
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1915 Lyndhurst Avenue

SUMMARY OF REQUEST: Rear and Second Story Addition

OWNER: Timothy Sheriff

APPLICANT: Janice Finein, Architect

Details of Proposed Request

Existing Conditions

The single family house is listed as a contributing structure in the National Register of Historic Places. Built in 1903, the one story home has a “Triple-A roof with rear ell, full façade porch on replacement posts on piers and singled façade gable ends.” The curved front porch encroaches in to the setback. The existing windows are steel framed and not consistent with the overall design of the home. There are four homes within the block that face Lyndhurst, three single story and one two story.

Proposal

The proposal is an addition to the rear, a new second story, new front porch and detached garage in the rear yard. The second story will generally be an extension of the first story and retain one of the gables on the front elevation. The existing windows will be replaced with traditional double hung 4/1 and 6/1 windows. An existing, substandard rear addition will be replaced. The proposed siding is a cementitious product. The new full width porch will have a traditional design with a brick base and tapered columns. In the rear yard a deck and detached garage are planned. The garage will be accessed by a side alley and not fully visible from the street.

Proposal-Updated for September 11, 2013 Hearing

Based on comments from the previous HDC meeting the applicant has proven the existing curved porch is not original and that the proposed porch design is architecturally consistent with the home as well as other homes in the area. The applicant has also provided additional photos of houses along the block. The material for the “main structure” has been changed to wood lap siding on the façade and cedar shingles along the dormers and rear gable. Trim materials proposed are cementitious. The new garage is subordinate to the principal structure and not visible from the street. However, materials on the home are replicated on the garage.

Policy & Design Guidelines

HDC Design Policy on Additions requires that additions be evaluated according to the following:

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

Staff believes the project satisfies all of the Guidelines for Additions and does not diminish the original character of the house, nor does it appear to be out of scale with adjacent homes. The massing of the home has been improved with slight modifications including the replacement of the curved porch with a more traditional design which also reestablishes the setback.

A PROPOSED ADDITION AND RENOVATION TO THE HOME OF
TIMOTHY SHERIFF

Dilworth Neighborhood, Charlotte

1915 Lyndhurst Avenue
Charlotte, NC 28207

PRELIMINARY PRICING SET (REVISED)
NOT FOR CONSTRUCTION

21 AUGUST 2013

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CHARLOTTE, NC

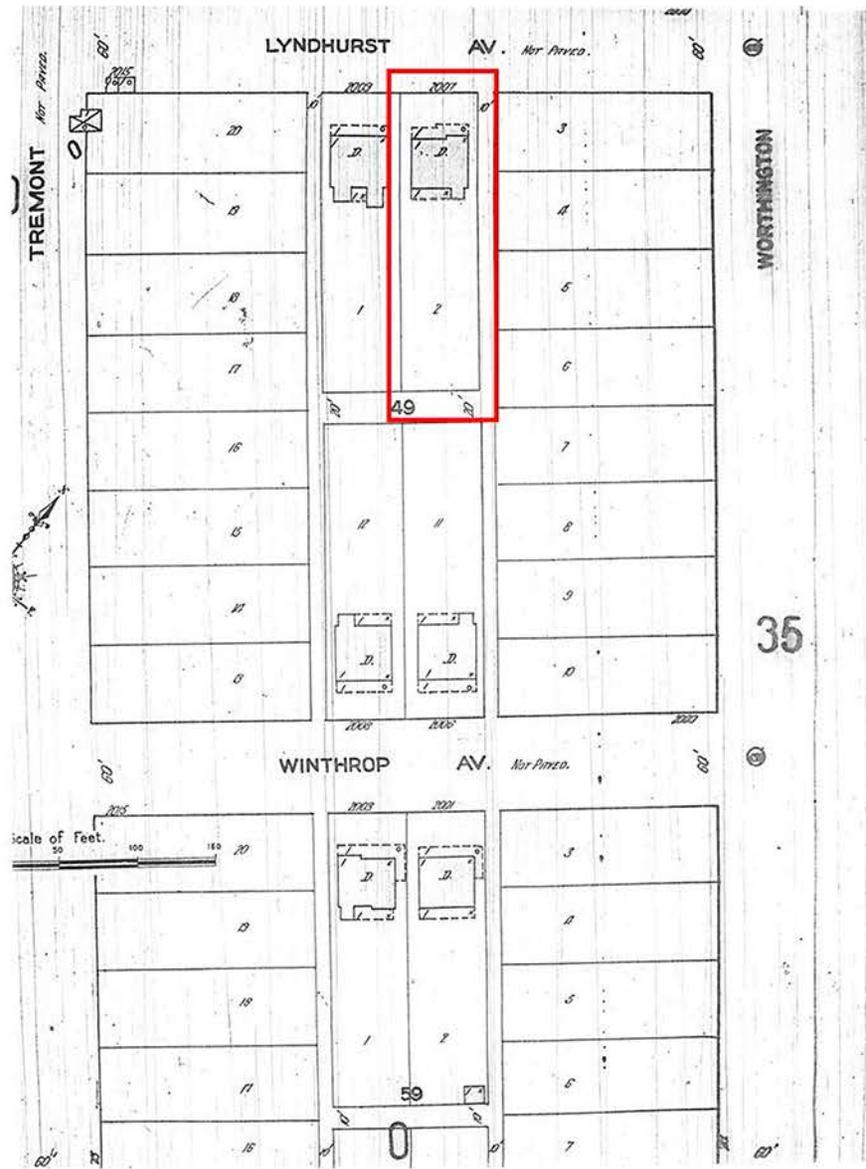
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Charlotte Historic District Commission - Case 2013-126



