
LOCAL HISTORIC DISTRICT: Dilworth

ADDRESS OF PROPERTY: 401 E Worthington Avenue

SUMMARY OF REQUEST: New Construction - Single Family

OWNER: Scott Rea Redwood Properties

APPLICANT: ALB Architecture, PA

Details of Proposed Request:

Existing Conditions

The subject corner lot is vacant and has a flat grade and a few mature trees. A low concrete retaining wall and steps are located at the front. The immediate residential context is a variety of 1, 1.5 and two story homes. The average setbacks along the subject block are generally 35' from back of curb to thermal wall, +/-.

June 2013 Proposal

The previous proposal was a two story home with a scale and massing proportion inconsistent with the immediate context and inconsistent with other homes located on corner lots in this area.

October 2013 Proposal

The revised proposal is a 1.5 story single family home with a full width wrap around porch covered by a hip roof that ties into the front and side gables. The fenestration along the front façade is even on both levels. The porch columns are traditional brick pier with tapered columns. The left elevation has a centralized primary gable and two secondary gables toward the rear. The rear elevation has details and massing that resembles the front facade. The right elevation has a single gable and both side elevations have a balanced window pattern. Siding and trim materials are wood. The overall height is approximately 31'-8" measured from the ground.

The plans show the house meeting the minimum required setback. However, the Commission may require the home to meet the established setback along the block face. The Alternative Setback Provision also allows this reduction when a neighborhood pre-dates modern zoning codes.

The plan proposes the removal of two oak trees from the side yard and two pecan trees in the rear yard.

The 1.5 story detached garage is a simpler cross gable design with a total height of approximately 24'. Materials will match the principal structure.

February 2014 Proposal

The revised proposal includes new window and door design, improvements to left and right side wall planes, wood siding on both levels, streetscape exhibits and additional dimensions. The applicant is also in the process of receiving preservation tax credits.

Policy & Design Guidelines for New Construction

HDC Design Policy requires that new construction be evaluated according to the following:

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis

Staff believes the proposal meets the guidelines for new construction.

