
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1909 Wilmore Drive

SUMMARY OF REQUEST: Addition

OWNER: James & Melissa King

APPLICANT: Bob McGivern/6:48 Renovations

Details of Proposed Request

Existing Conditions

The existing single story, single family house was built in 1936. It has a single gabled roof extending from the hip roof on the front and covers the porch which has three supporting square columns. The home rests on a sloping site which falls to the rear. The current siding is vinyl and the brick foundation has been painted. The majority of the surrounding homes on the block are single story.

Proposal

The proposal is an addition at the rear of the home resulting in a second story that will tie into the existing roofline due to the slope of the land. The side elevation shows the addition lower than the existing roofline. The front (west) elevation shows a portion of the addition that will be visible from Wilmore Drive. The plan indicates painted brick to match the color of the siding. Existing mature trees would not be disturbed.

Proposal-Updated for September 11, 2013 Hearing

The application was deferred in August to address the siding material and windows along the new staircase. The plans have been revised to add German lap wood siding as a material option. The window on the staintower matches the window on the new main floor.

Policy & Design Guidelines for Additions

HDC Design Policy for Additions requires that additions be evaluated according to the following:

| <i>1. All additions will be reviewed for compatibility by the following criteria:</i> | |
|---|---|
| <i>a. Size</i> | <i>the relationship of the project to its site</i> |
| <i>b. Scale</i> | <i>the relationship of the building to those around it</i> |
| <i>c. Massing</i> | <i>the relationship of the building's various parts to each other</i> |
| <i>d. Fenestration</i> | <i>the placement, style and materials of windows and doors</i> |
| <i>e. Rhythm</i> | <i>the relationship of fenestration, recesses and projections</i> |
| <i>f. Setback</i> | <i>in relation to setback of immediate surroundings</i> |
| <i>g. Materials</i> | <i>proper historic materials or approved substitutes</i> |
| <i>h. Context</i> | <i>the overall relationship of the project to its surroundings</i> |

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

Staff believes the proposal meets all of the Guidelines for Additions, provided wood siding is used as noted.

Regarding materials, the Guidelines (pages 48-49) state:

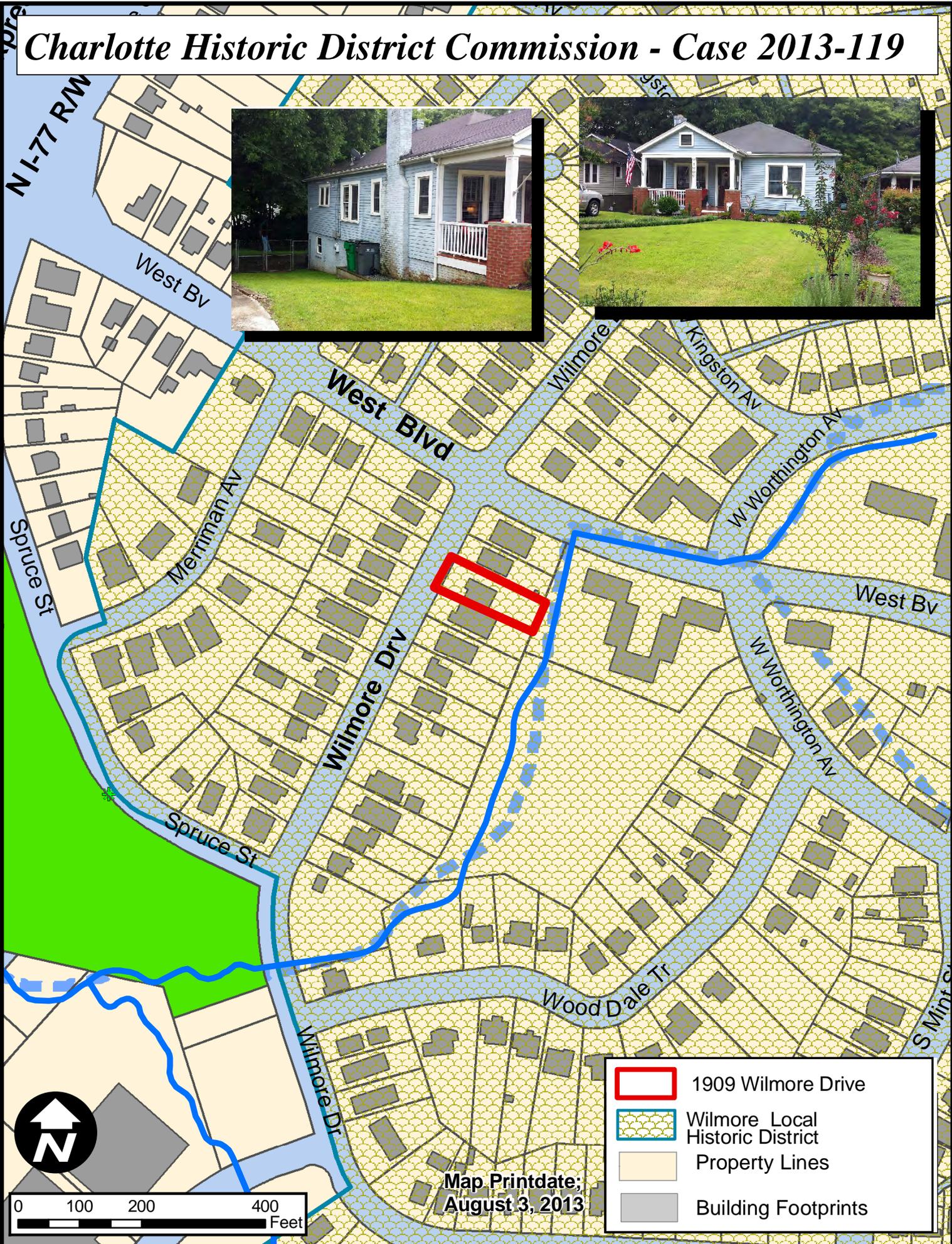
Traditional Building Materials

1. The use of historically traditional building materials is strongly encouraged in all renovation, addition and new construction projects in Local Historic Districts.
2. Historic precedents in the visual context of any project indicate appropriate choices for building materials.
3. All building materials must match the character of the existing structure and/or the streetscape in design, texture and other visual qualities.

Non-Traditional Building Materials

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
 - Vinyl
 - Aluminum or other metal sidings
 - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

Charlotte Historic District Commission - Case 2013-119



-  1909 Wilmore Drive
-  Wilmore Local Historic District
-  Property Lines
-  Building Footprints

Map Printdate;
August 3, 2013

The scope of this proposed project is to build an addition off the rear of the client's existing home per the attached plans.

This addition, if approved, will include approximately 600 SF of new lower level (basement / storage) space and 600 SF of corresponding bedrooms and baths upstairs for the growing family. Their son was born in May of this year and they were already in need of more space before his arrival!

Both levels will be tied into the existing structure, which will be accessible from the new space at both the upper and lower levels, as you will note on the plans.

The addition will be very close to in-line with the existing structure with only a 3' offset, which is needed to meet zoning requirements on the right hand side of the home as viewed from the street.

We do not think the offset will impact the street view (or streetscape) whatsoever if it is even visible from the street. Unless one stops to look for it, it will not even be noticed. The reason for this opinion is: The lot slopes significantly from front (street side) to back where we propose to build the addition.

The proposed siding / exterior finish material for this project is vinyl, to match the existing home and windows will

This scope of work does not call for changing any existing rooflines or finish materials on the existing home. We will also not touch landscaping or existing trees.

