



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2013-056 DATE: June 24, 2013

ADDRESS OF PROPERTY: 2128 Park Road

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 1211023

OWNER(S): Thomas C. Duzan & Tammy K. Duzan

DETAILS OF APPROVED PROJECT: **Demolition/New Construction** – Existing dilapidated garage will be demolished. New accessory structure will be 2 story garage. Dormers with a row of windows will be below ridge. A pair of carriage style doors will face back toward the house. Outer edge of shed dormer will line up with outer edge of each carriage door. All pulled in from the edges. Materials (including shake siding, brick, window, etc.) and details (including soffit/fascia treatment, overhang, trim, window configuration, etc.) will match existing. (See attached plans.)

- This Certificate of Appropriateness indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

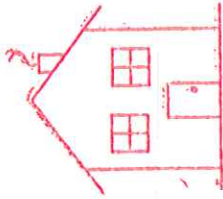
Mary Ellen George
Chairman

Wanda Birmingham
Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

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Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



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Charlotte
Historic District
Commission

Certificate of Appropriateness

HDC 2613-057

HISTORIC DISTRICT COMMISSION
COMPLIANCE WITH

CERTIFICATE OF APPROPRIATENESS

REQUIRED 6/24/2013

CONTINUOUS RIDGE VENT -
TYPICAL

PROJECT-OUT AWNING WINDOW
TO MATCH EXSTG RESIDENCE
ARCH. ASPHALT SHINGLES TO
MATCH EXSTG. (ELK - BLACK)

TOP OF NEW RIDGE
@ 20'-6" AFF

EXPOSED RAFTER ENDS -
PAINTED TO MATCH TRIM
COLOR
DORMER W/ WINDOWS AND
CEDAR SHAKE SIDING

SILLS
@ 3'-6" AFF

1X RIBBON FASCIA & DRIP TRIM
TO MATCH EXSTG. (FLASHING)

2ND FLR.
@ 10'-0" AFF
MATCH EXSTG. SOFFIT, &
BIRD-BOX DETAILING

EXT. GRADE WALL SCONCE
LIGHT
CEDAR SHAKE SIDING TO
MATCH EXSTG.

ALUM. GUTTER/DOWNSPOUT
SLOPE TO GARDEN SIDE FOR
COLLECTION IN RAINWATER BIN
FOR GARDEN IRRIGATION

NEW CRAFTSMAN STYLE WOOD
DOOR (PR 3'-6" X 8'-0")

1ST FLR.
@ 0'-0" AFF

NEW BRICK WATER TABLE W/
IRON LOCK TOP CAP. BRICK
TO MATCH EXSTG.

EXT. GRADE WALL SCONCE
LIGHT



NEW CRAFTSMAN STYLE WOOD
DOOR (PR 3'-6" X 8'-0")

DUZAN GARAGE

2122 PARK ROAD - CHARLOTTE, NC 28203

Drawings are property of Durham.
Do not scale drawings. Report any
discrepancies to the architect.
or the record document is to Architect.

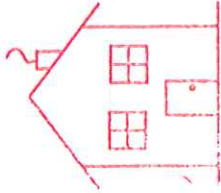
Project #: 00-00
Date: 05.30.13
Scale: 1/4" = 1'-0"

A2.0

Printing Date

Issue Type:

Ext Elevs - Front View



APPROVED

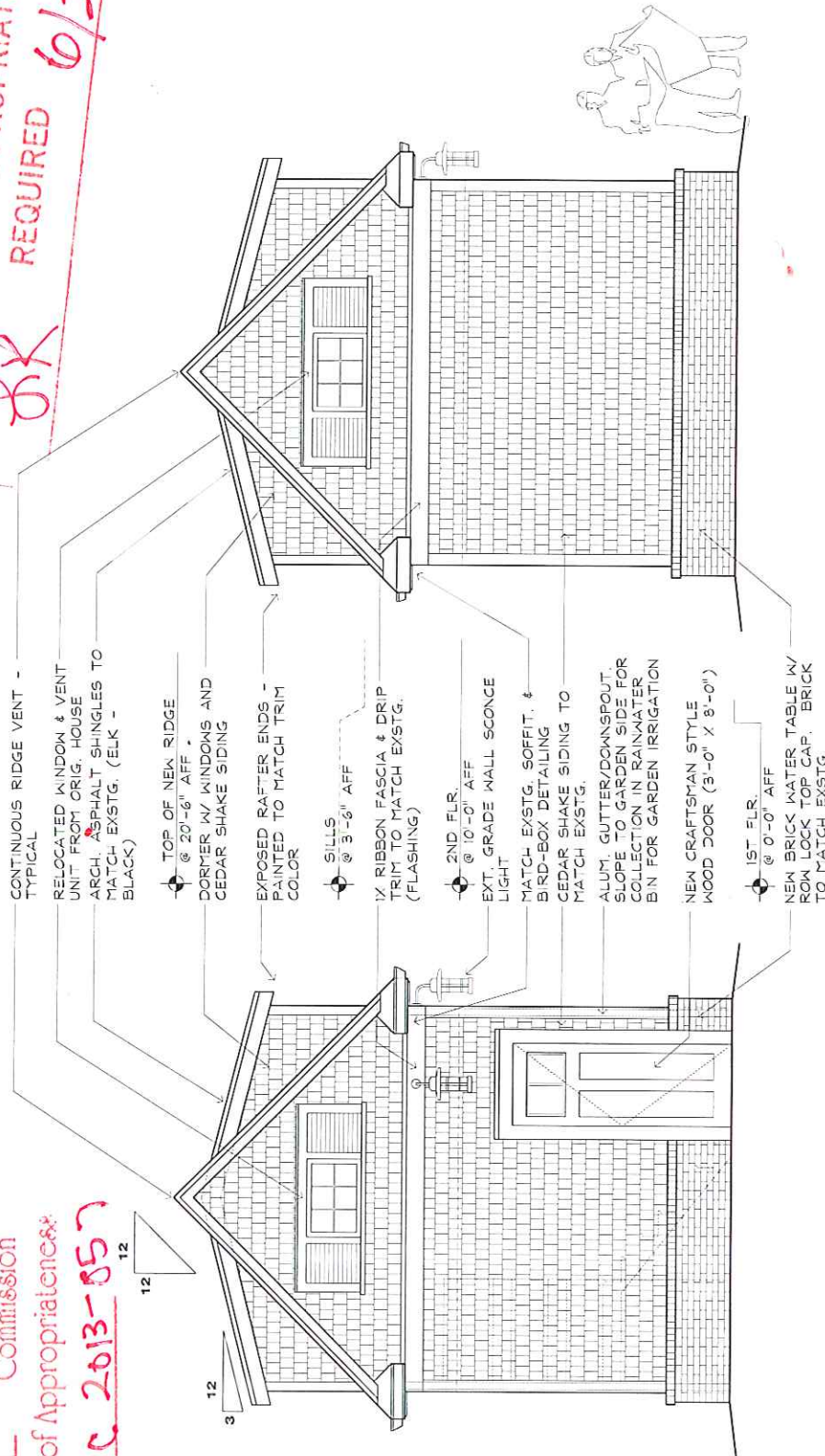
Charlotte
Historic District
Commission

Certificate of Appropriateness

#HDC 2013-057

HISTORIC DISTRICT COMMISSION
COMPLIANCE WITH
CERTIFICATE OF APPROPRIATENESS
8X REQUIRED

6/24/2013



DUZAN GARAGE

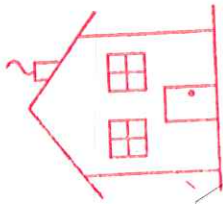
2128 PARK ROAD - CHARLOTTE, NC 28203

Project #: 00-00
Date: 05.30.13
Scale: 1/4" = 1'-0"