Charlotte Historic District Commission - Case 2013-088

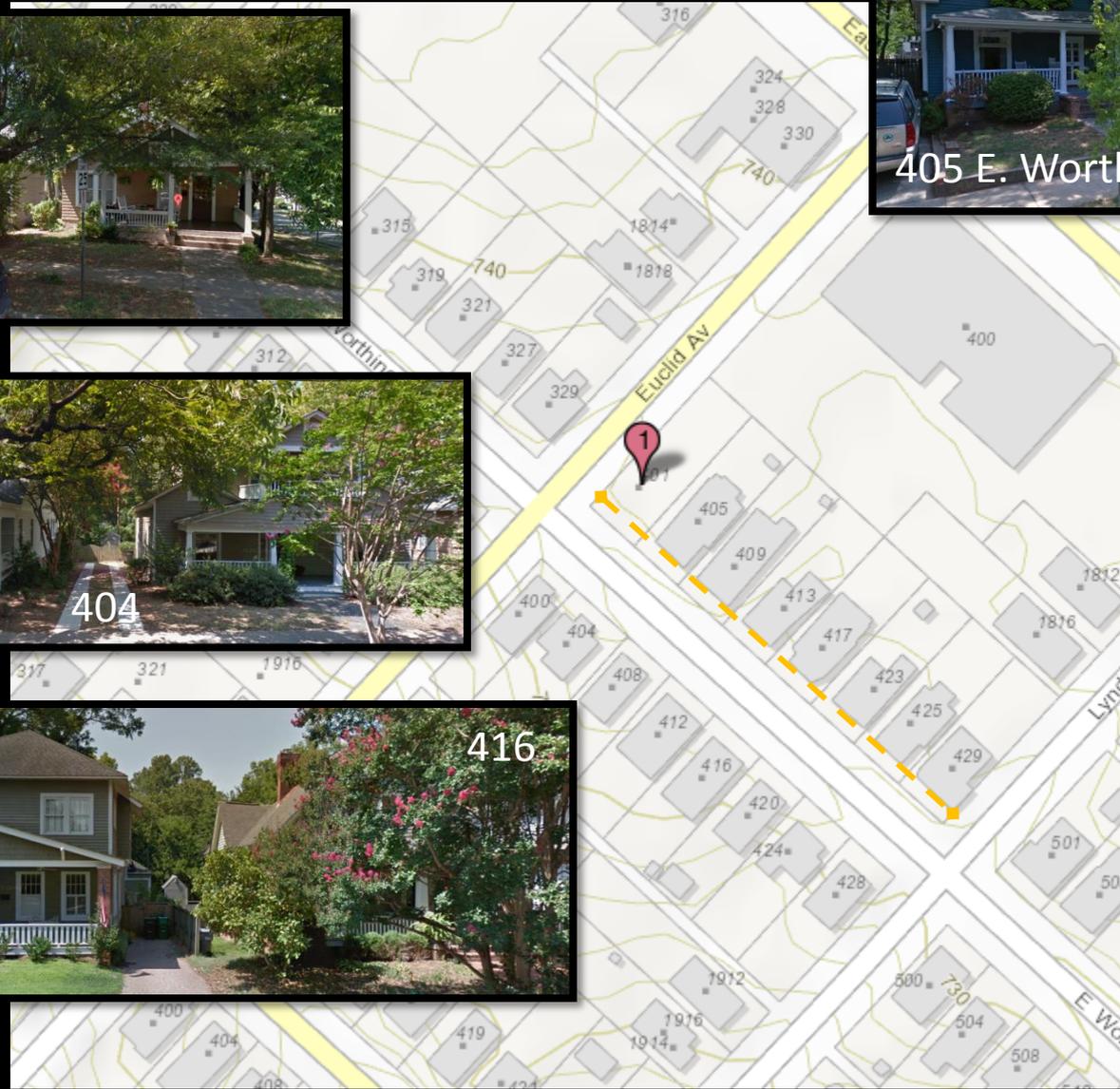


-  401 East Worthington Av
-  Dilworth Local Historic District
-  Property Lines
-  Building Footprints

