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**LOCAL HISTORIC DISTRICT:** Dilworth

**ADDRESS OF PROPERTY:** 2009 Charlotte Drive

**SUMMARY OF REQUEST:** Addition

**OWNER:** Andrew Shaw

**APPLICANT:** Ryan Carver

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**Details of Proposed Request**

*Existing Conditions*

The subject property is a single family home built in 1942. The rear of the home faces Kenilworth Avenue. The property is not listed in the National Register.

*Proposal*

The proposal is a rear addition that will be visible from Kenilworth Avenue, the addition of a window in the front gable and new wood siding, new columns along the front porch, new windows on the side elevations and the enclosure of a side door opening.

**Policy & Design Guidelines for Additions**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. <b>Size</b>	the relationship of the project to its site
b. <b>Scale</b>	the relationship of the building to those around it
c. <b>Massing</b>	the relationship of the building's various parts to each other
d. <b>Fenestration</b>	the placement, style and materials of windows and doors
e. <b>Rhythm</b>	the relationship of fenestration, recesses and projections
f. <b>Setback</b>	in relation to setback of immediate surroundings
g. <b>Materials</b>	proper historic materials or approved substitutes
h. <b>Context</b>	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

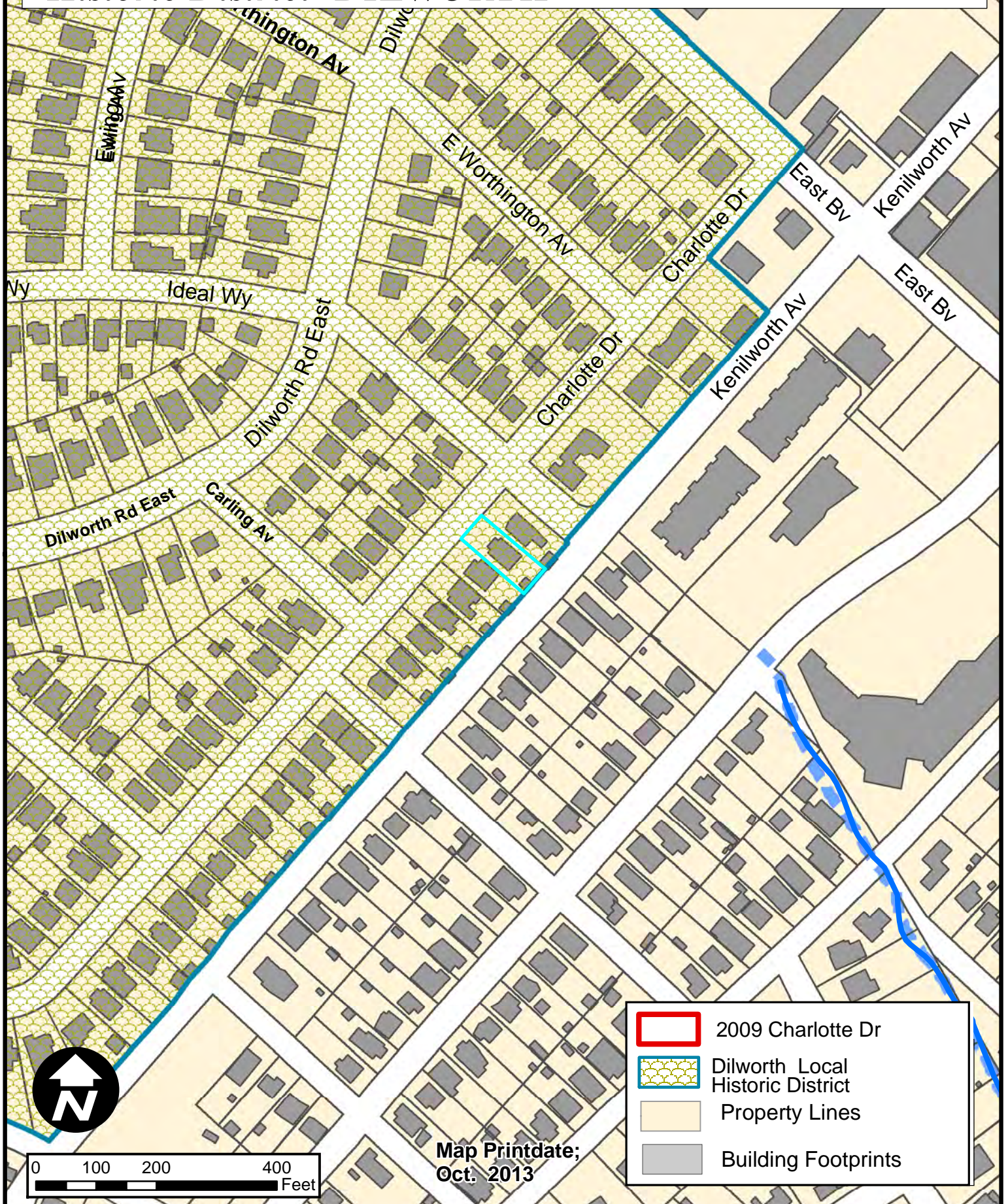
#### **Staff Analysis**

Staff believes the proposal meets the guidelines for additions.



# Charlotte Historic District Commission - Case 2014-013

## Historic District -DILWORTH





SHEET LIST

C1.0 COVER SHEET  
A0.1 EXISTING SITE SURVEY & SITE PLAN  
A1.0 FLOOR PLAN & ROOF PLAN  
A2.0 ELEVATIONS

AREA TABULATION

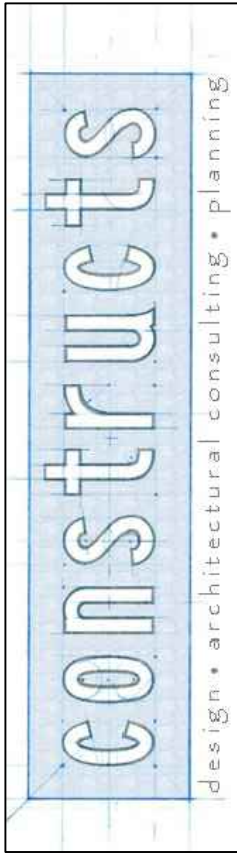
GROSS SQUARE FOOTAGE - APPROX. 1,400 SF  
DETACHED GARAGE - APPROX. 400  
PORCH SQUARE FOOTAGE - 160 SF  
TOTAL GROSS SQUARE FOOTAGE - 1,560 SF  
HEATED BEDROOM SUITE ADDITION - 266 SF  
UNHEATED ADDITION - 180 SF