0 100 200 400 Feet

Map Printdate;
July 23, 2013



Existing masonite shown below aluminum siding

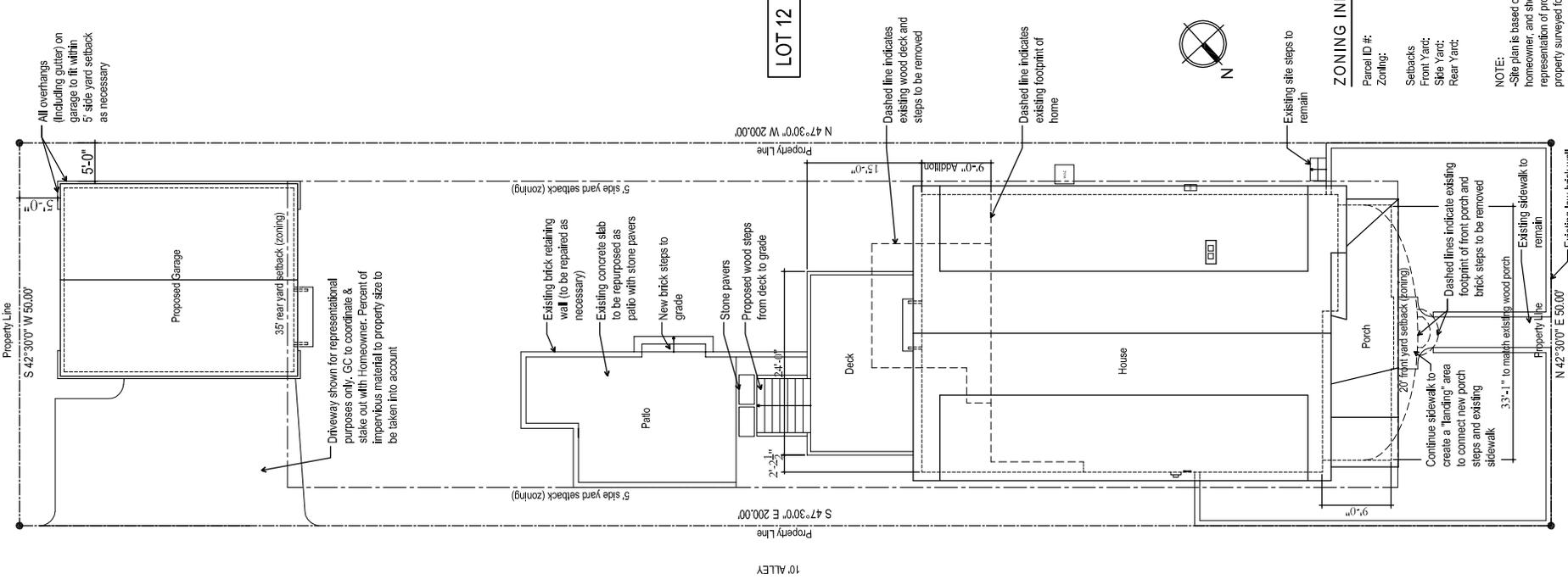
Sanborn Map from 1911 showing original footprint of 1915 Lyndhurst Avenue





AUGUST SITE PLAN

LOT 11



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SHERIFF RESIDENCE
1915 LYNDHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

SP-1
15 July 2013

ZONING INFORMATION

Parcel ID #: 12105819
Zoning: R-5

Setbacks
Front Yard: 20'-0"
Side Yard: 5'-0"
Rear Yard: 35'-0"

NOTE:
-Site plan is based on survey provided by homeowner, and should only be used as a representation of property. G.C. to have property surveyed for construction purposes.
-Foundation for addition & garage to be surveyed & planned to verify compliance with zoning setbacks prior to start of construction.

SEPTEMBER SITE PLAN

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PRELIMINARY PRICING SET

SP-1
21 AUGUST 2013

LOT 11

Property Line
S 42°30'0" W 50.00'

All drawings (including grading) shall be prepared to meet the minimum setback as necessary

Drillings shown for new water, sewer, gas, and electric shall be in accordance with all applicable codes and standards. All utility lines shall be taken into account.