Map Printdate:
June 3, 2013

0 100 200 400
Feet

401 East Worthington

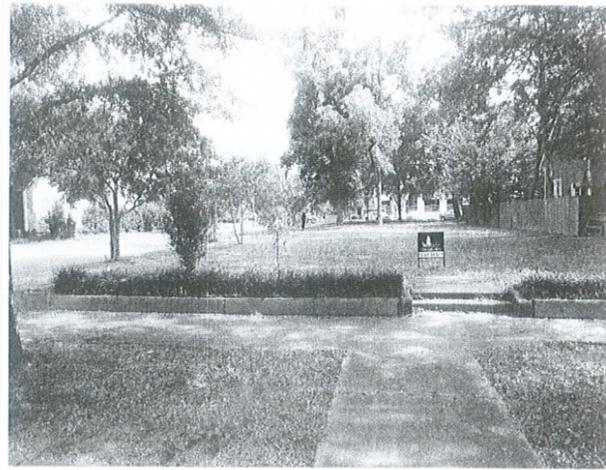
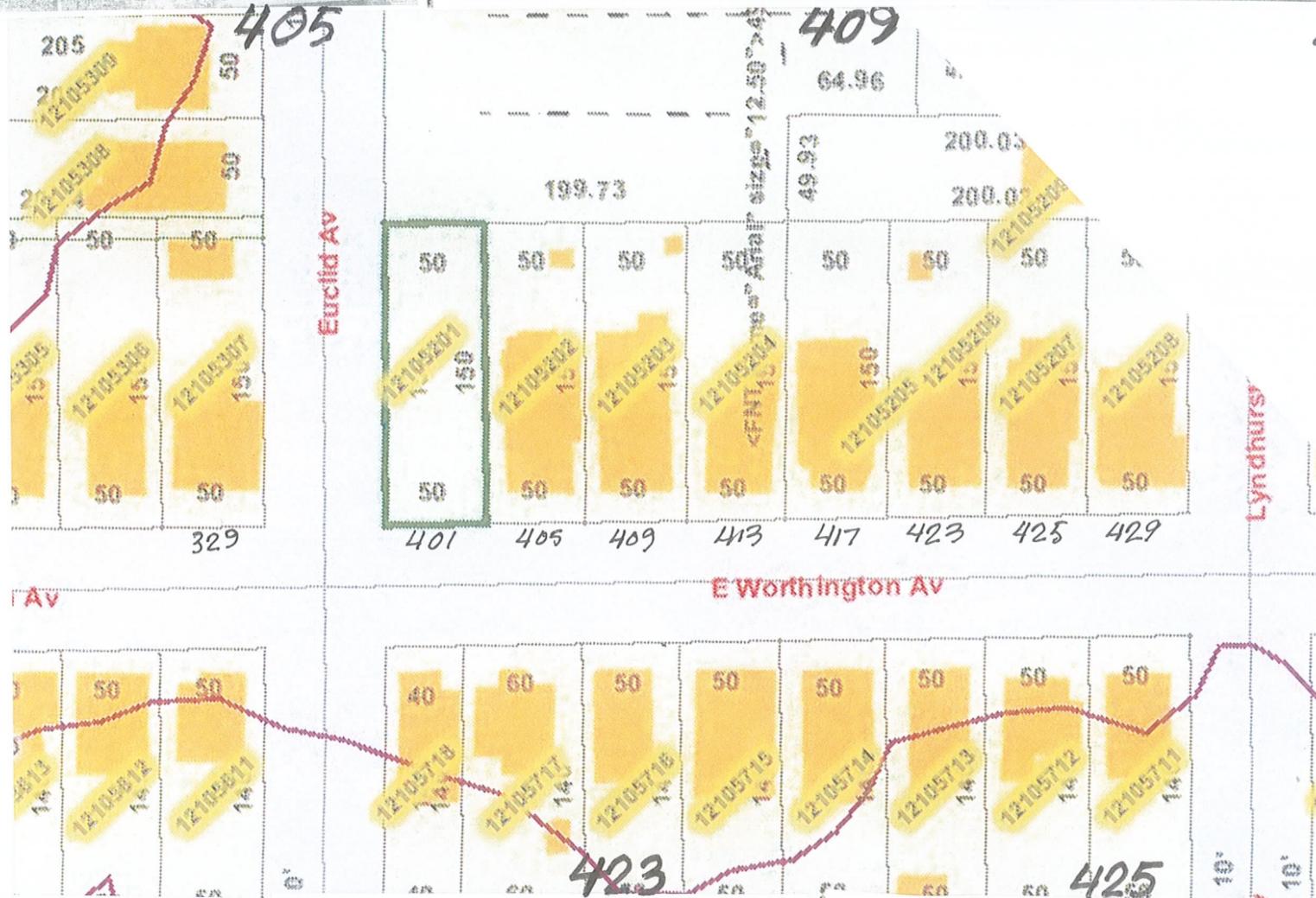