PROJECT INFORMATION:

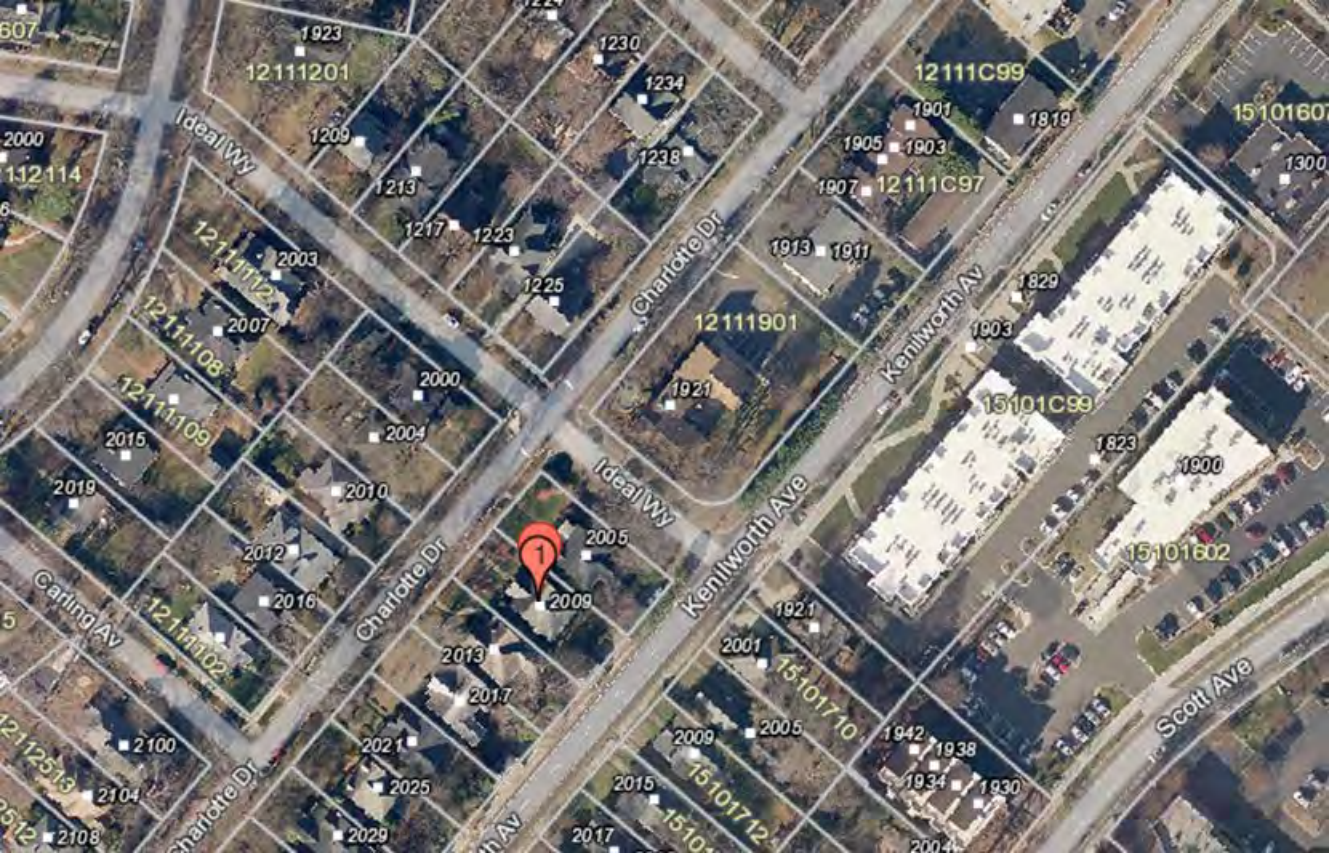
DESCRIPTION  
THIS PACKAGE HAS BEEN CREATED FOR HDC REVIEW. THE PROJECT IS AN ADDITION TO AN EXISTING SINGLE-FAMILY HOME.