Proposed Garage

35' rear yard setback (zoning)

5' side yard setback (zoning)

5' side yard setback (zoning)

Enabling brick retaining wall to support deck as necessary

Enabling concrete slab to be supported as per with future pavers

New brick steps to grade

Stone Pavers

Enabling concrete slab to be supported as per with future pavers

Proposed wood deck

10' ALLEY

Property Line
S 47°30'0" E 200.00'

Property Line
N 47°30'0" W 200.00'

LOT 12

Deck

Dashed line indicates existing wood deck that will be removed

11'0" Addition

Dashed line indicates existing footprint

House

Porch

Existing brick steps to porch

20' front yard setback (zoning)

Dashed line indicates existing footprint of front porch and brick steps to existing deck

Concrete slabs to create a "living" area to support deck and existing deck

Enabling deck to match existing deck to match to match as necessary

Enabling brick wall to match (per as necessary)

Property Line
N 42°30'0" E 50.00'

LYNDHURST AVENUE
(60' width public right of way)



ZONING INFORMATION
Parcel ID: 1208818
Zoning: R-6
Setback: 20'-0"
Front Yard: 5'-0"
Side Yard: 5'-0"
Rear Yard: 35'-0"

NOTE: This plan is based on zoning code by jurisdiction. All setbacks and setbacks are based on the representation of property. G.C. to have property surveyed for construction purposes.
-Foundation for addition & garage to be surveyed & placed to verify compliance with zoning setbacks prior to start of construction.

1

Proposed Site Plan

SP-1

Not to Scale



1 Existing Front Elevation
 EX-3 Not to Scale

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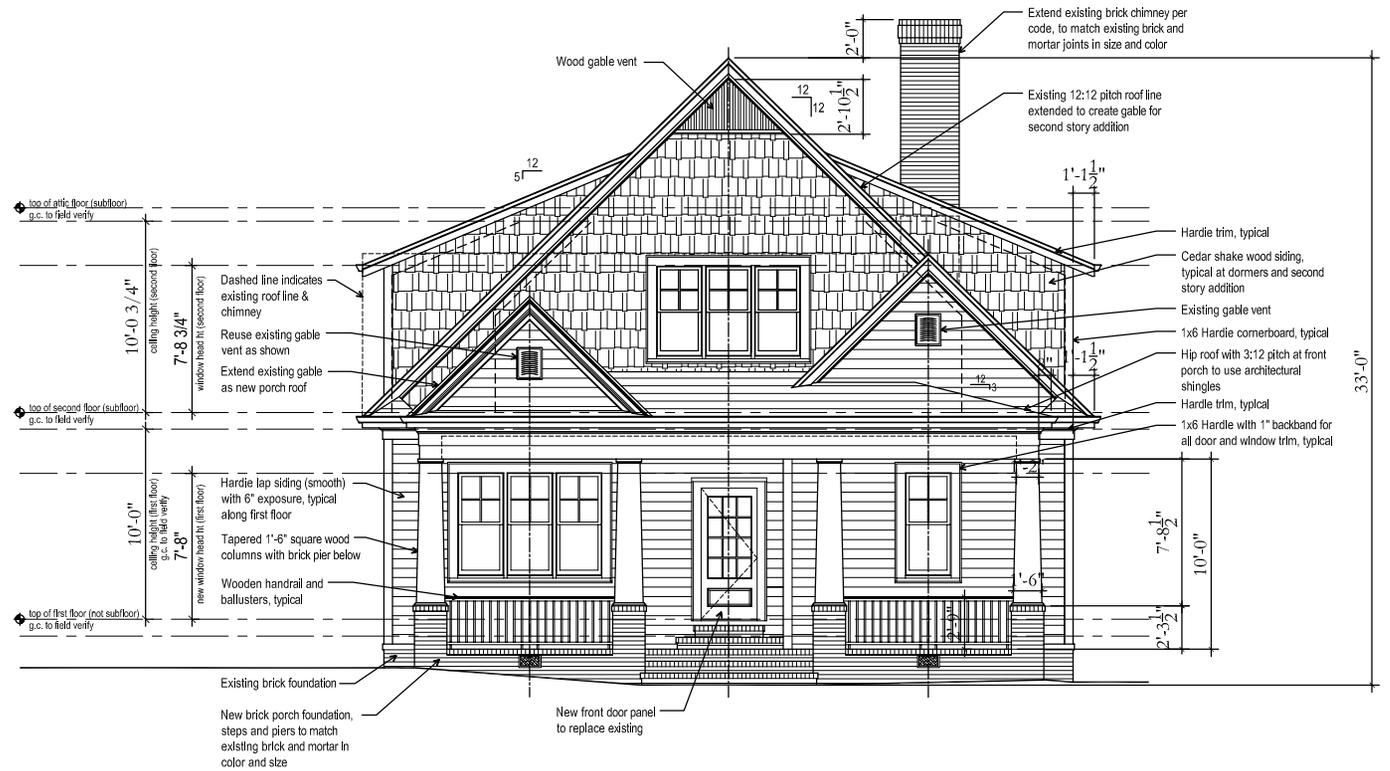
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SHERIFF RESIDENCE
 1915 LYNDHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