NORTHWEST
SIDE OF
E. WORTHINGTON →

329

△
SUBJECT
401



401 E. WORTHINGTON
SUBJECT VACANT LOT



405 E. WORTHINGTON
NE SIDE FACING SUBJECT

417

423

425

429

←
NORTHWEST
SIDE OF
E. WORTHINGTON





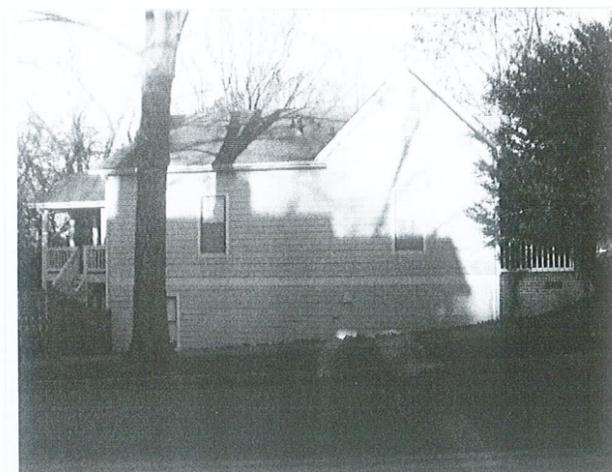
329 E. WORTHINGTON
SW SIDE OF EUCLID



1818 EUCLID



1814 EUCLID
SW SIDE OF EUCLID



328 E. WORTHINGTON
FRONT & EUCLID SIDE



400 E. WORTHINGTON
FRONT & EUCLID SIDE



SW SIDE OF EUCLID



NW SIDE OF E. WORTHINGTON



Architecture, PA

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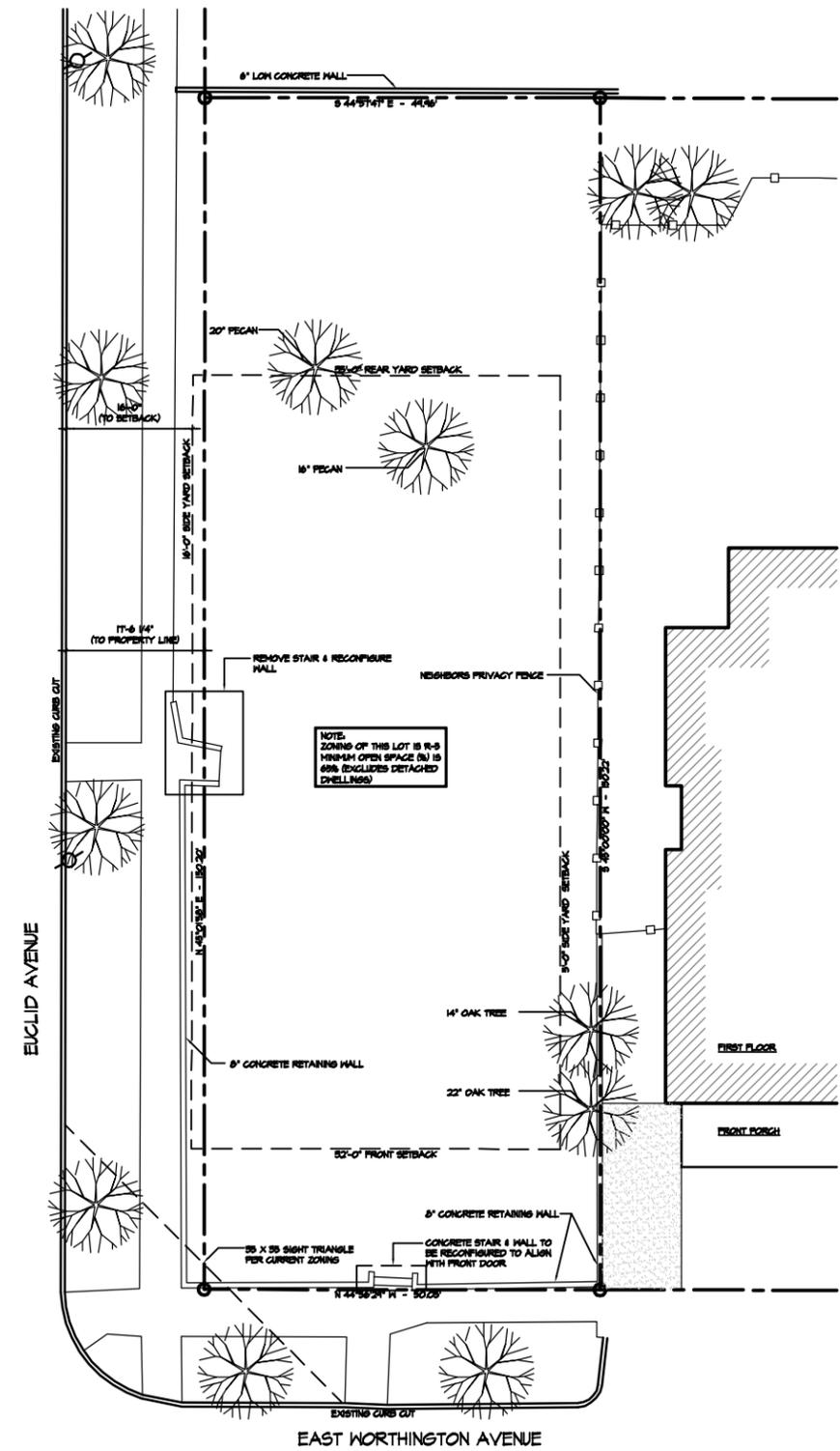
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SALTRICK RESIDENCE
401 East Worthington Avenue, Charlotte, NC 28203

