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**LOCAL HISTORIC DISTRICT:** Dilworth

**ADDRESS OF PROPERTY:** 405 East Tremont Avenue

**SUMMARY OF REQUEST:** Demolition and New Construction - Single Family Home

**OWNER:** Aya Kashkash

**APPLICANT:** Osama Esmail

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### **Details of Proposed Request**

#### *Existing Conditions*

The subject property is a one story brick duplex built in 1950, it is not listed as a contributing structure in the National Register. The length of the existing structure is approximately 62 feet. Adjacent structures along the block include a duplex and various types of one and two storey single family homes. Setbacks along the block are generally consistent.

#### *Proposal*

The applicant requests approval for demolition of the duplex. The proposal is for the construction of a new one and one half story home. Details of the home include:

- Brick foundation
- Squared columns
- Full width front porch, 7' in depth
- Traditional style windows
- Wood siding
- Exposed rafter tails
- Wood details (Columns, railing, pickets, brackets, corner boards)
- Cedar accent siding on the gables and dormer

### **Proposal - Updated for October 9, 2013 Hearing**

Based on comments from September. The site plans have been revised to show the mature tree in the front and setback dimensions. The proposed front setback shown is 22' from the property line to the porch and 29' to the thermal wall. This measurement is consistent with the existing setbacks from the survey and consistent with the adjacent structures. The overall size of the house has been reduced to resemble a 1.5 storey home consistent with other homes on the street. The front elevation has been simplified by adding a shed dormer and hip roof, and removing the gable over the entrance. The porch columns have been redesigned, adding brick piers under squared posts. The side elevations reveal a smaller second story and additional fenestration. The height of the home is 26' – 10" measured from the ground.

**Proposal-Updated for November 13, 2013 Hearing**

Based on comments from October. A revised site plan has been submitted including plans that show setbacks along the street. A streetscape drawing with heights of adjacent structures has been provided. A letter from an arborist outlines the tree protection plan. Samples of the brick and window details have been submitted. The revised elevations include additional dimensions. The primary façade materials are brick and wood.

**Policy & Design Guidelines for New Construction**

HDC Design Policy on Additions requires that additions be evaluated according to the following:

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
<b>1. Size</b>	<i>the relationship of the project to its site</i>
<b>2. Scale</b>	<i>the relationship of the building to those around it</i>
<b>3. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>4. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>5. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>6. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>7. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>8. Context</b>	<i>the overall relationship of the project to its surroundings</i>
<b>9. Landscaping</b>	<i>as a tool to soften and blend the project with the district</i>

- 2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
- 3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
- 4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis**

Staff believes the proposal meets the Guidelines for Size, Scale, Massing, Fenestration, Materials, Rhythm, Setback, Landscaping and Context.

Regarding materials, the Guidelines (pages 48-49) state:

**Traditional Building Materials**

- 1. The use of historically traditional building materials is strongly encouraged in all renovation, addition and new construction projects in Local Historic Districts.
- 2. Historic precedents in the visual context of any project indicate appropriate choices for building materials.
- 3. All building materials must match the character of the existing structure and/or the streetscape in design, texture and other visual qualities.

## **Non-Traditional Building Materials**

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
  - Vinyl
  - Aluminum or other metal sidings
  - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

# Charlotte Historic District Commission - Case 2013-130



-  405 East Tremont Av.
-  Dilworth Local Historic District
-  Property Lines
-  Building Footprints