OWNER:  
ANDREW SHAW  
2009 CHARLOTTE DRIVE  
CHARLOTTE, NC

DESIGNER:  
RYAN CARVER  
1043 WESTCHESTER BLVD.  
CHARLOTTE, NC  
RYAN@CONSTRUCTS-DESIGN.COM  
704-819.3170







607

2000

112114

6

1923

12111201

1209

1213

12111112

2003

2007

12111108

12111109

2015

2019

Carling Av

5

12112513

2512

2108

2104

2100

1923

1230

1234

1238

1217

1223

1225

2000

2004

2010

2012

2016

2013

2017

2021

2025

2029

2017

2005

2009

2009

2005

2001

1921

1942

1938

1934

1930

12111C99

1901

1905

1903

1907

12111C97

1913

1911

12111901

1921

1903

1829

15101C99

1823

1900

15101602

15101607

1300

Scott Ave





2009

















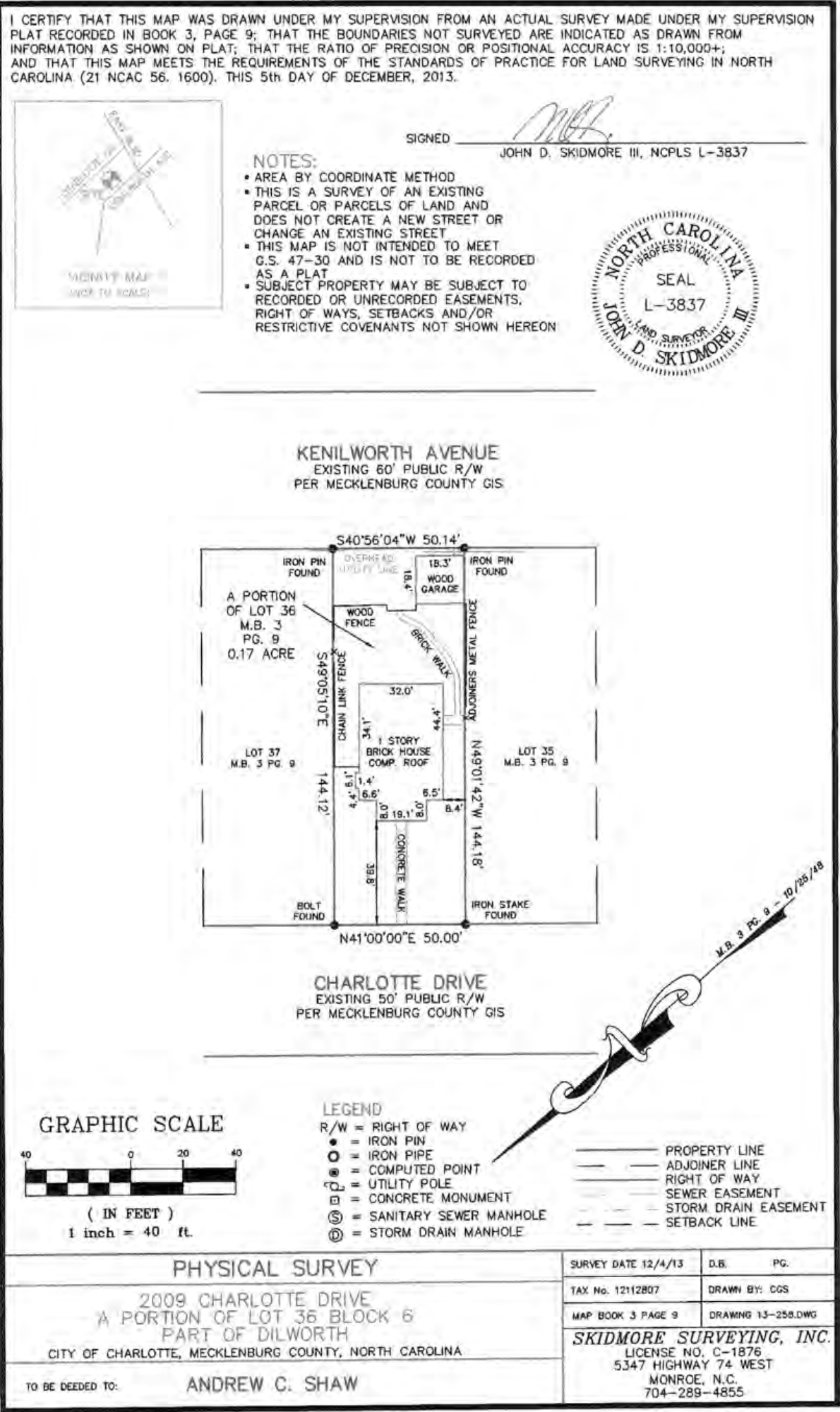




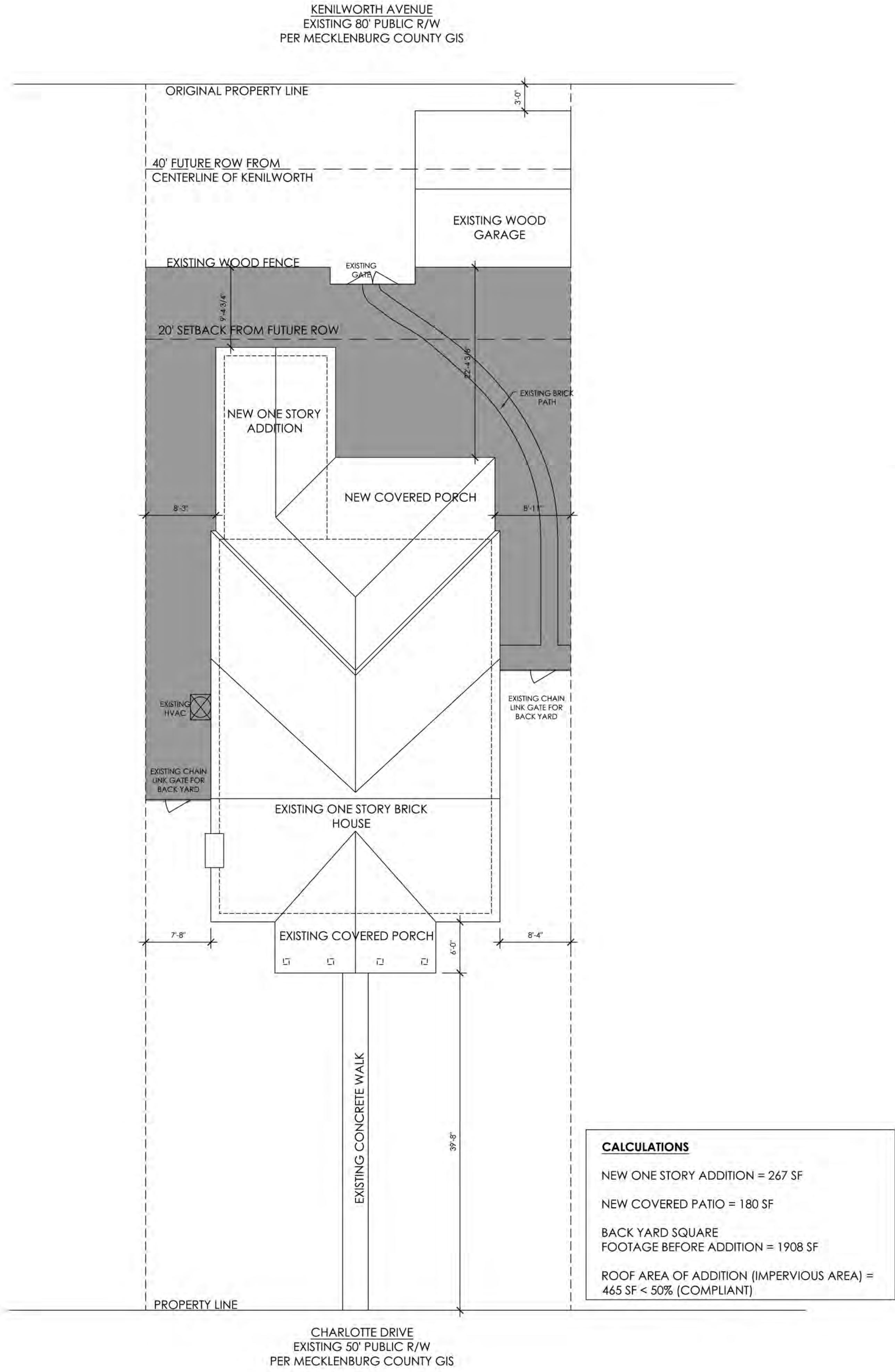








2 EXISTING SITE SURVEY  
1"= 40'-0"

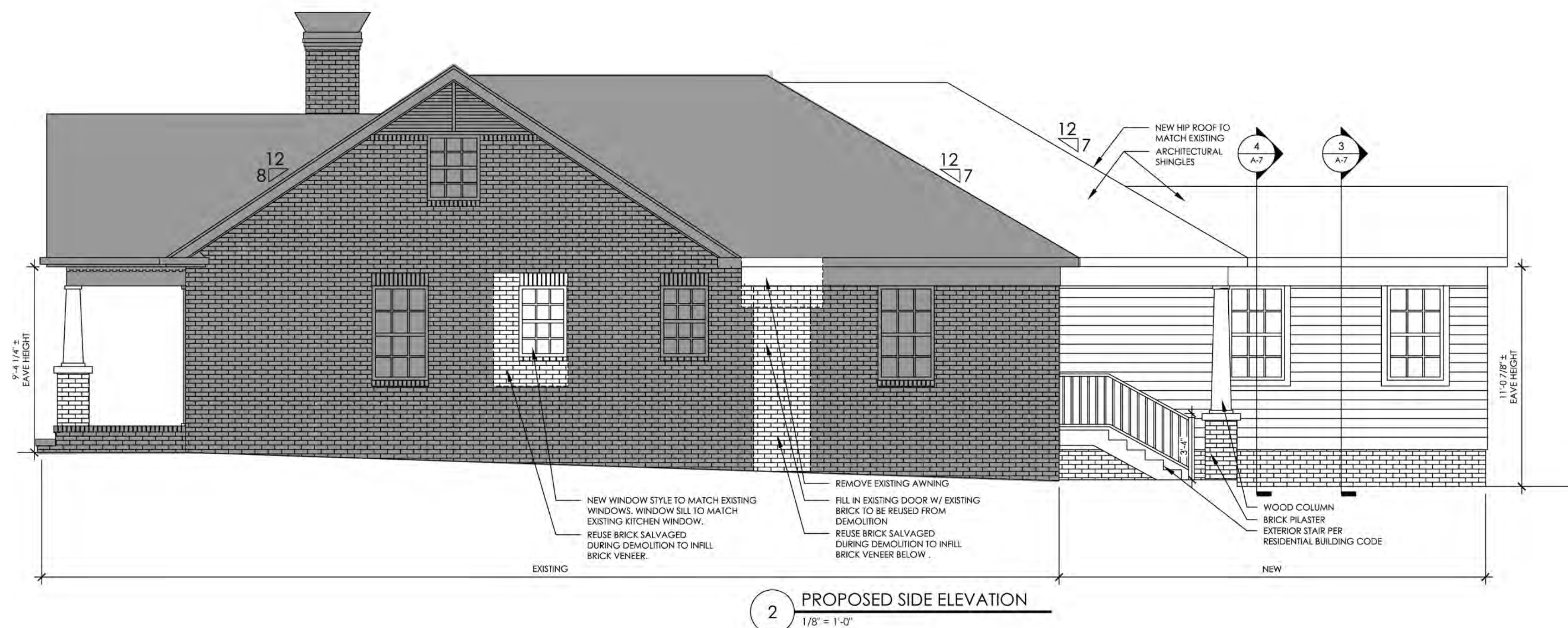
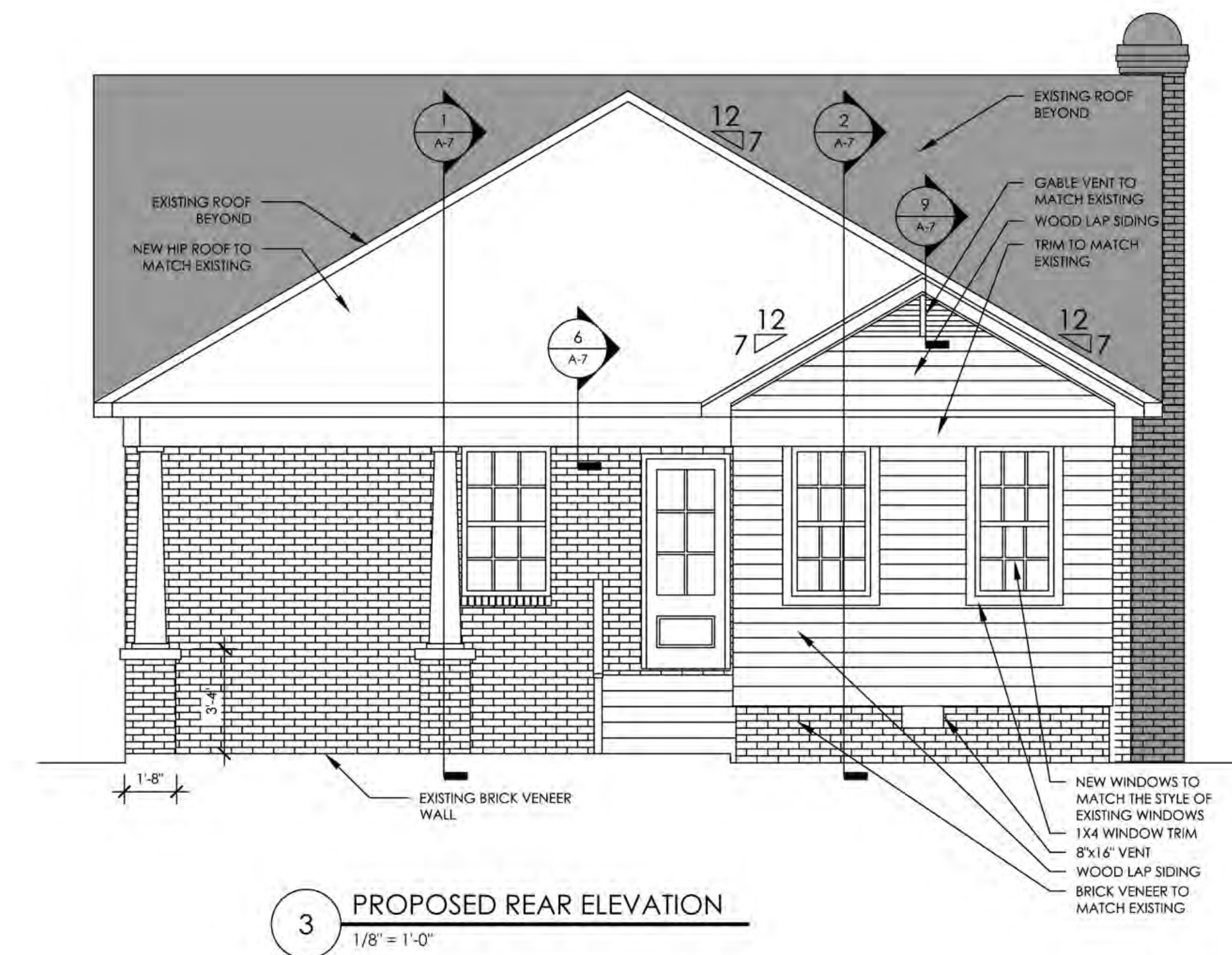
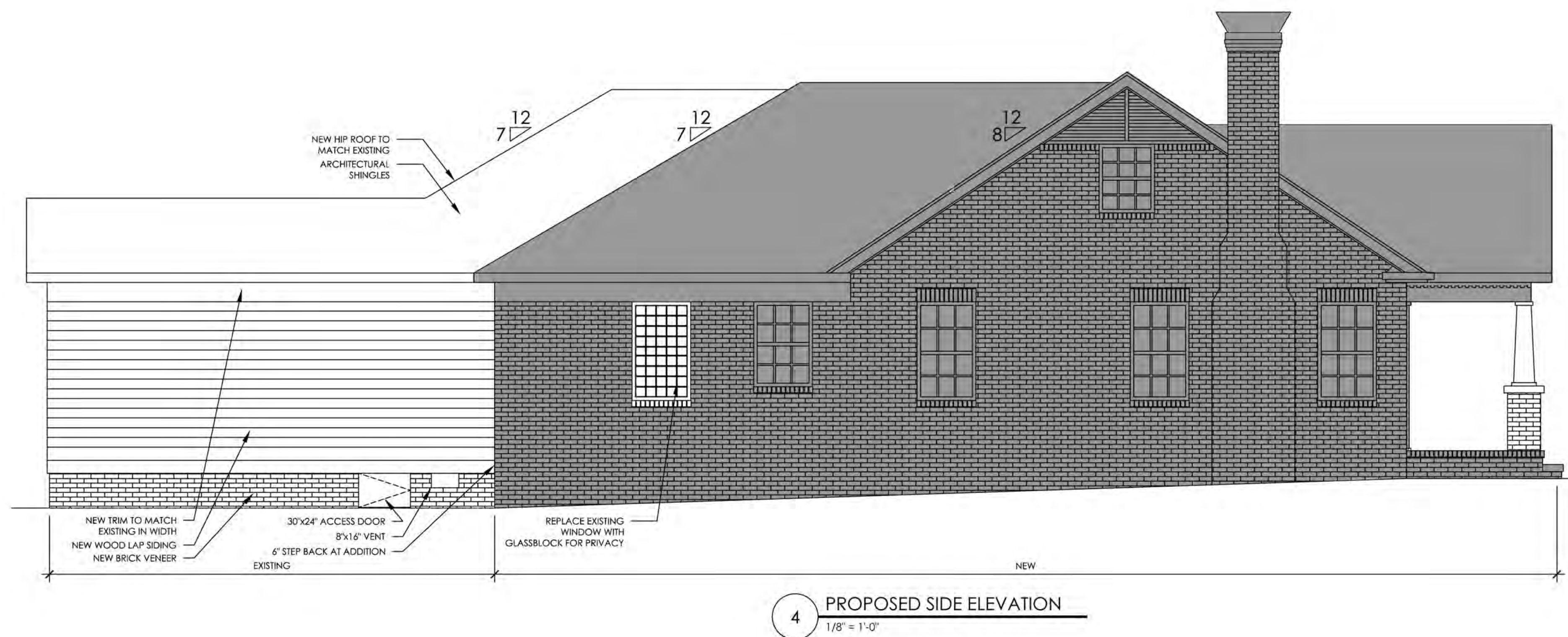