PROJ. NO. - 13042
ISSUED - 15 JAN 2014
REVISIONS -

EXISTING SITE PLAN

A-1

OF THIRTEEN



① EXISTING SITE PLAN

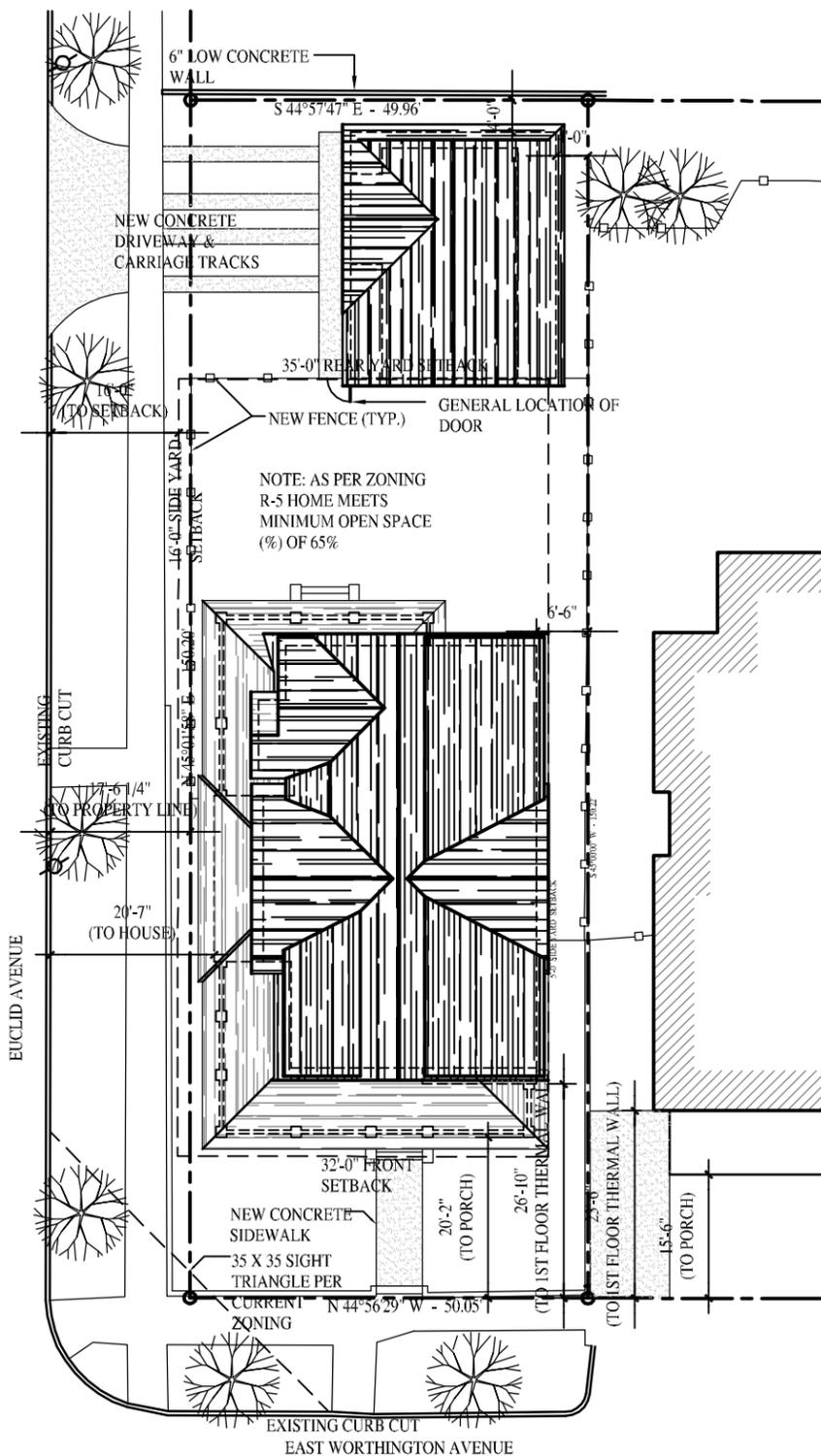
1" = 10'-0"