Map Printdate:  
July 23, 2013

0 100 200 400 Feet



Washington Ave

E Tremont Ave

Euclid Ave

Euclid Ave

Euclid Ave

E Tremont Ave

A

# 405 East Tremont Avenue



400 and 404



404 and 408



408 and 412



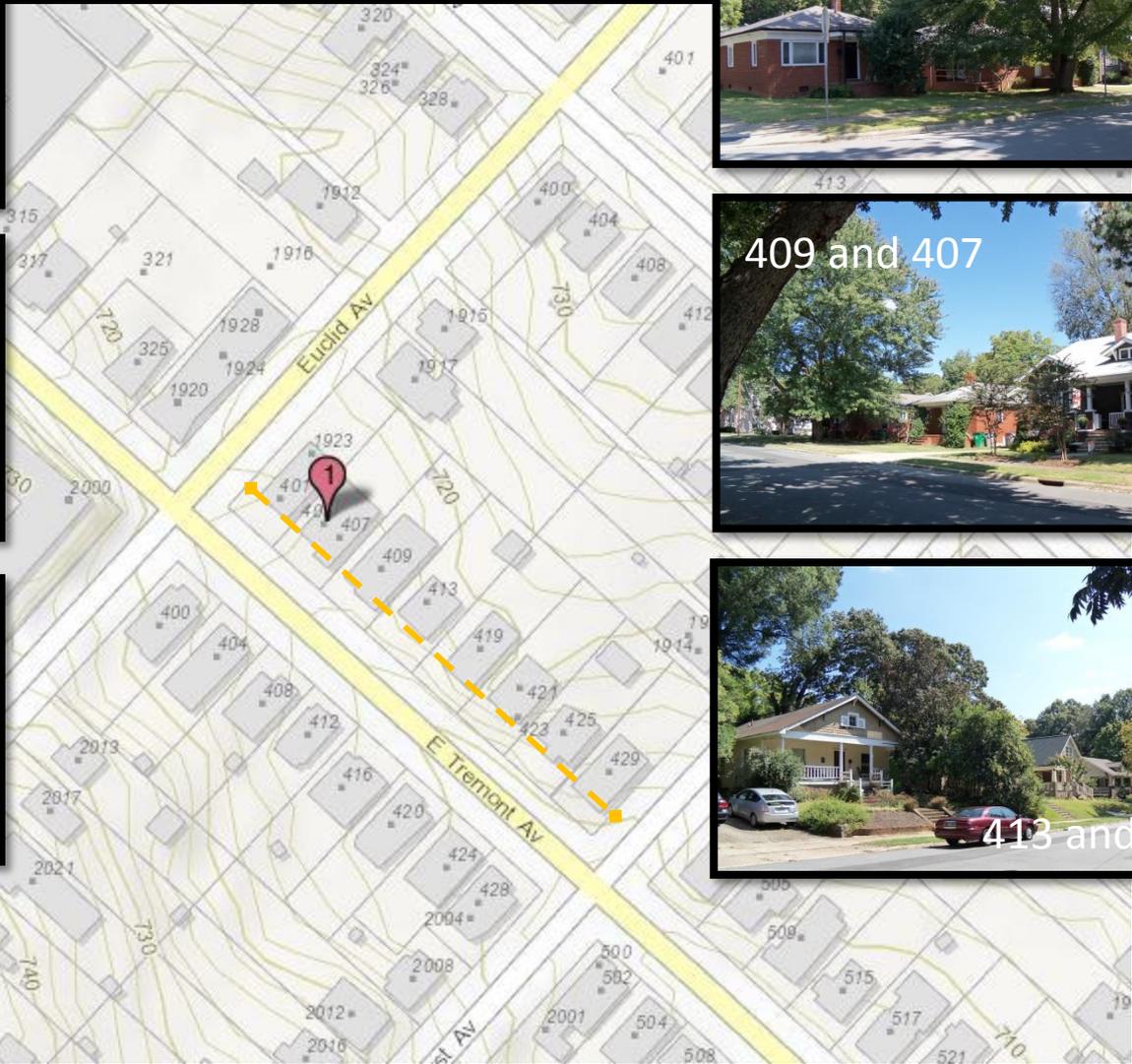
401 and 407

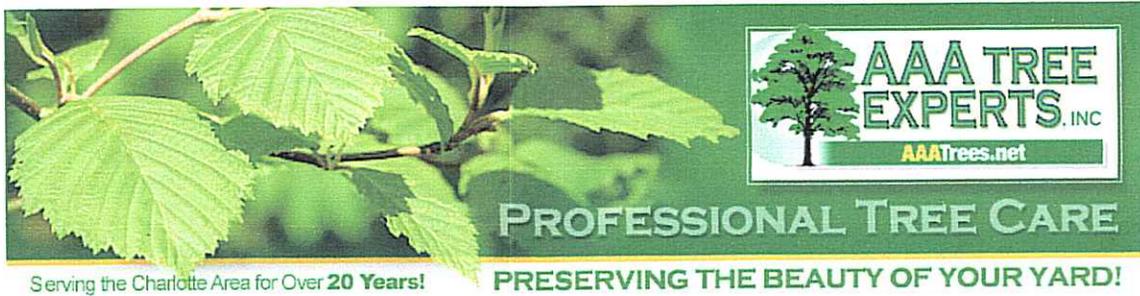


409 and 407



413 and 419





**October 25, 2013**

**Re: Tree protection at 405/407 E. Tremont Avenue.**

**ATTN: Sam**

**AAA Tree Experts, Inc. has been commissioned to consult and assist with tree protection for the maple tree in the front yard of 405 E. Tremont Avenue.**

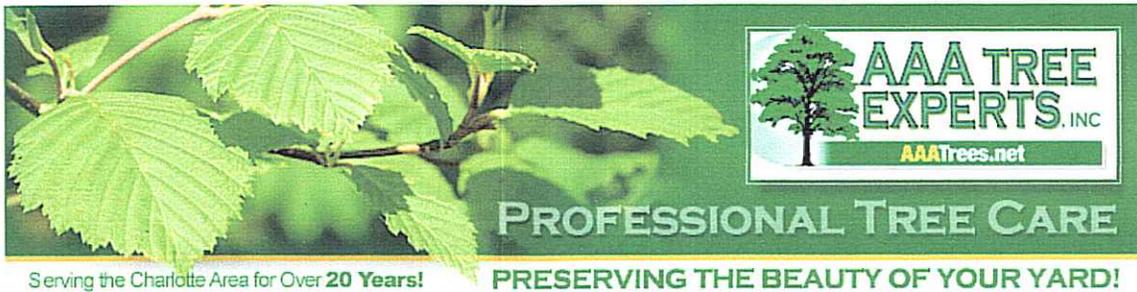
**We will utilize best practices as defined by erecting a barrier to create a TPZ (tree protection zone). No grading, excavating or construction activity will occur in this zone. This zone will be defined by a construction fence.**

**Establishing and maintaining this area will significantly reduce the risk of above ground damage to the tree and also soil compaction within the barrier in the root zone of the tree.**