EX-3
 21 AUGUST 2013



1
A-4 Proposed Front Elevation
Not to Scale

**AUGUST PROPOSED
FRONT ELEVATION**

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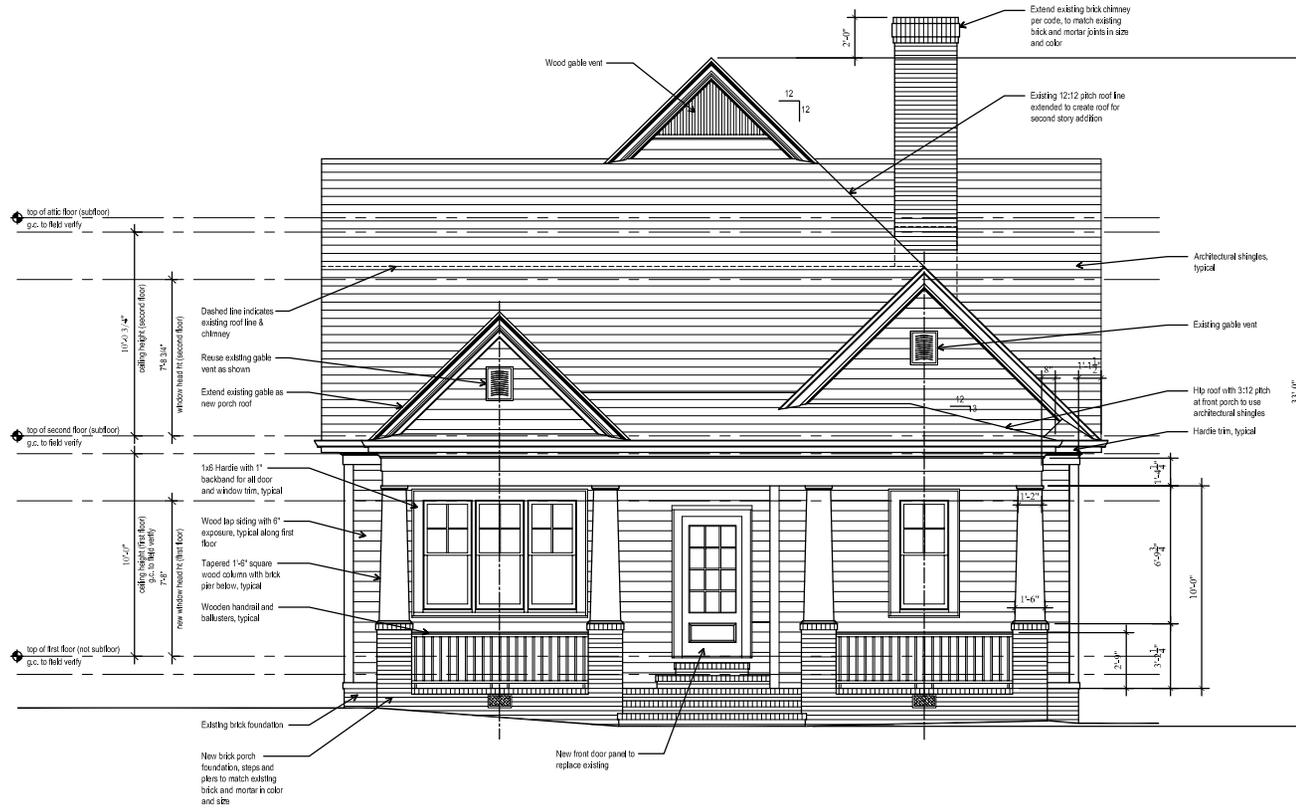
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SHERIFF RESIDENCE
1915 LYNTHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-4
15 July 2013



1
A-4 Proposed Front Elevation
Not to Scale

**SEPTEMBER PROPOSED
FRONT ELEVATION**

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PRELIMINARY PRICING SET

A-4
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1 Existing Right Side Elevation
 EX-4 Not to Scale

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SHERIFF RESIDENCE
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PRELIMINARY PRICING SET

EX-4
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1 Proposed Right Side Elevation
A-5 Not to Scale

**AUGUST PROPOSED
RIGHT SIDE ELEVATION**

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PRELIMINARY PRICING SET

A-5
15 July 2013



1 Proposed Right Side Elevation
 A-5 Not to Scale

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SEPTEMBER PROPOSED
 RIGHT SIDE ELEVATION

SHERIFF RESIDENCE
 1915 LYNDHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