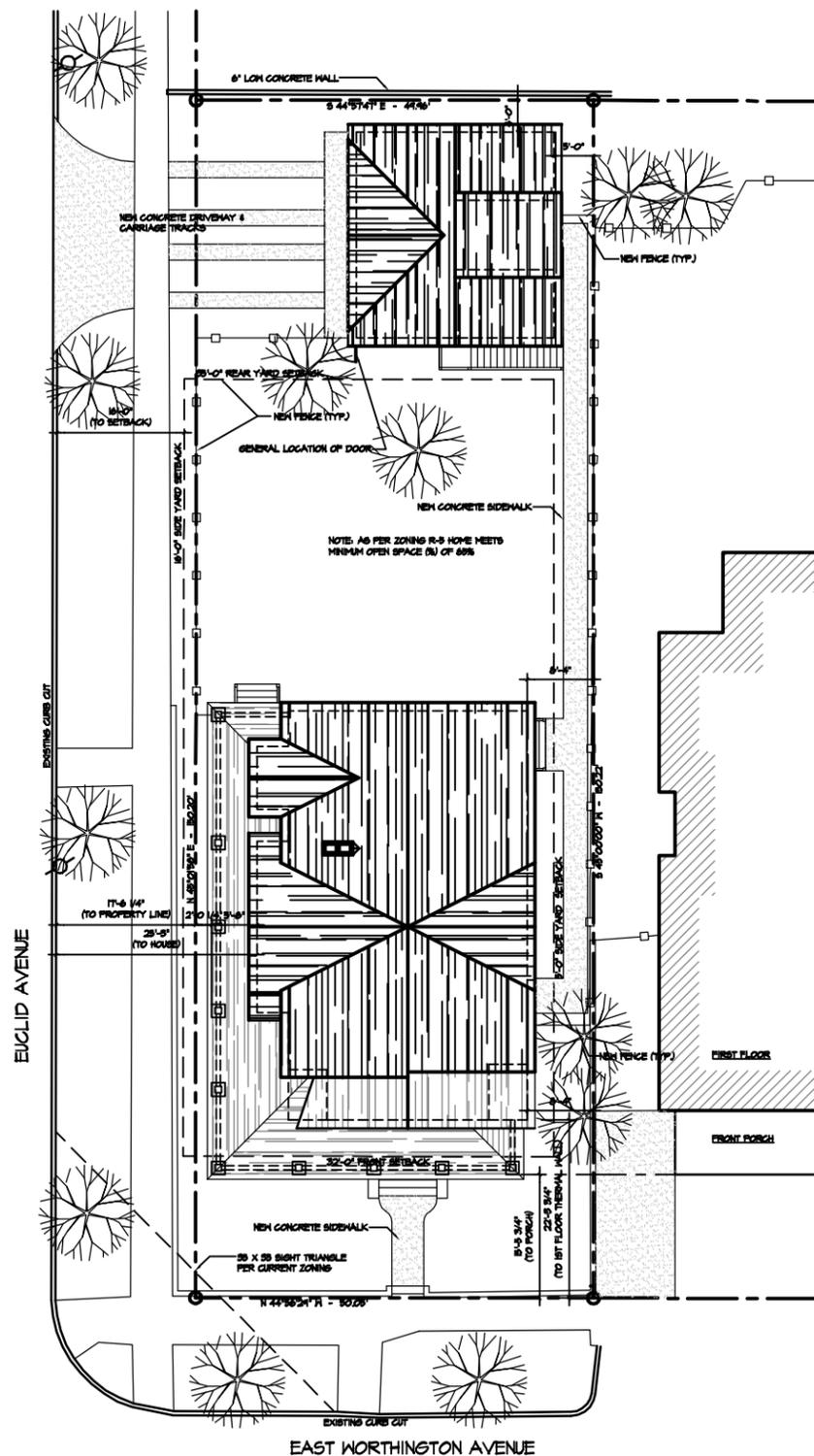
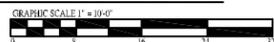


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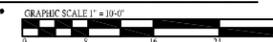
OCTOBER 2013 SUBMISSION



② OCTOBER SITE PLAN
1" = 10'-0"



① PROPOSED SITE PLAN
1" = 10'-0"