1 PROPOSED SITE PLAN  
1/8" = 1'-0"

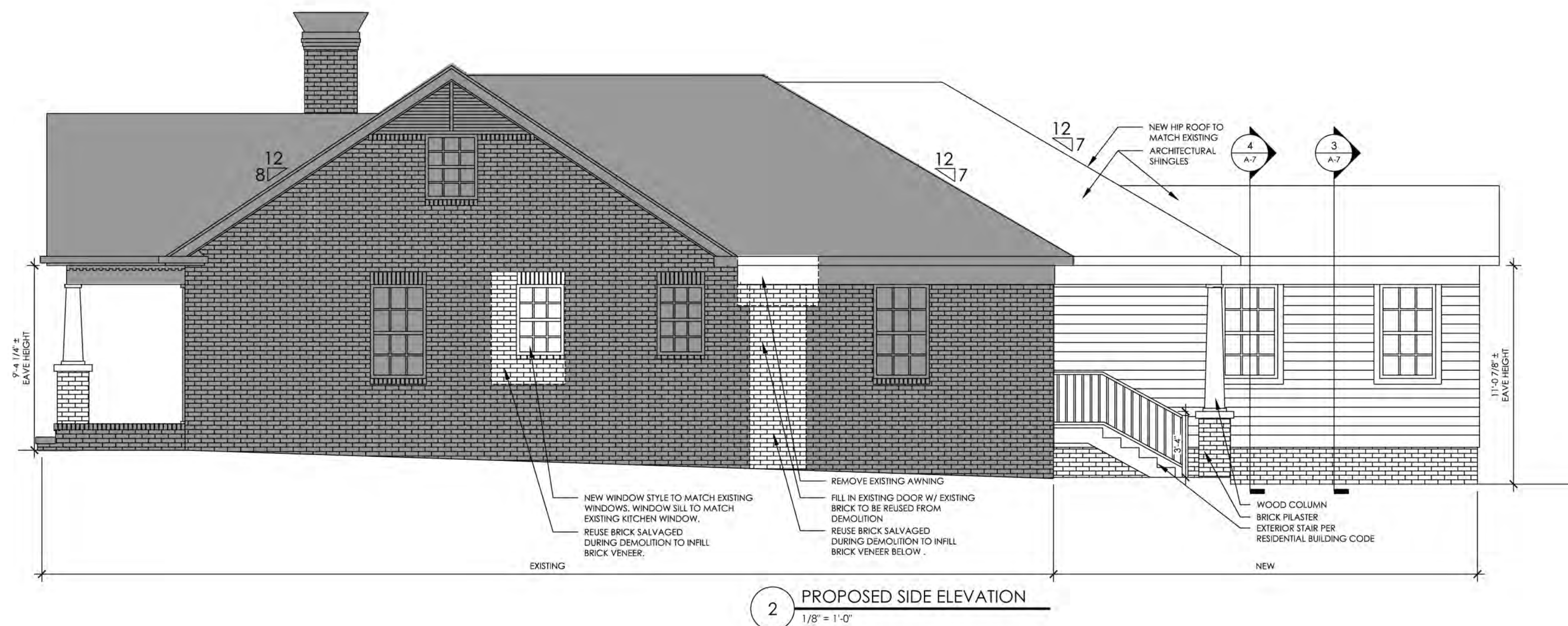
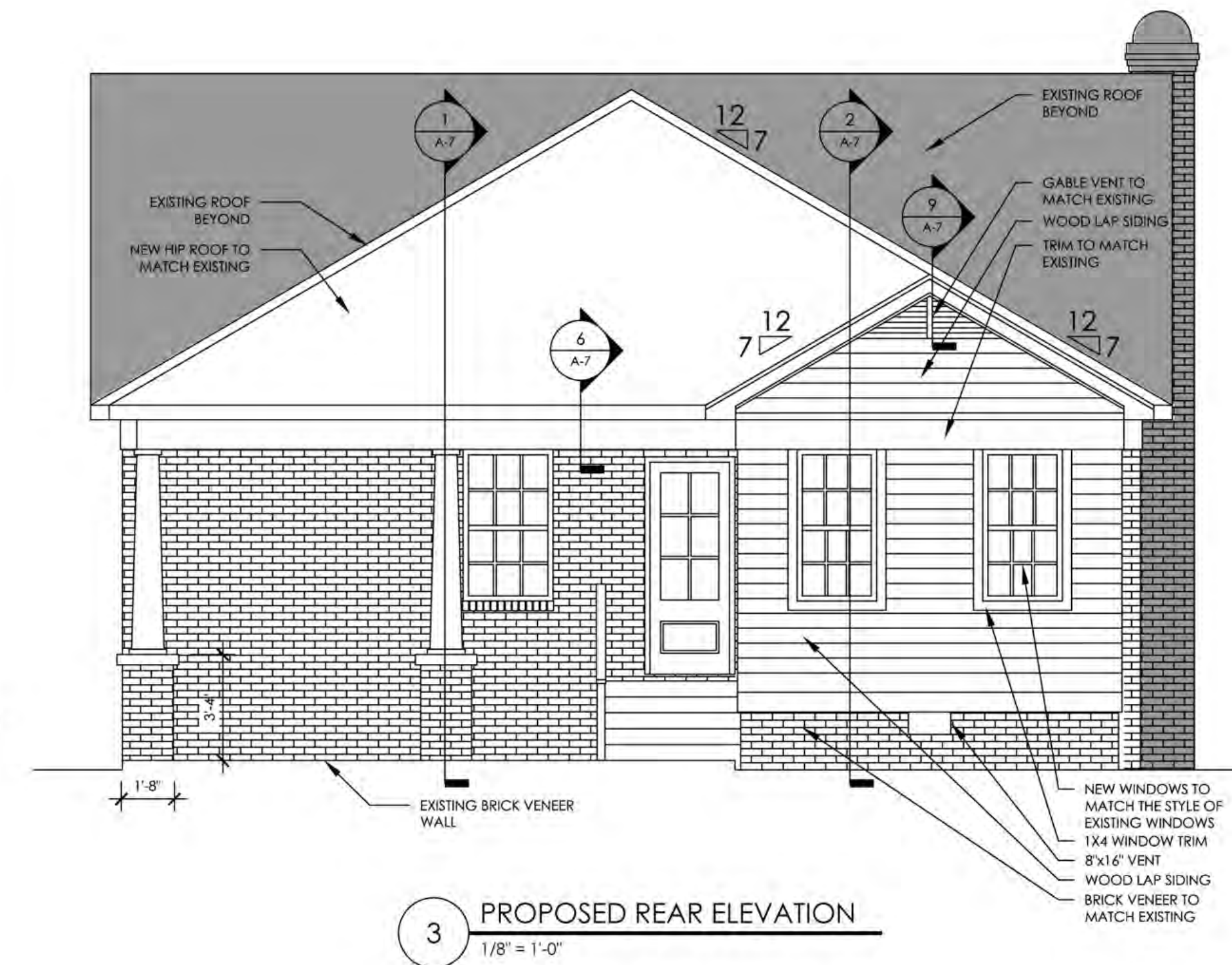
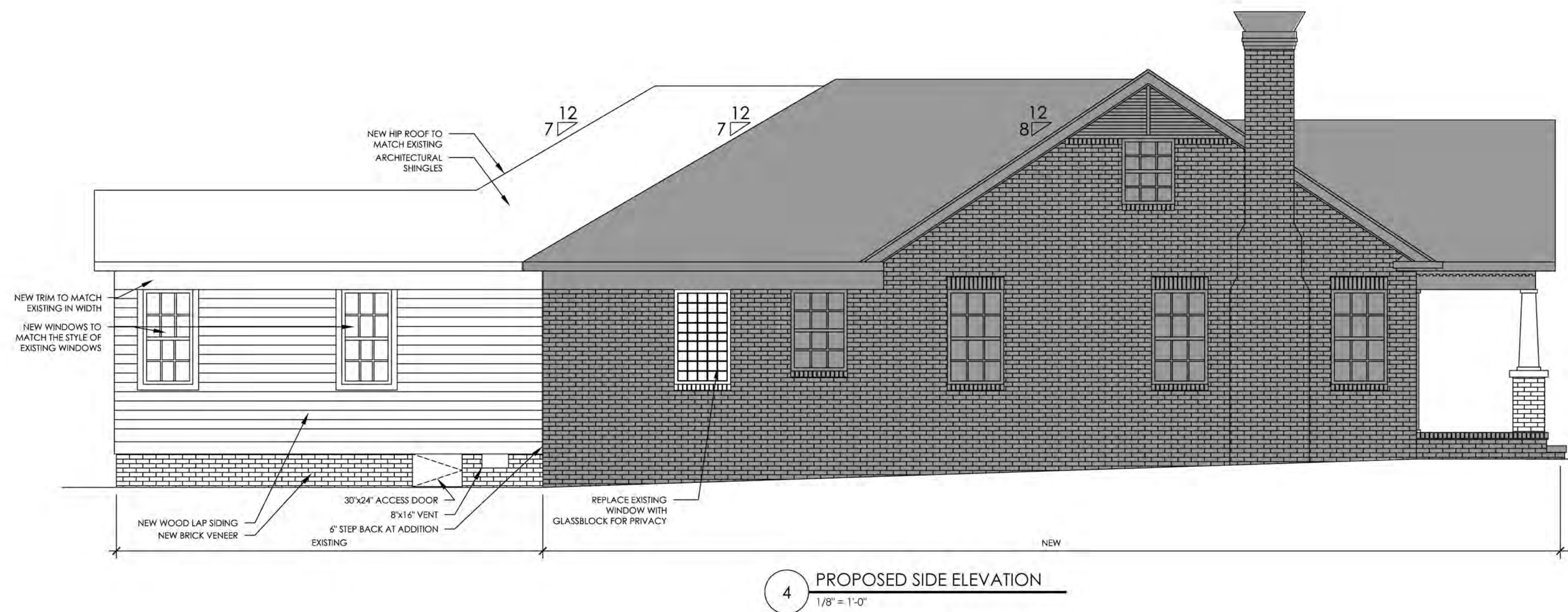