A-5
 21 AUGUST 2013



1 Existing Rear Elevation
 EX-5 Not to Scale

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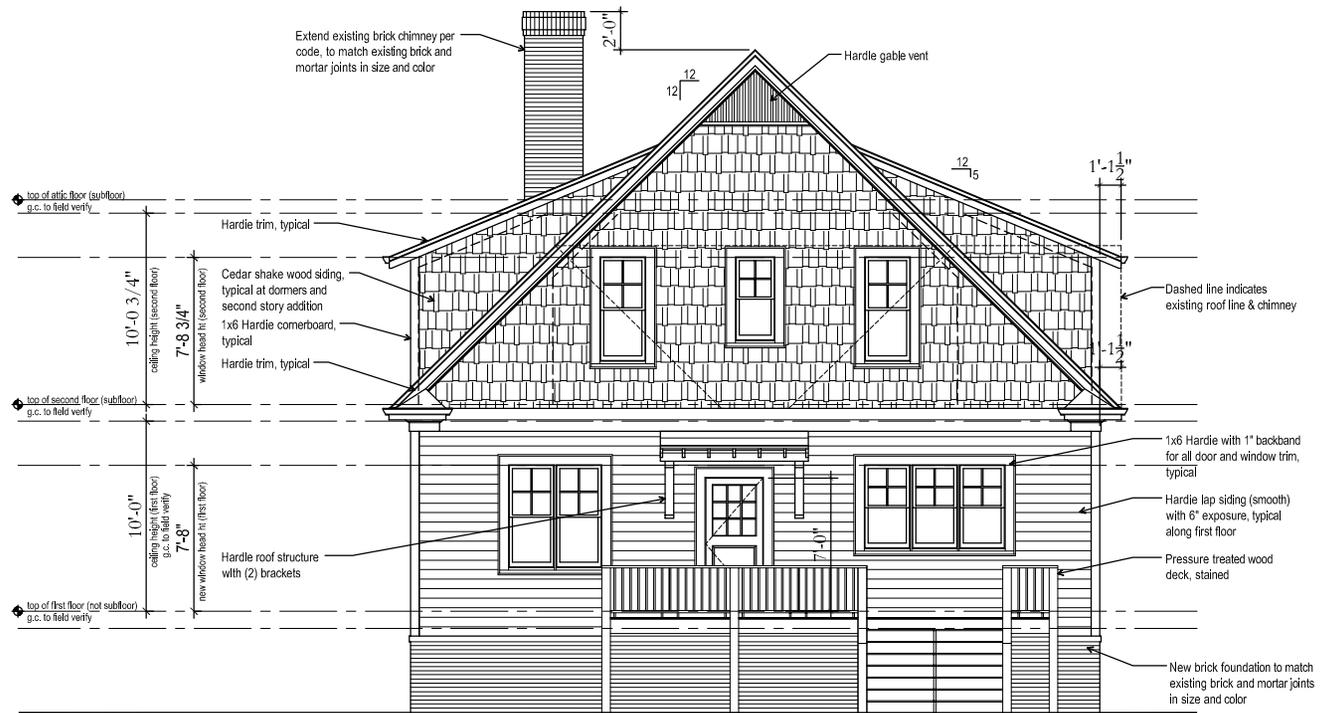
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PRELIMINARY PRICING SET

EX-5
 21 AUGUST 2013



1
A-6 Proposed Rear Elevation
Not to Scale

AUGUST PROPOSED REAR ELEVATION

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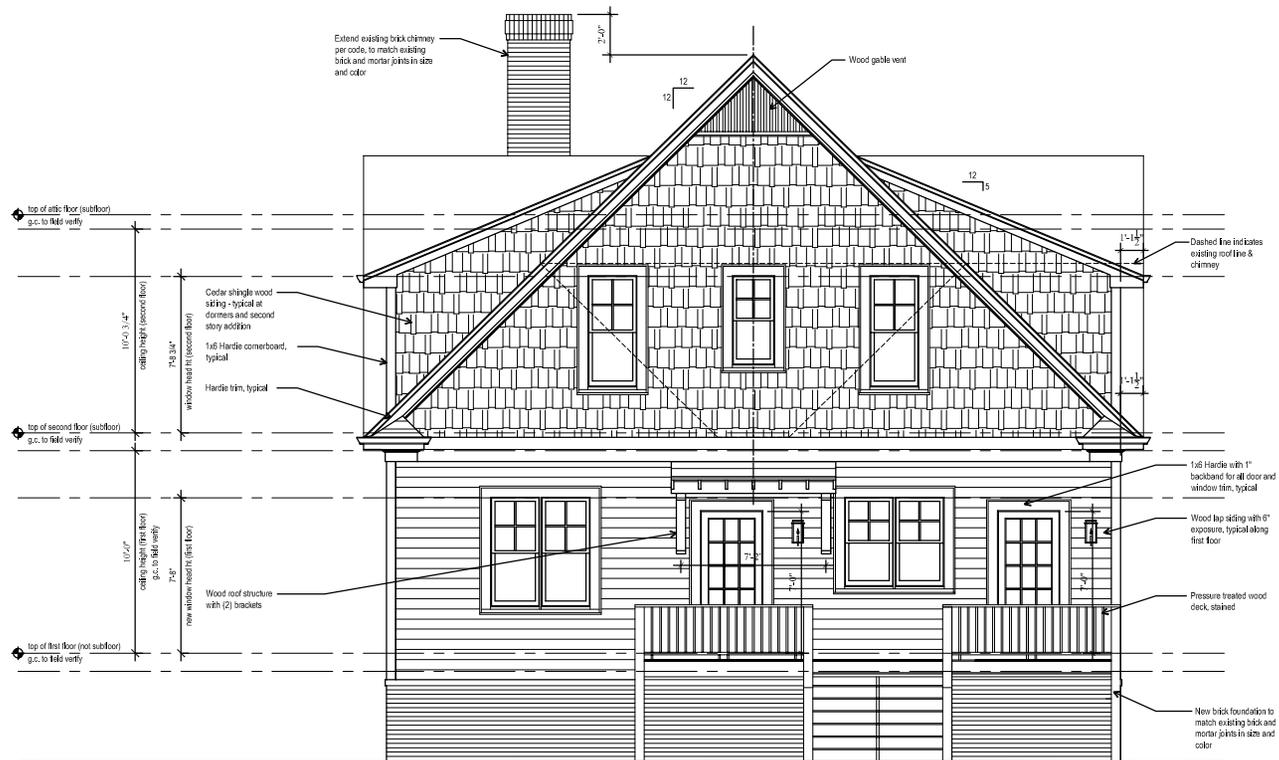
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PRELIMINARY PRICING SET