**The intent of the TPZ is to protect the above ground portion of the tree and the root system.**

**Thank you and we look forward to serving your arboricultural needs in the future.**

**Sincerely,  
Wayne Neal/Owner certified arborist #SO-5621A  
704-449-7289  
AAA Tree Experts, INC.**



**Licensed, Bonded, and Insured**

**Agent:**

**Moore & Johnson Agency  
P.O. Box 17567  
Raleigh, NC 28619**

**General Liability:**

**Northfield Insurance Company  
#CP564267**

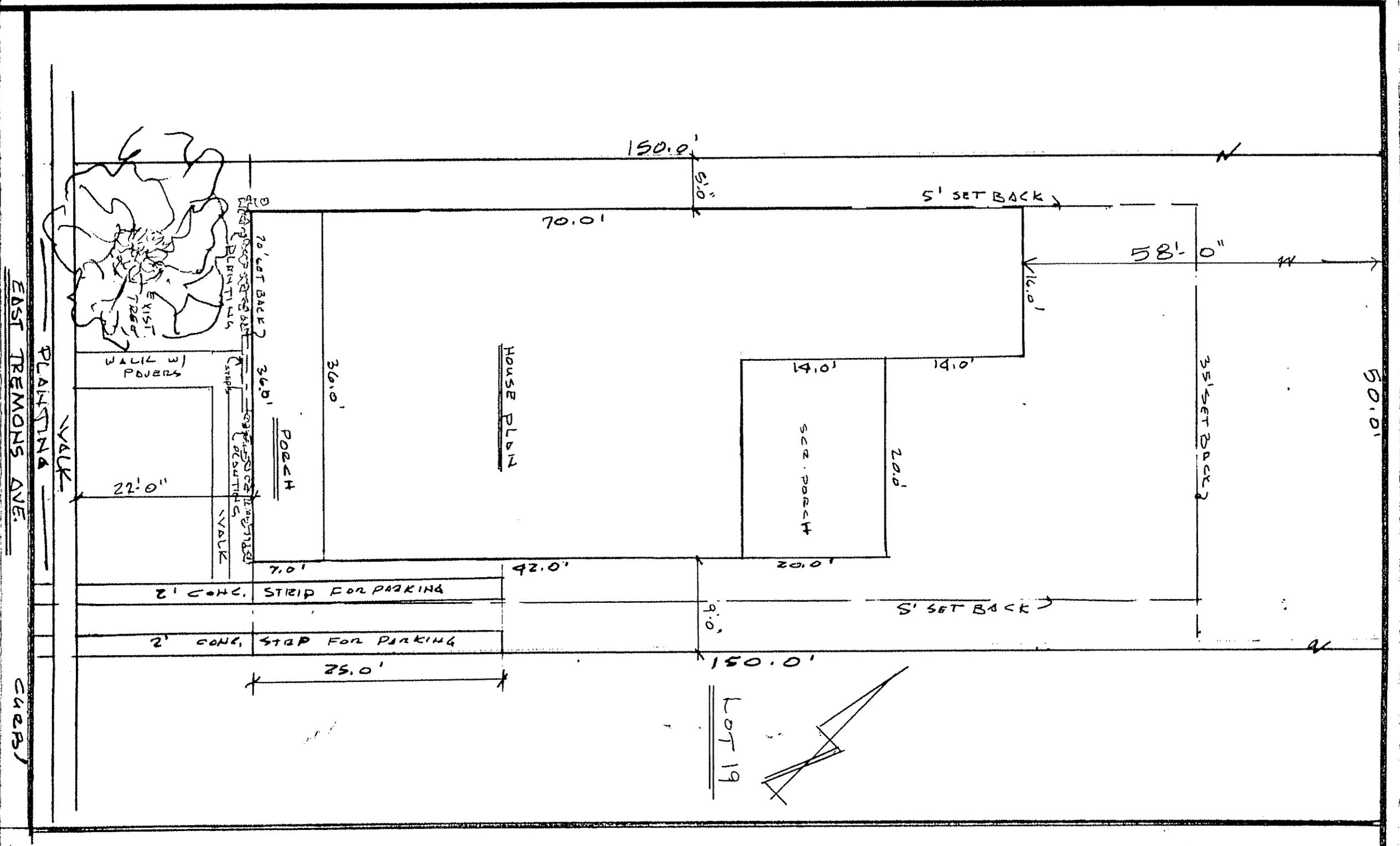
**Worker's Comp Employer Liability:**

**American Interstate Insurance  
#AVWCNC1932652010**

# Topography Map for 405/407 E. Tremont Ave.







EAST TREMONS AVE.

CURB

PLANTING WALK

WALK W/ POWERS

70' LOT BACK SETBACK PLANTING  
WALK W/ POWERS  
WALK  
POUCH  
SCREEN PORCH  
WALK

HOUSE PLAN

LOT 19

150.0'

70.0'

36.0'

22'-0"

7.0'

2' CONC. STRIP FOR PARKING

2' CONC. STOP FOR PARKING

25.0'

42.0'

9.0'

150.0'

14.0'

20.0'

20.0'

14.0'

5' SETBACK

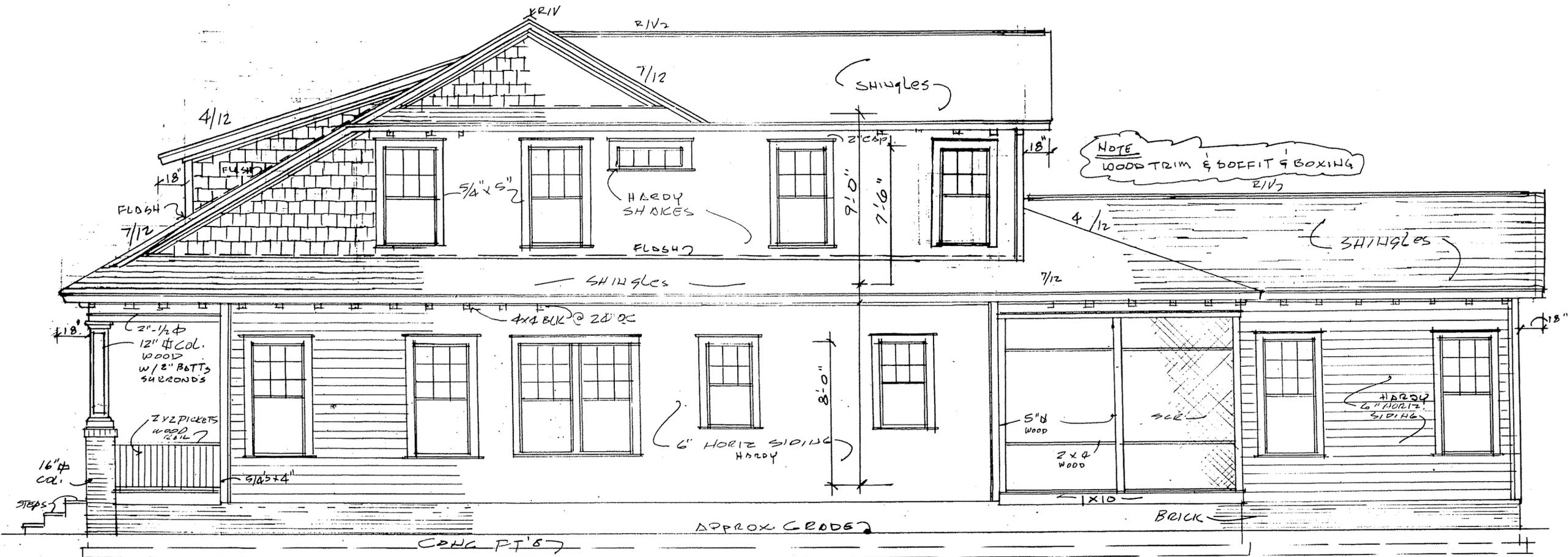
58'-0"