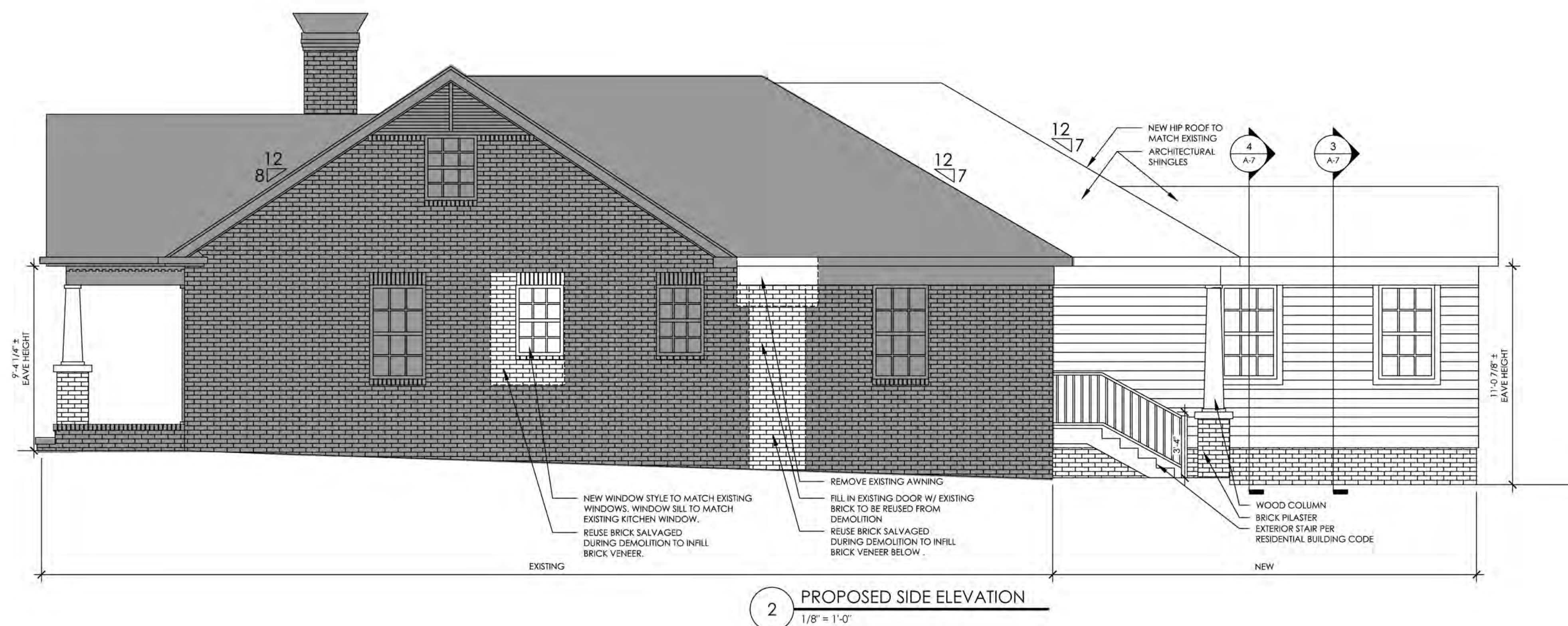
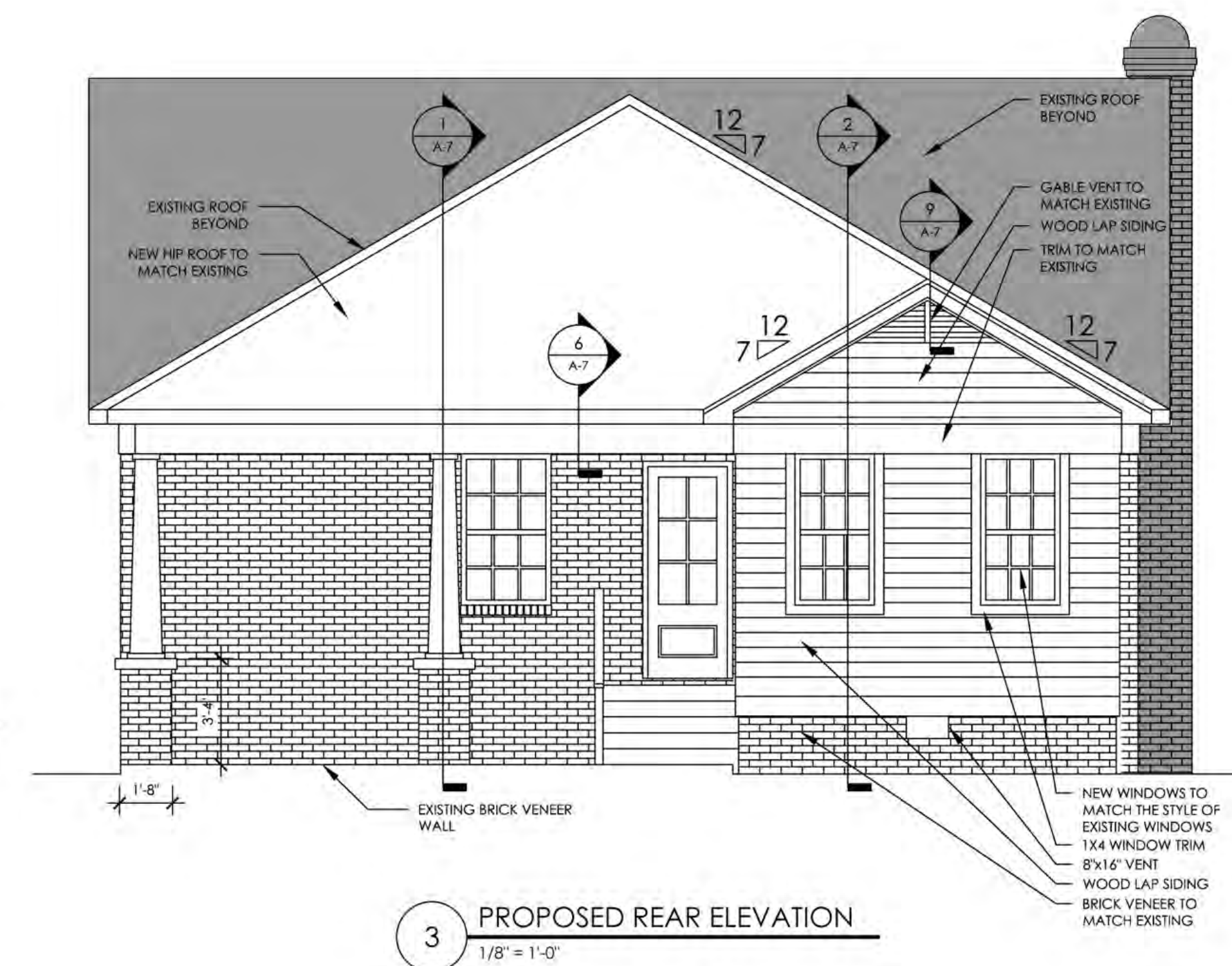
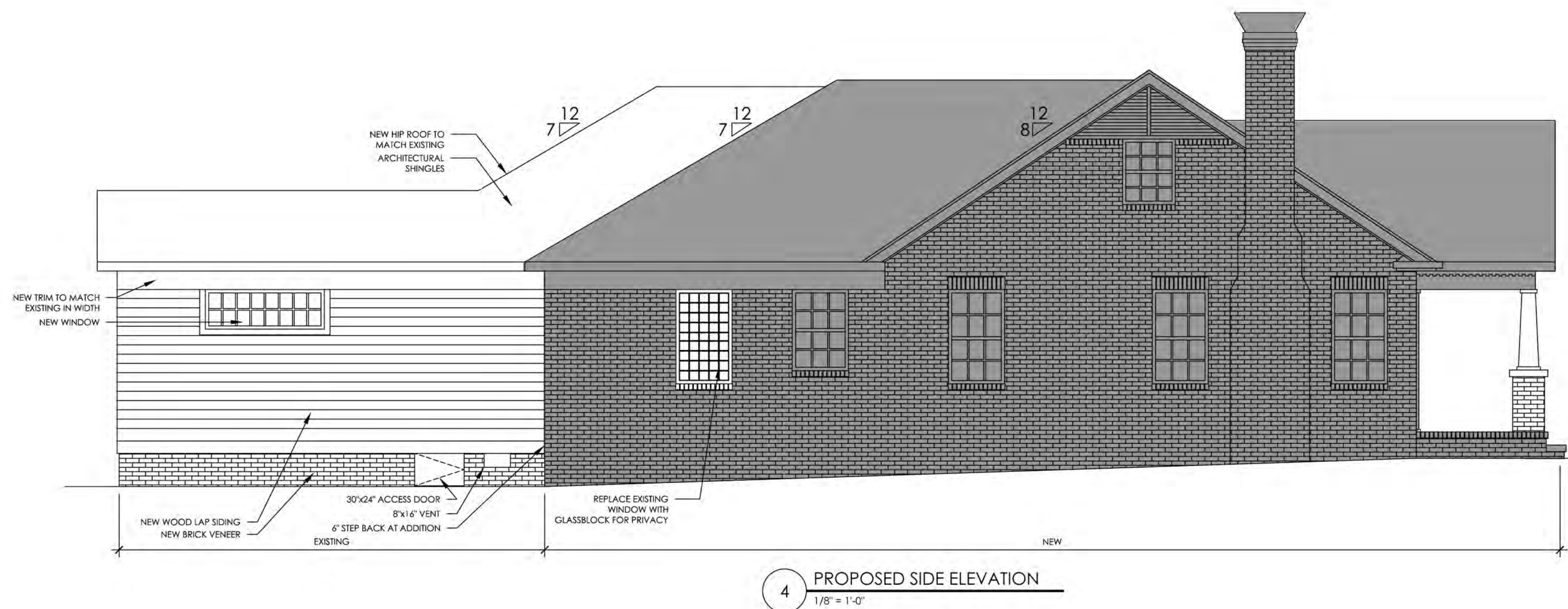














2009 Charlotte Drive, Charlotte, North Carolina, United States  
Address is approximate







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2005 Kenilworth Avenue, Charlotte, North Carolina, United States  
Address is approximate