A-6
15 July 2013



1
A-6 Proposed Rear Elevation
Not to Scale

SEPTEMBER PROPOSED
REAR ELEVATIONS

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PRELIMINARY PRICING SET

A-6
21 AUGUST 2013



1 Existing Left Side Elevation
 EX-6 Not to Scale

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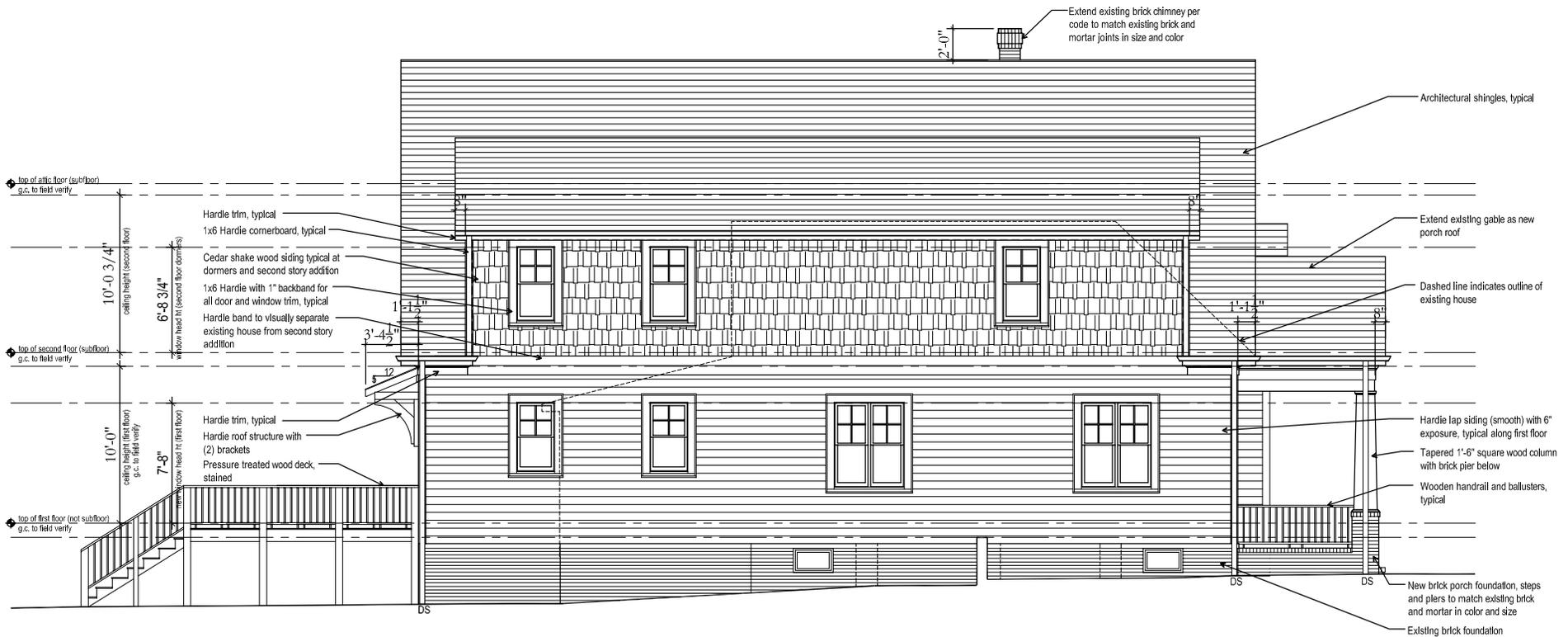
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 1915 LYNDHURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

EX-6
 21 AUGUST 2013



1 Proposed Left Side Elevation
 A-7 Not to Scale

AUGUST PROPOSED LEFT SIDE ELEVATIONS

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PRELIMINARY PRICING SET

A-7
 15 July 2013



1
A-7 Proposed Left Side Elevation
Not to Scale

**SEPTEMBER PROPOSED
LEFT SIDE ELEVATION**

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PRELIMINARY PRICING SET

A-7
21 AUGUST 2013



1915 Lyndhurst Avenue (Existing Home)



1919 Lyndhurst Avenue (Neighboring Home)



Lyndhurst Avenue - Dilworth Neighborhood
Existing block between E. Worthington and Tremont Ave.