3' SETBACK

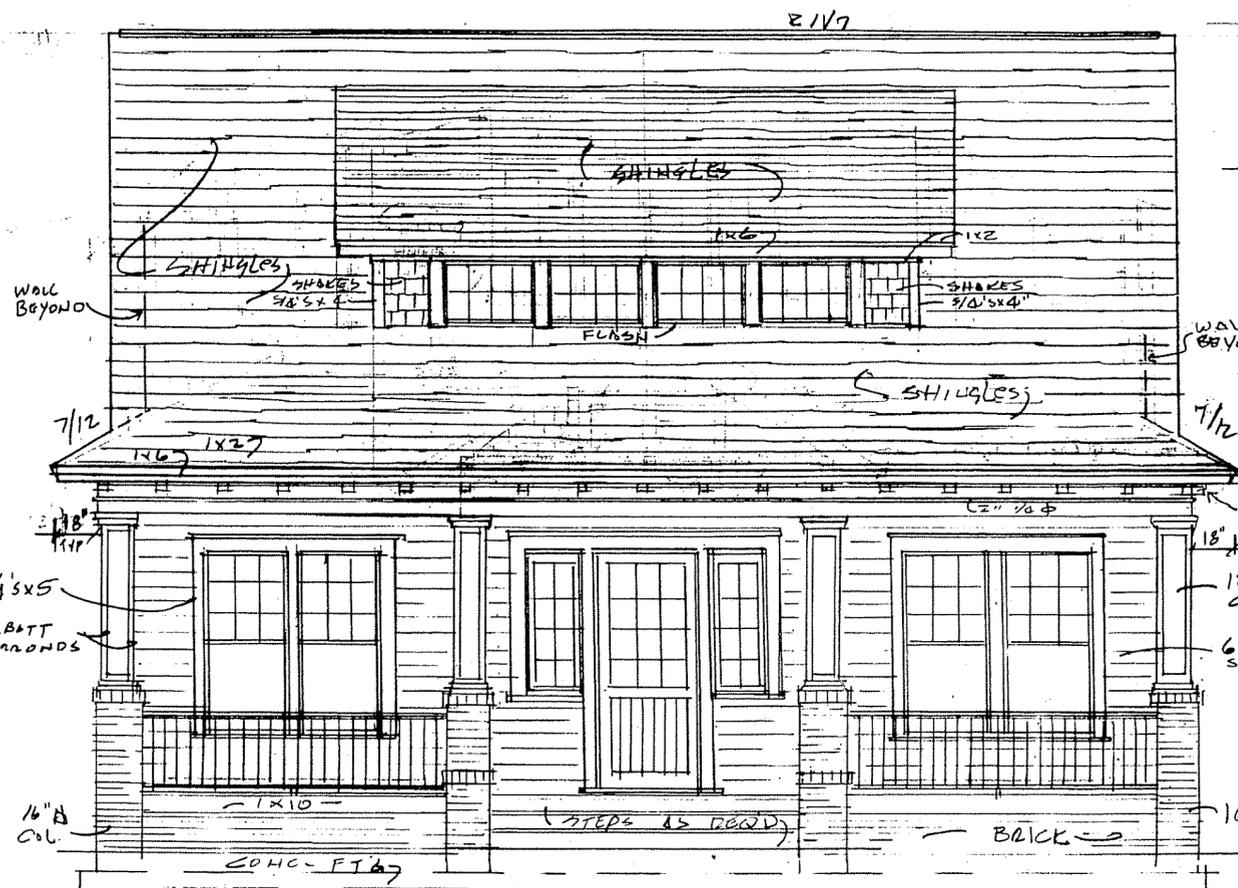
50.0'

N

N



RIGHT SIDE ELEVATION - 1/4" = 1'-0"



FRONT ELEVATION - 1/8" = 1'-0"

OCTOBER 2013

Drawings, specifications and related items are, and remain the property of the designer. The client's right is conditional and limited for a one time use, to construct a single project on the specific property, as stated herein. Plans may not be sold, loaned, or given to others for the purpose of constructing another project. Possession of plans does not authorize continued use of same for construction of other projects. Plans may not be reproduced in any manner for any purpose without written consent of the designer.

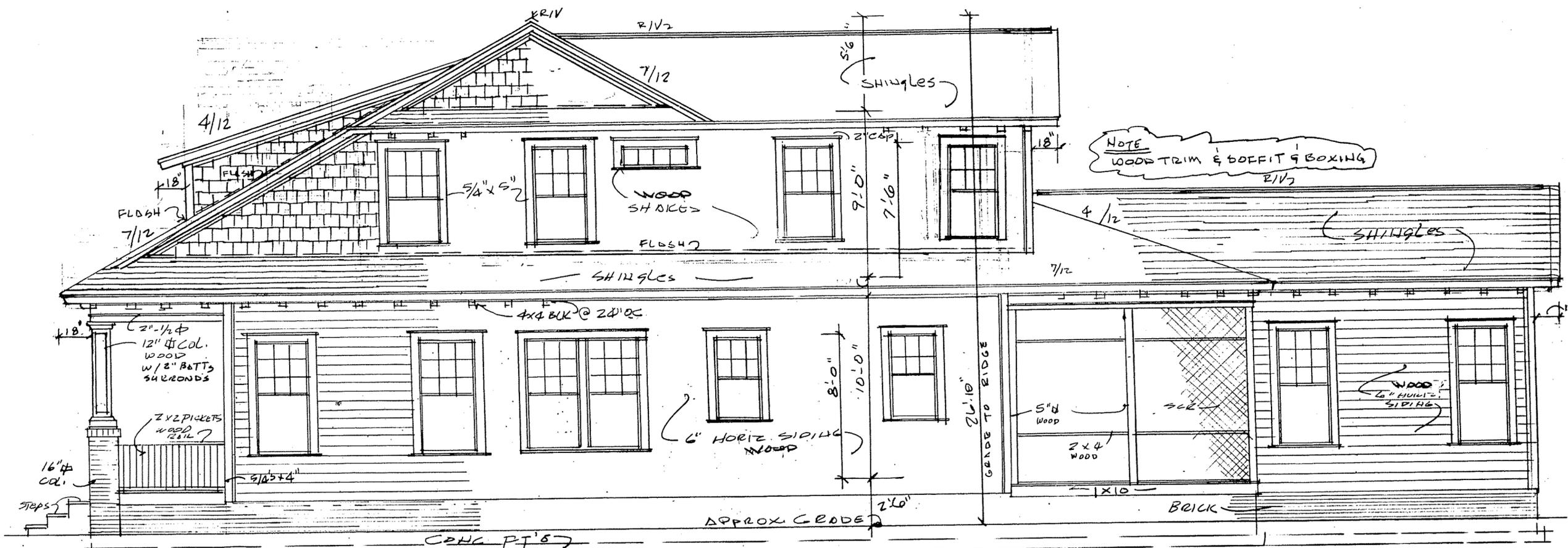
To the best of his knowledge, the designer has prepared these plans to comply with the client's specifications and local building codes in effect at the time. Although every reasonable effort has been made to avoid errors, omissions, and mistakes, the contractor and/or client shall verify all conditions, dimensions, details, and specifications. The designer will not be liable for human error after construction begins.

