trim Band
- 3 Over One Double-Hung Windows
- Cedar Shake Siding
- Stone Foundation (Stone Columns At Porte Cochere)

**Rear Elevation**

Scale: 1/8" = 1' 0"



- Asphalt Shingle Roof (Standing Seam At Porch)
- German Lap Siding
- Exposed Rafter Tails
- Trim Band
- 3 Over One Double-Hung Windows (Transoms At First Floor)
- Cedar Shake Siding
- Stone Foundation (Stone Columns At Porte Cochere)

**Right Side Elevation**

Scale: 1/8" = 1' 0"



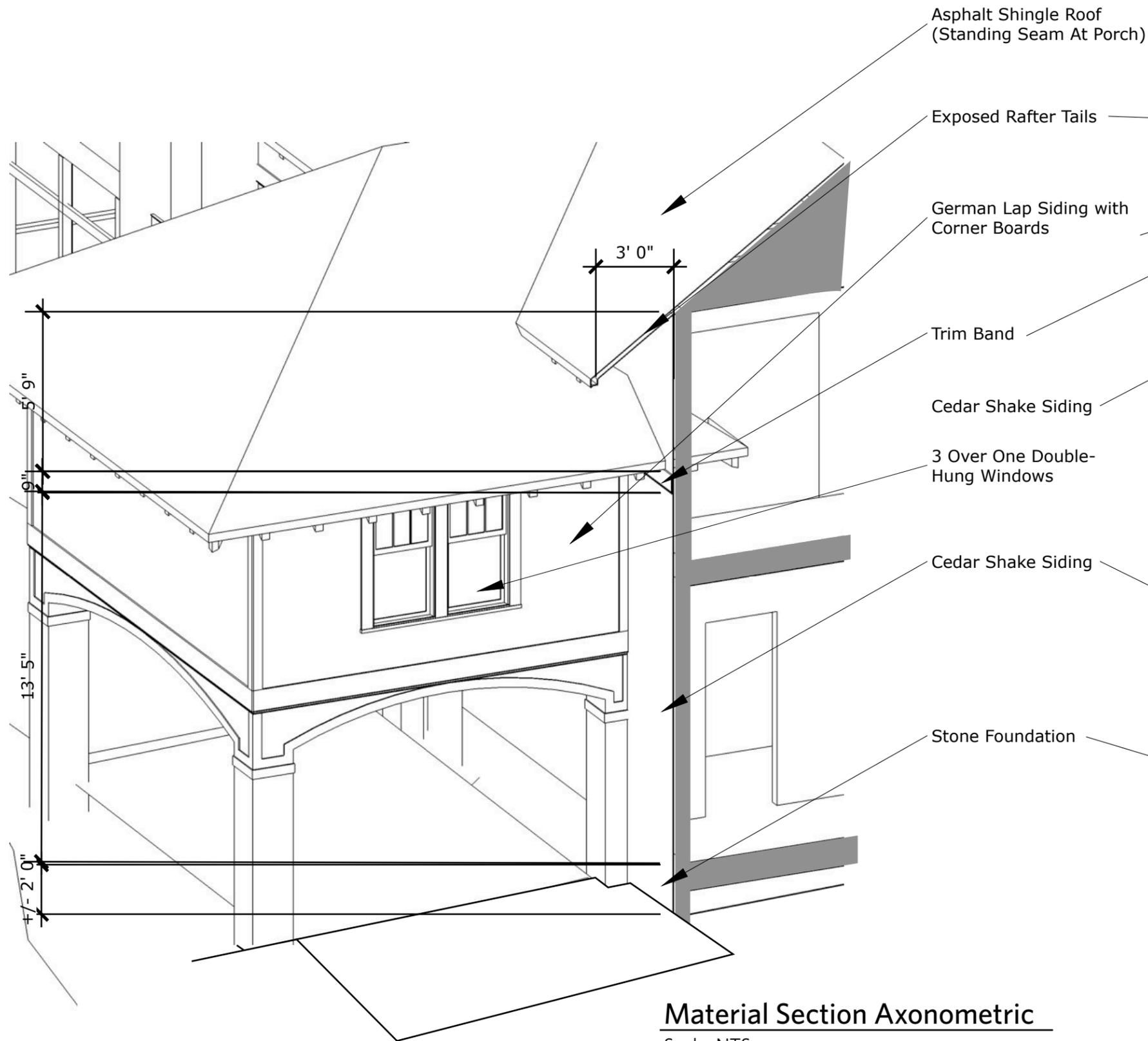
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Reed Residence  
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Exterior Elevations  
**A4**

FEBRUARY 2014



**Material Section Axonometric**

Scale: NTS



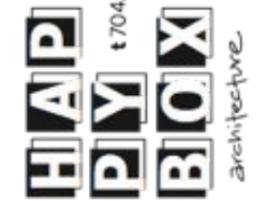
**Kingston Avenue Precedent**

Scale: NTS



**Dilworth Road West Precedent**

Scale: NTS



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Reed Residence  
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Material Palette and  
 Precedence

**A5**