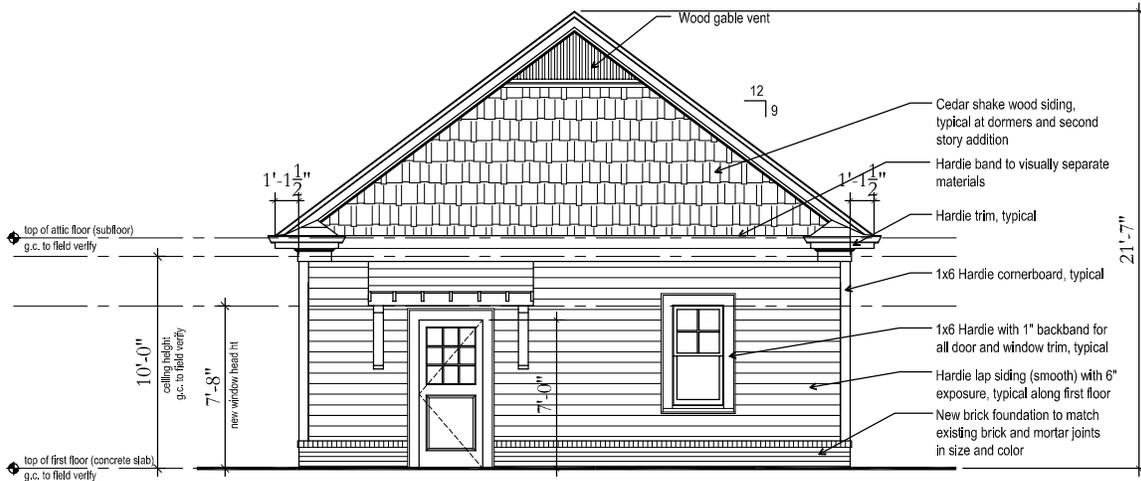
AUGUST



SEPTEMBER



2 Proposed Right Side Elevation
G-2 Not to Scale



1 Proposed Front Elevation (facing main house)
G-2 Not to Scale

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AUGUST GARAGE
 ELEVATION

SHERIFF RESIDENCE
 1915 LYNDBURST AVENUE, CHARLOTTE, NC

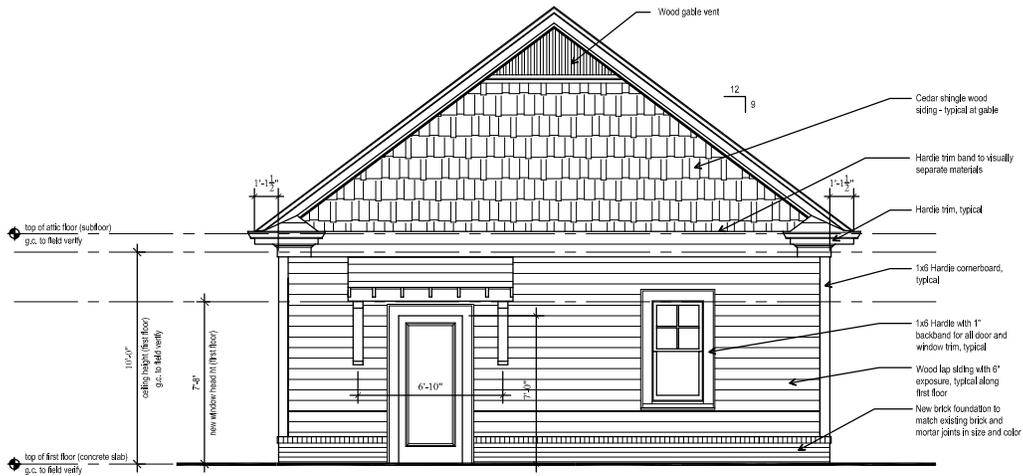
PRELIMINARY PRICING SET

G-2

15 July 2013



2 Proposed Right Side Elevation
 G-2 Not to Scale



1 Proposed Front Elevation (facing main house)
 G-2 Not to Scale

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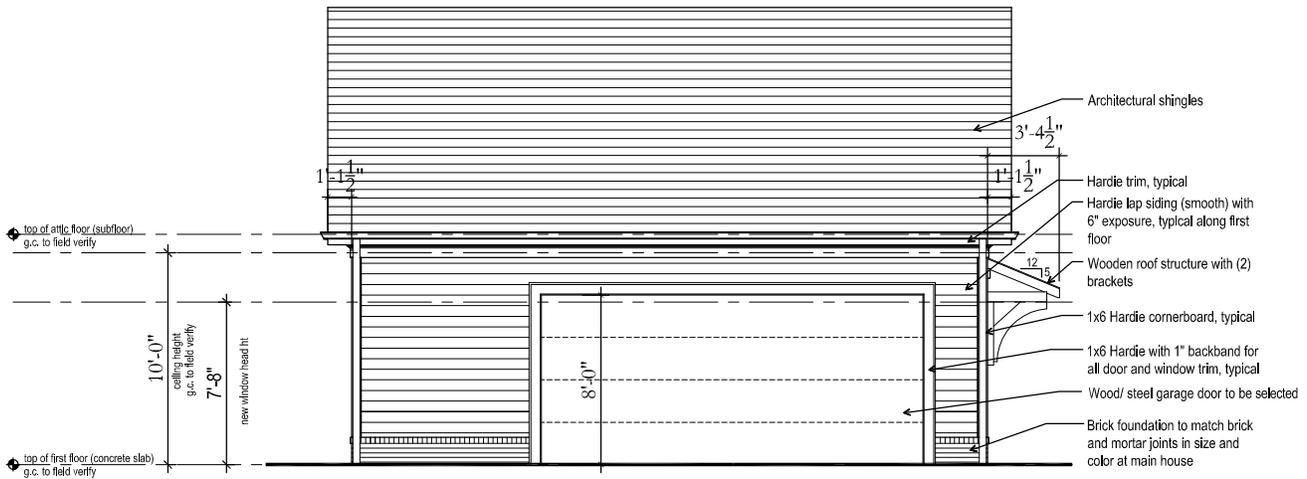
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**SEPTEMBER GARAGE
 ELEVATIONS**