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A2.1

Issue Type: Ext Elevs - Side Views



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Historic District
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HISTORIC DISTRICT COMMISSION

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OK

REQUIRED 6/24/2013

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TYPICAL
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DORMER W/ WINDOWS AND
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SILLS
@ 3'-6" AFF

IX RIBBON FASCIA & DRIP TRIM
TO MATCH EXSTG. (FLASHING)

2ND FLR.
@ 10'-0" AFF

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BIRD-BOX DETAILING

DEL. HUNG WINDOWS TO MATCH
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CEDAR SHAKE SIDING TO
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ALUM. GUTTER/DOWNSPOUT,
SLOPE TO GARDEN SIDE FOR
COLLECTION IN RAINWATER BIN
FOR GARDEN IRRIGATION

SLIMLINE CONDENSING UNIT
FOR MINI-SPLIT IN SHOP

1ST FLR.
@ 0'-0" AFF

NEW BRICK WATER TABLE W/
ROW LOCK TOP CAP. BRICK
TO MATCH EXSTG.



DUZAN GARAGE

2128 PARK ROAD - CHARLOTTE, NC 28203

Project #:

00-00

Date:

05.30.13

Scale:

1/4" = 1'-0"

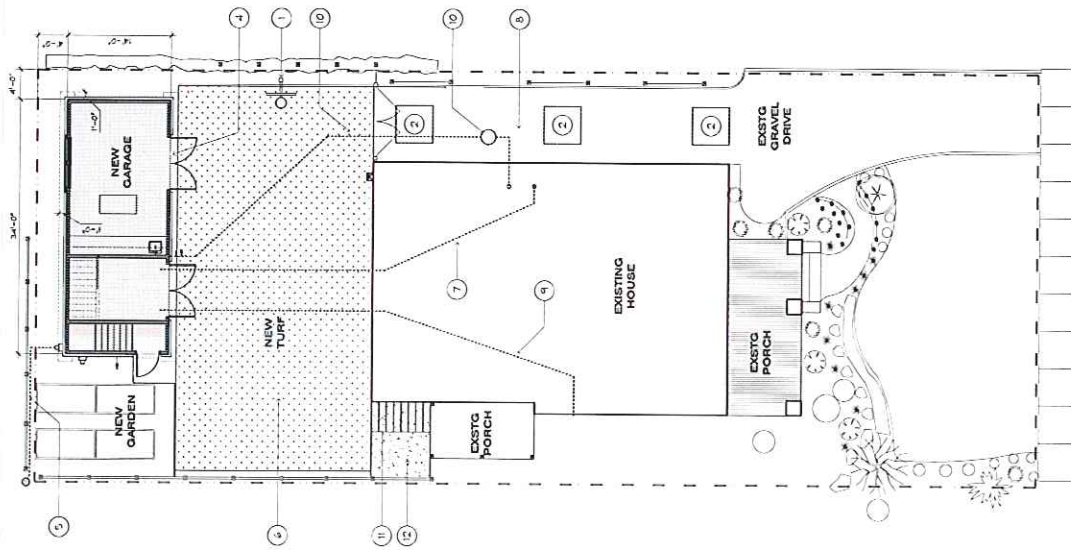
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discrepancies with field conditions
or proposed improvements to ARCHITECT.

A2.2

Project Docs

Issue Type:

Ext Elevs - Rear View



SITE KEY NOTES:

- 1 EXISTING BASKETBALL GOAL TO REMAIN.
- 2 NEW 5/8"X5' GRAVEL DRAINAGE PIT
- 3
- 4 KEEP FINISH FLOOR OF GARAGE MIN. 6" ABOVE ADJACENT TURF/GRADE.
- 5 NEW UNDERGROUND POWER LINE FROM POWER POLE TO NEW TOWER.
- 6 NEW SYNTHETIC TURF BY OWNER.
- 7 NEW UNDERGROUND WATER LINE FROM EXISTING HOUSE TO NEW GARAGE.
- 8 RE-GRADE EXISTING GRAVEL DRIVE DOWN AND RESET GRAVEL.
- 9 NEW UNDERGROUND CEMT CABLE IN CONDUIT FROM EXISTING CABLE BOX TO TECH. ROOM.
- 10 NEW UNDERGROUND SANITARY SEWER LINE FROM NEW LIFT STATION TO EXISTING HOUSE.
- 11 SANITARY LINE IN EXISTG HOUSE CHANGEPAGE NEW TREATED WOOD STAIRS BY OWNER.
- 12 NEW REINFORCED CONCRETE SLAB