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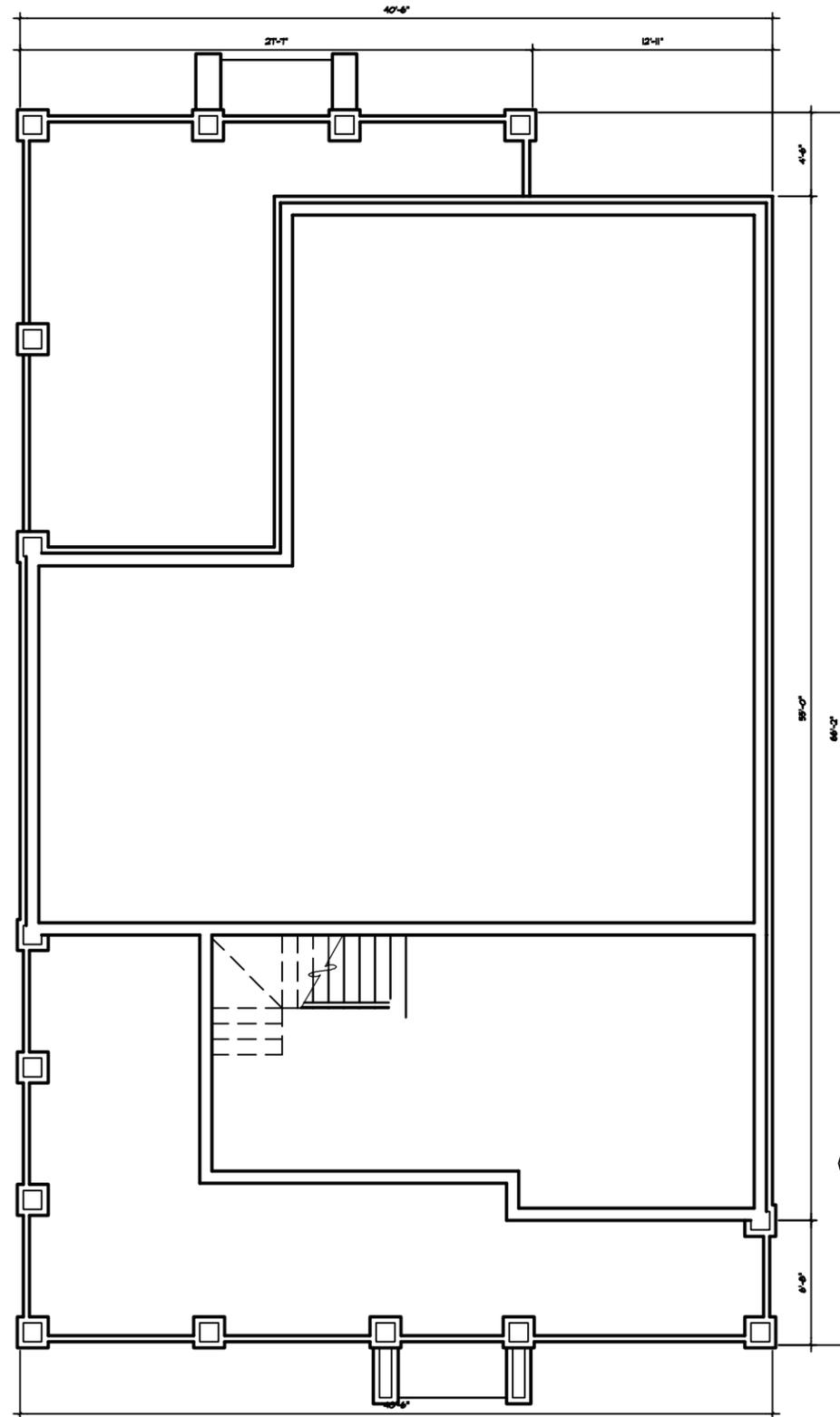
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PROPOSED SITE PLAN