Respectfully,

Robert E. McGivern, Jr.
Family Construction & Remodeling, LLC

dba 6:48 Renovations



1909 WILMORE DRIVE
 CHARLOTTE NC 28203
 JKING242@GMAIL.COM

KING HOME RENOVATION

SITE PLAN

| | |
|------------|------------|
| PROJECT # | 2013_01 |
| DATE | 2013.07.16 |
| DRAWN BY | JK |
| REVISION # | - |

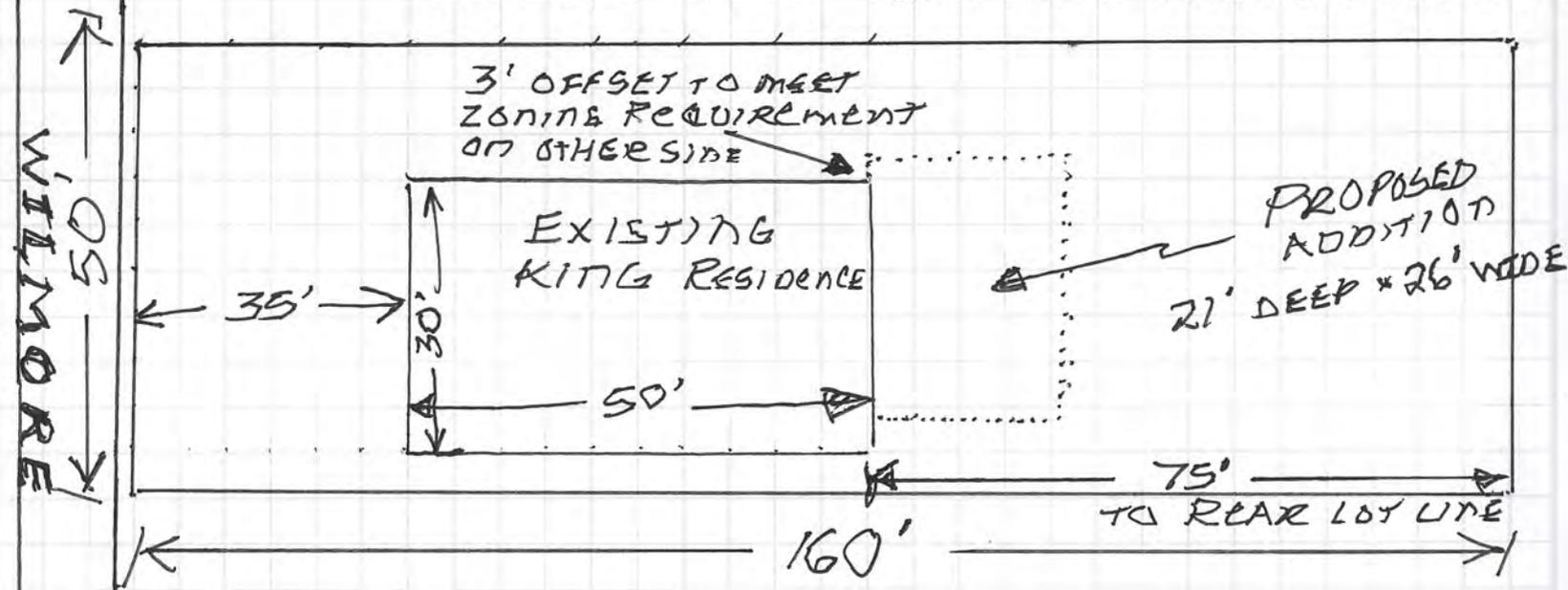
A105

Scale 1" = 30'-0"

7-17-13

* SOLID LINE REPRESENT THE EXISTING RESIDENCE OF JAMES & MELISSA KING

----- DOTTED LINES REPRESENT PROPOSED ADDITION



SITE PLAN

ROUGHLY TO SCALE $\square \begin{matrix} 5' \\ 5' \end{matrix}$

1909 WILMORE







1909

SNC-4139

TOYOTA

HYBRID





1909

September 2013

NEW SIDING TO MATCH
EXISTING OR GERMAN LAP
(ALL LOCATIONS)

REPAINT EXISTING BRICK
AND LEAVE ANY UNPAINTED
BRICK AS IS

① East
1/8" = 1'-0"



② North
1/8" = 1'-0"



1909 WILMORE DRIVE
CHARLOTTE NC 28203
JKING242@GMAIL.COM

KING HOME RENOVATION
ELEVATIONS (E & N)

| | |
|------------|------------|
| PROJECT # | 2013_01 |
| DATE | 2013.07.16 |
| DRAWN BY | JK |
| REVISION # | 0 |

A03

Scale 1/8" = 1'-0"



September 2013

2 West
1/8" = 1'-0"



1 South
1/8" = 1'-0"



1909 WILMORE DRIVE
CHARLOTTE NC 28203
JKING242@GMAIL.COM

KING HOME RENOVATION
ELEVATIONS (W & S)

| | |
|------------|------------|
| PROJECT # | 2013_01 |
| DATE | 2013.07.16 |
| DRAWN BY | JK |
| REVISION # | 01 |

A04

Scale 1/8" = 1'-0"