**HISTORIC DISTRICT COMMISSION
COMPLIANCE WITH
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OK REQUIRED *6/24/2013*

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDC 2013-057

DUZAN GARAGE

2128 PARK ROAD - CHARLOTTE, NC 28203

Project #: 00-00
Date: 03.09.13
Scale: 1/8" = 1'-0"

Drawings are property of Redline. Do not
scale drawings. Report any
discrepancies with field conditions or
inaccurate dimensions to Architect.

A0.0
Pricing Docs
Site Plan

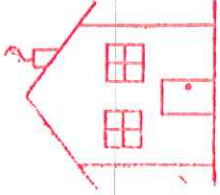
Issue Type:

HISTORIC DISTRICT COMMISSION COMPLIANCE WITH

CERTIFICATE OF APPROPRIATENESS

8K

REQUIRED 6/24/2013

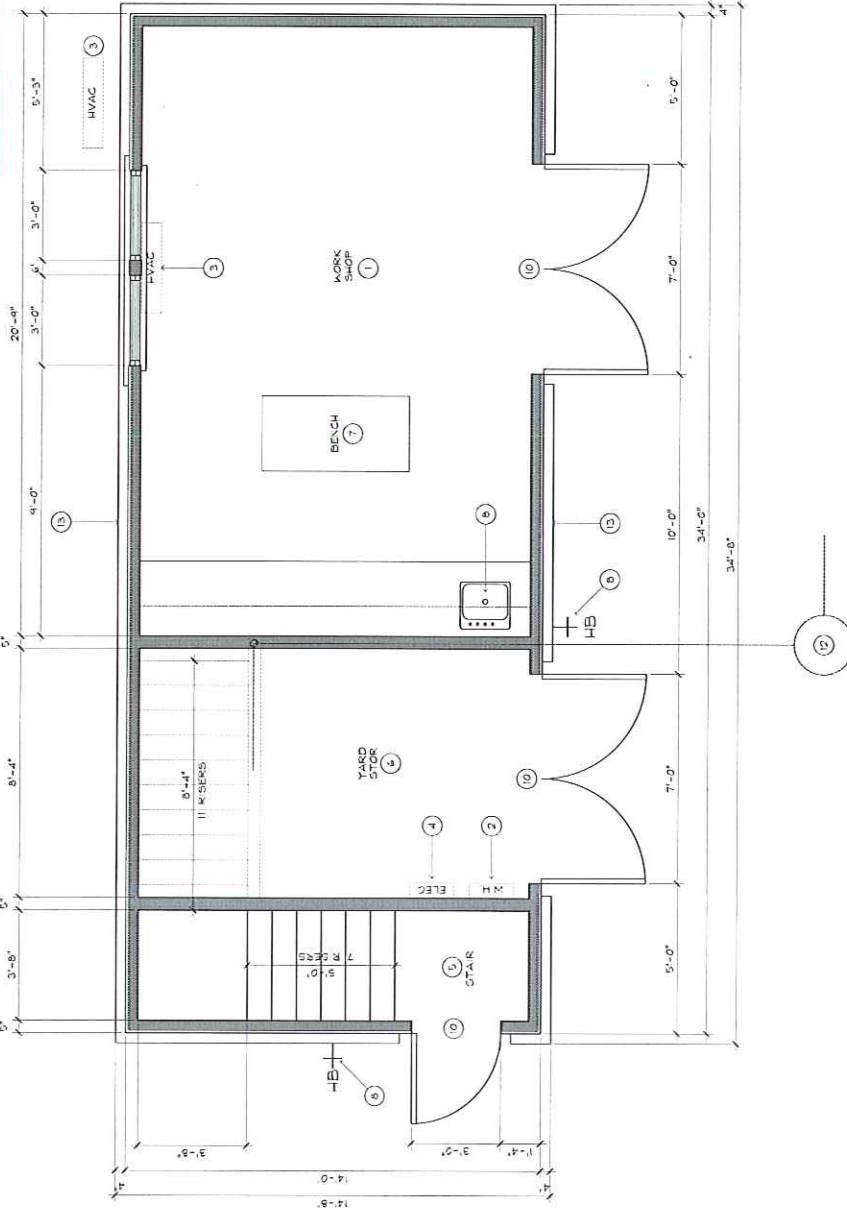


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1ST FLOOR KEY NOTES:

- 1 UNFINISHED WORKSHOP, EXPOSED CONC. FLOOR, CEILING, EXPOSED STUDS, INSULATION
- 2 TANKLESS GAS WATER HEATER, PROVIDE GAS LINE AND DEGRADATIVE 3/8" DRYWALL VENT
- 3 HVAC UNIT, ELEC. FINI SPLIT WALL UNIT, LOCATE CONDENSING UNIT TO REAR OF BLDG.
- 4 POWER PANEL SURF MTD ON WALL, SIZE PANEL FOR FUT. WOOD-WORKING SHOP W/ CAPACITY FOR FUTURE OUTLETS ON 2ND FLK.
- 5 UNFINISHED STAIR, CONC. FLOOR, EXPOSED STUDS, W/ 2" X 4" JOISTS, PROVIDE RAILING, NECESSARY DOWNLIGHTS.