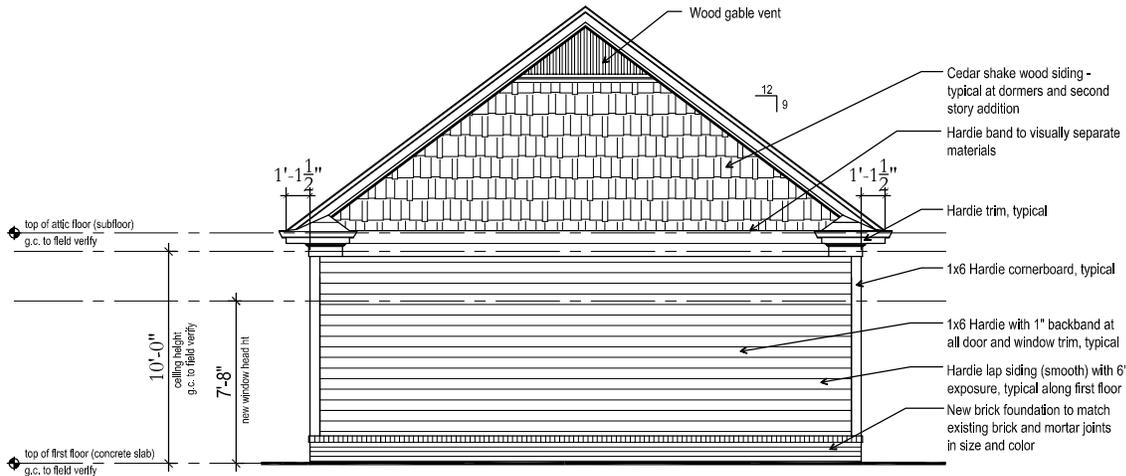
SHERIFF RESIDENCE
 1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

G-2
 21 AUGUST 2013



2 Proposed Left Side Elevation (facing alley)
 G-3 Not to Scale



1 Proposed Rear Elevation
 G-3 Not to Scale

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**AUGUST GARAGE
 ELEVATION**

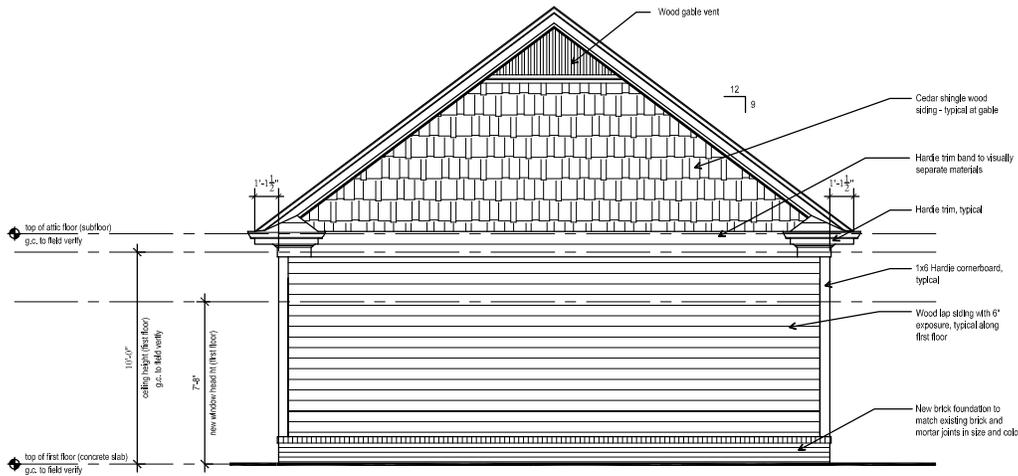
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 1915 LYNDBURST AVENUE, CHARLOTTE, NC

PRELIMINARY PRICING SET

G-3
 15 July 2013



2 Proposed Left Side Elevation (facing alley)
 G-3 Not to Scale



1 Proposed Rear Elevation
 G-3 Not to Scale

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**SEPTEMBER GARAGE
 ELEVATION**

SHERIFF RESIDENCE
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PRELIMINARY PRICING SET

G-3
 21 AUGUST 2013