Leo A. Kirkman  
residential design  
telephone 704-538-2532 office  
5221 monroe road charlotte, north carolina 28205

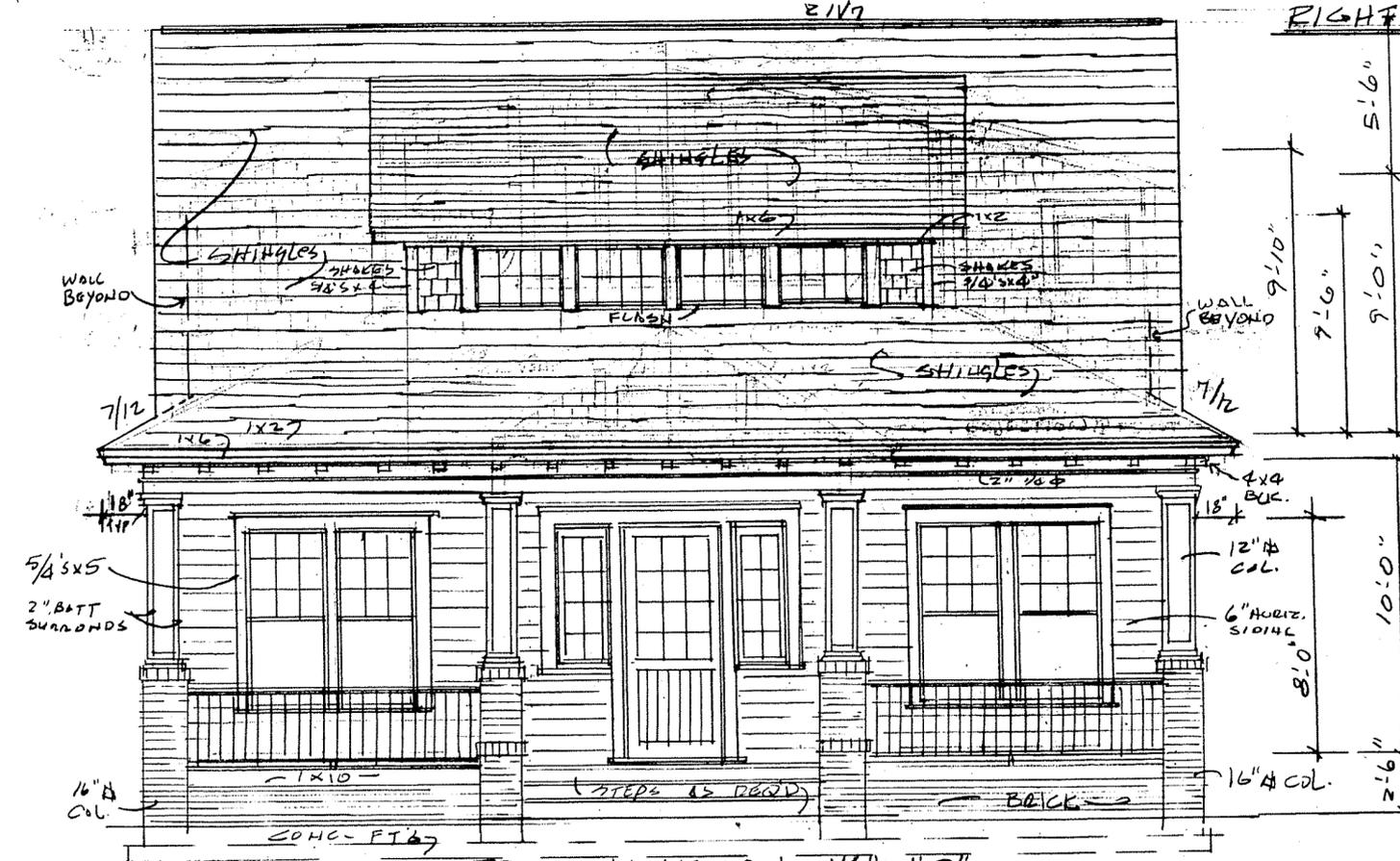
DATE	REVISIONS	DATE	SHEET DESCRIPTION
9/21/13			ELEVATIONS

PROJECT NAME  
MR. SAM ESMAIL  
EAST TREMONT AVE (LOT 19)  
PLAN # 3797

SHEET  
OF



RIGHT SIDE ELEVATION - 1/4" = 1'-0"



FRONT ELEVATION - 1/4" = 1'-0"