- 6 UNFINISHED YARD STORAGE ROOM, CONC. FLOOR, EXPOSED STUDS, BATT INSULATION.
- 7 FUTURE WOOD-WORKING BENCH BY OWNER.
- 8 FUTURE DROP-IN SINK & FAUCET LOCATION, ROUGH-IN PLUMBING AS NEEDED, G.C. TO CONNECT WATER/SEWER.
- 9 FUTURE MILLWORK/CABINETS BY OWNER.
- 10 8'-0" TALL FIBERGLASS ARCH, CRATTPAN FLOOR, PROVIDE 1/2" X 1/2" BRICK, PAINT BK GREEN TO MATCH EXIST. NON BRICK MLD FRAME, PROVIDE HEATER STRIPPING, LOCKABLE HARDWARE W/ STRAPPING, (O.L. RUBBER DOWELS.)
- 11 PROVIDE FREEZE-PROOF WATER HOSE BIBB AT 12" AFF IN BRICK.
- 12 SEWAGE LIFT STATION, LOCATION TBD, PROVIDE POWER AND PIPE THRU YARD TO HOUSE SEWER LINE CONNECTION.
- 13 LINE OF BRICK WATER TABLE BELOW

ALTERNATES:

- 1 PROVIDE PRICE TO HANG & FINISH DRYWALL IN ALL OF 1ST FLOOR SPACES, INCLUDING 8" TALL 1X WOOD BASE, NO PAINTING.
- 2 PROVIDE PRICE TO HANG & FINISH DRYWALL IN ALL OF 2ND FLOOR SPACES, INCLUDING 8" TALL 1X WOOD BASE, NO PAINTING.
- 3 STAIRS, PROVIDE SOLID OAK TREADS, W/ PAINTED FINISH, MATCH EXISTG. PROVIDE PAINTED 1X RUGS.
- 4 USE CEDAR SHAKES W/ANES IN LIEU OF INDIVIDUAL SHAKES FOR COST SAVINGS.
- 5 PRICE ALL EXTERIOR DOORS AS 8" TALL DOORS IN LIEU OF 6'-0".

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Issue Type:

A1.0

Printing Date:

1st Flr Plan