**NOVEMBER 2013**

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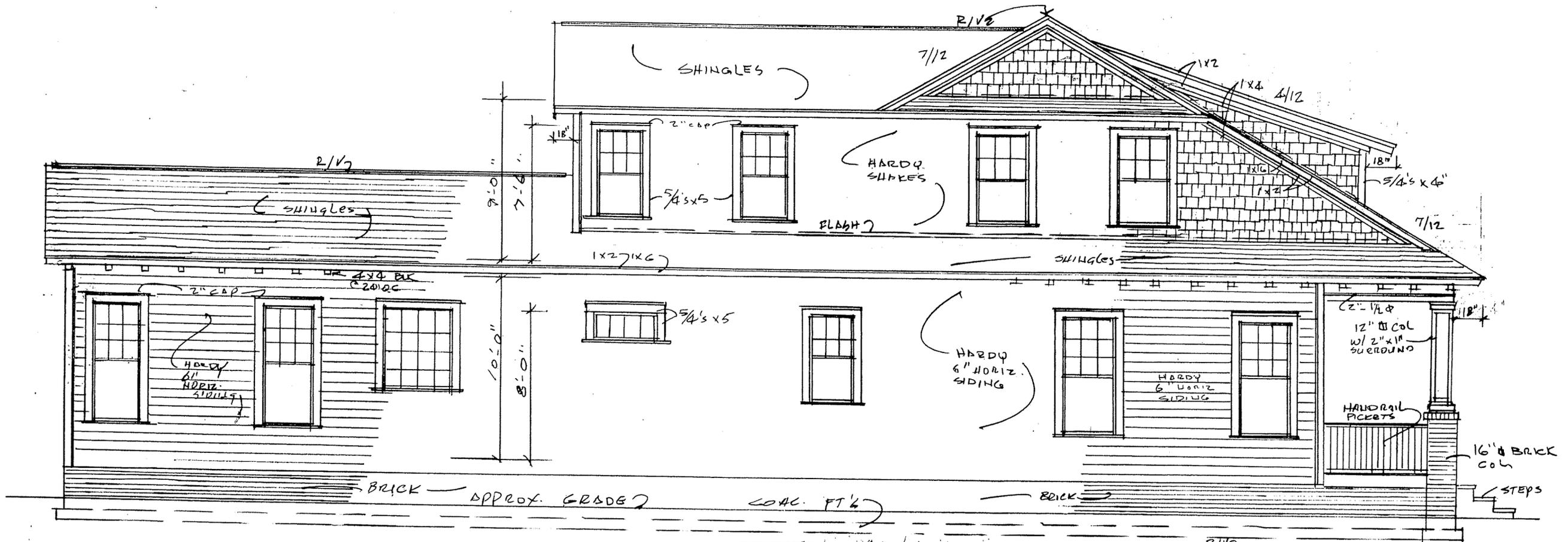
Leo A. Kirkman  
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DATE	REVISIONS	DATE
		9/21/13
		DRAWN BY: LAK
		CHECK BY:

SHEET DESCRIPTION  
ELEVATIONS

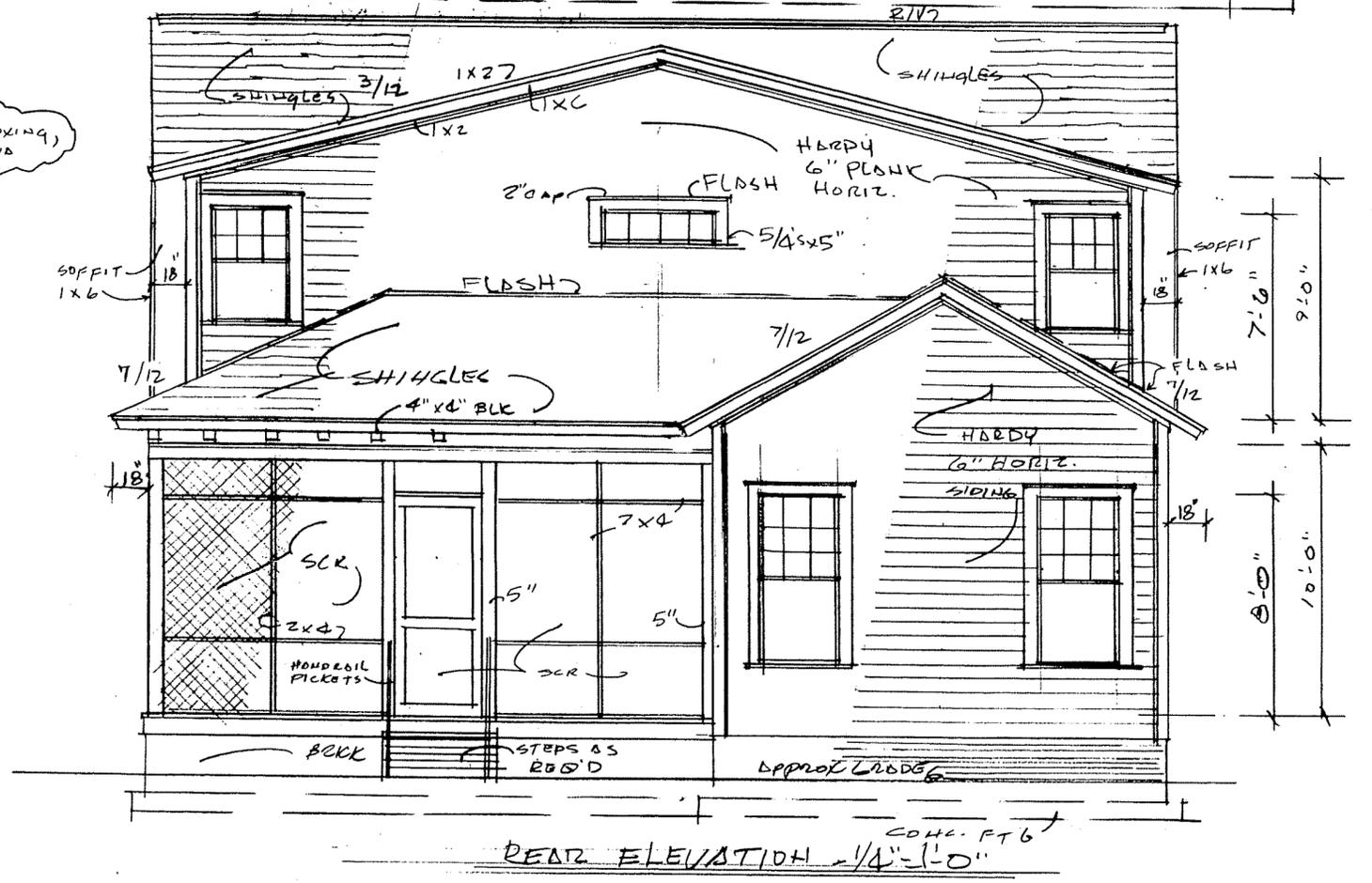
PROJECT NAME  
MR. SAM ESMAIL  
EAST TREMONT AVE (LOT 19)  
PLAN # 3797

SHEET  
2  
OF  
8



LEFT SIDE ELEVATION 1/4" = 1'-0"

NOTE!  
WOOD TRIM, BOXING,  
SOFFIT & FASCIA



REAR ELEVATION 1/4" = 1'-0"

OCTOBER 2013

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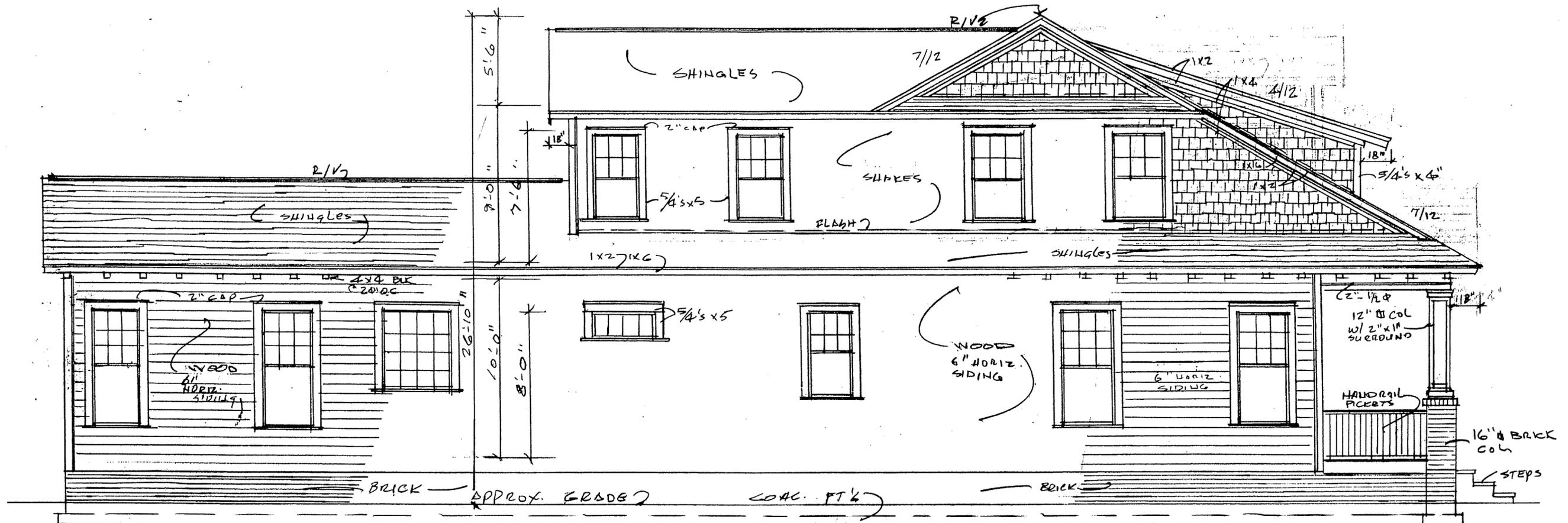


DATE	REVISIONS	DATE
		9/21/13
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SHEET DESCRIPTION  
ELEVATIONS

PROJECT NAME  
MR. SAM ESMAIL  
EAST TREMONT AVE (Lot 19)  
PLAN # 3797

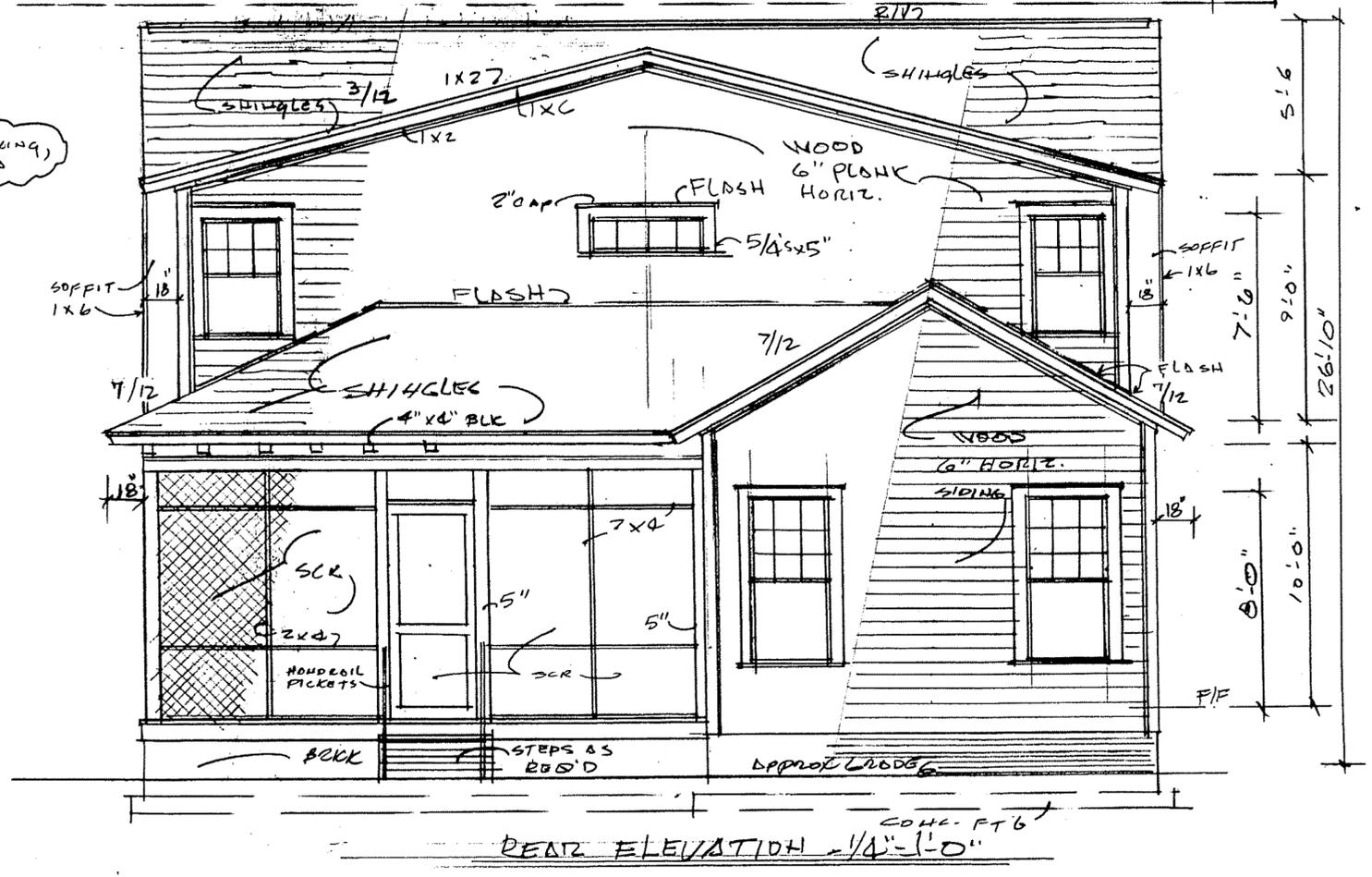
SHEET  
2  
OF



LEFT SIDE ELEVATION: 1/4" = 1'-0"

NOTE!  
WOOD TRIM, BOXING,  
SOFFIT & FASCIA

**NOVEMBER 2013**



REAR ELEVATION: 1/4" = 1'-0"

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			DATE REVISIONS _____ _____ _____	DATE: 7/21/13 DRAWN BY: LAK CHECK BY: _____	SHEET DESCRIPTION <b>ELEVATIONS</b>	PROJECT NAME <b>MR. SAM ESMAIL</b> <b>EAST TREMONT AVE (LOT 19)</b> <b>PLAN # 3797</b>	SHEET <b>2</b> OF <b>2</b>



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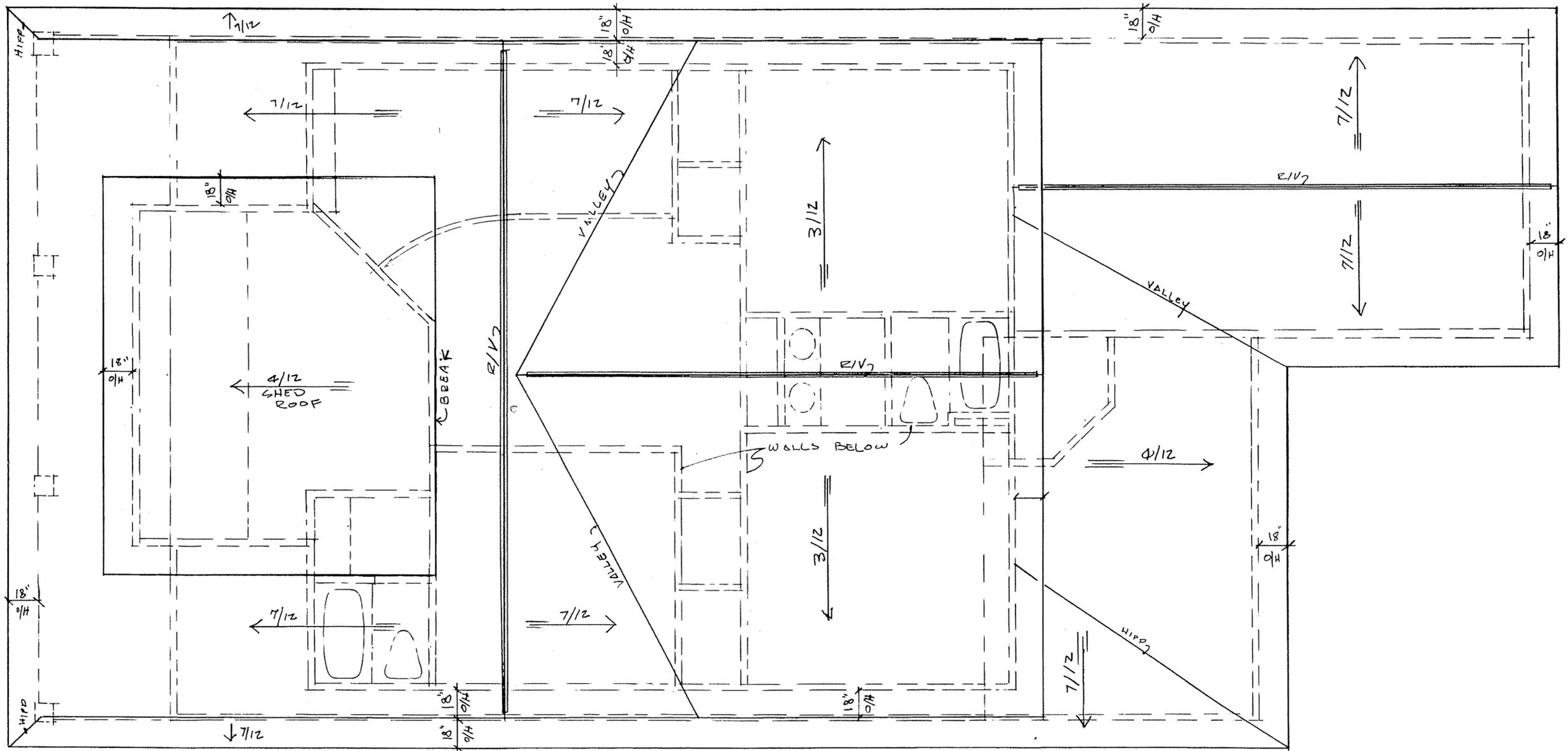
DATE	REVISIONS
10/28/13	

**SHEET DESCRIPTION**  
 STREET SCAPE

DATE: 10/28/13  
 DRAWN BY: LAK  
 CHECK BY:

**PROJECT NAME**  
 MR. SAM ESMAIL  
 405 EAST TREMONT AVE  
 PLAN # 3797

**SHEET**  
 OF



ROOF LAY-OUT - 1/4" = 1'-0"

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26205

DATE	REVISIONS

DATE: 9/21/13  
DRAWN BY: L.A.K.  
CHECK BY:  

SHEET DESCRIPTION

ROOF LAY-OUT

PROJECT NAME

MR. SAM ESMAIL  
EAST TREMONT AVE. (LOT 17)  
PLAN # 3797

SHEET

6  
OF