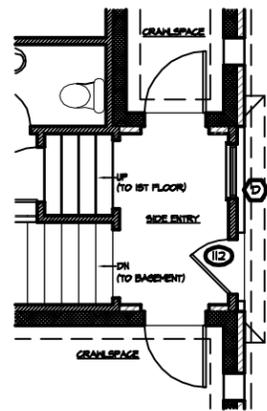
A-2

OF THIRTEEN

OCTOBER 2013 SUBMISSION

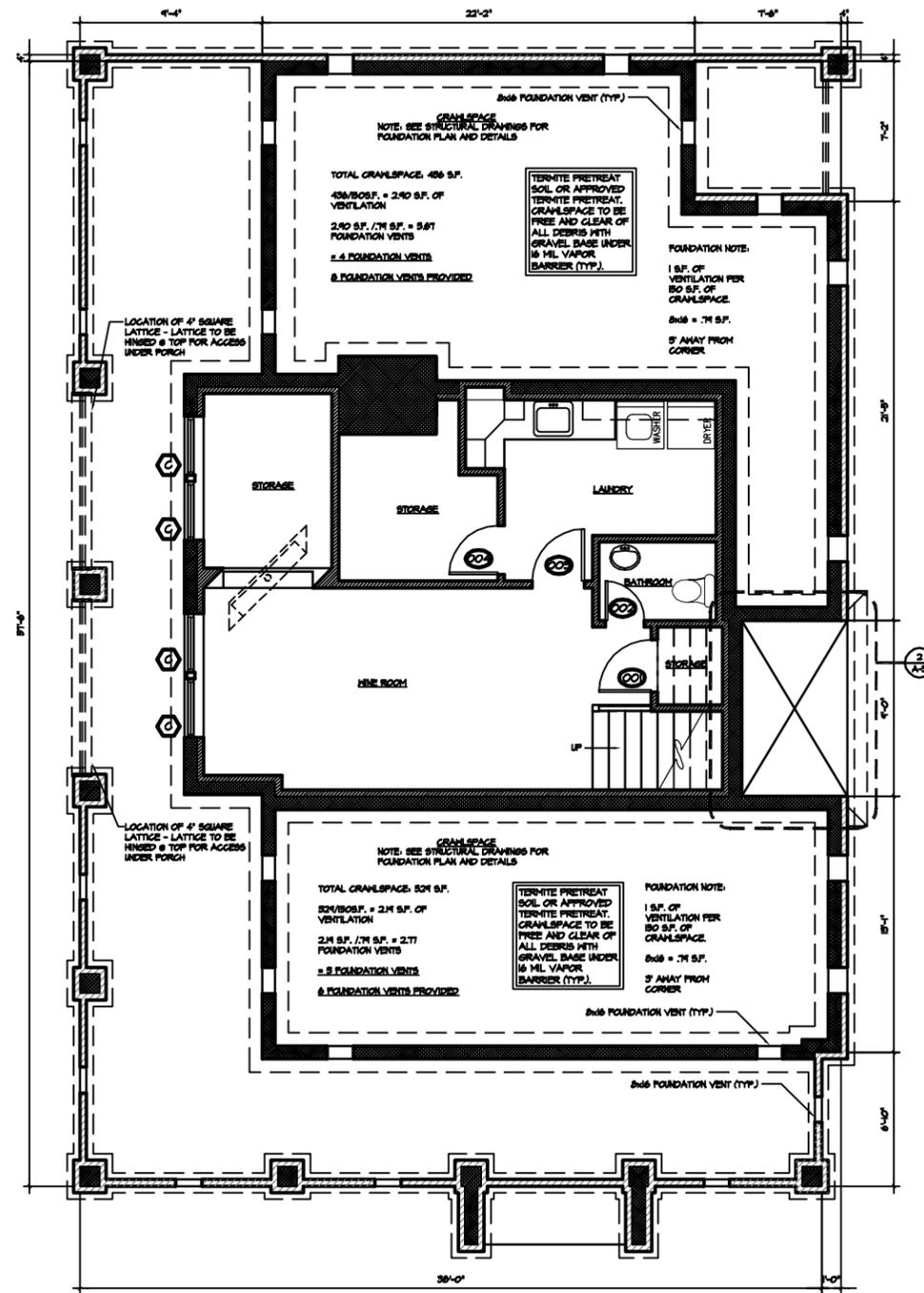
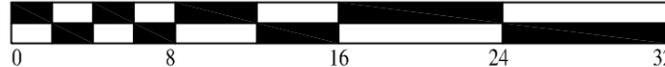


③ OCTOBER BASEMENT PLAN
1/4" = 1'-0"



② RIGHT SIDE ENTRY
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED BASEMENT PLAN
1/4" = 1'-0"



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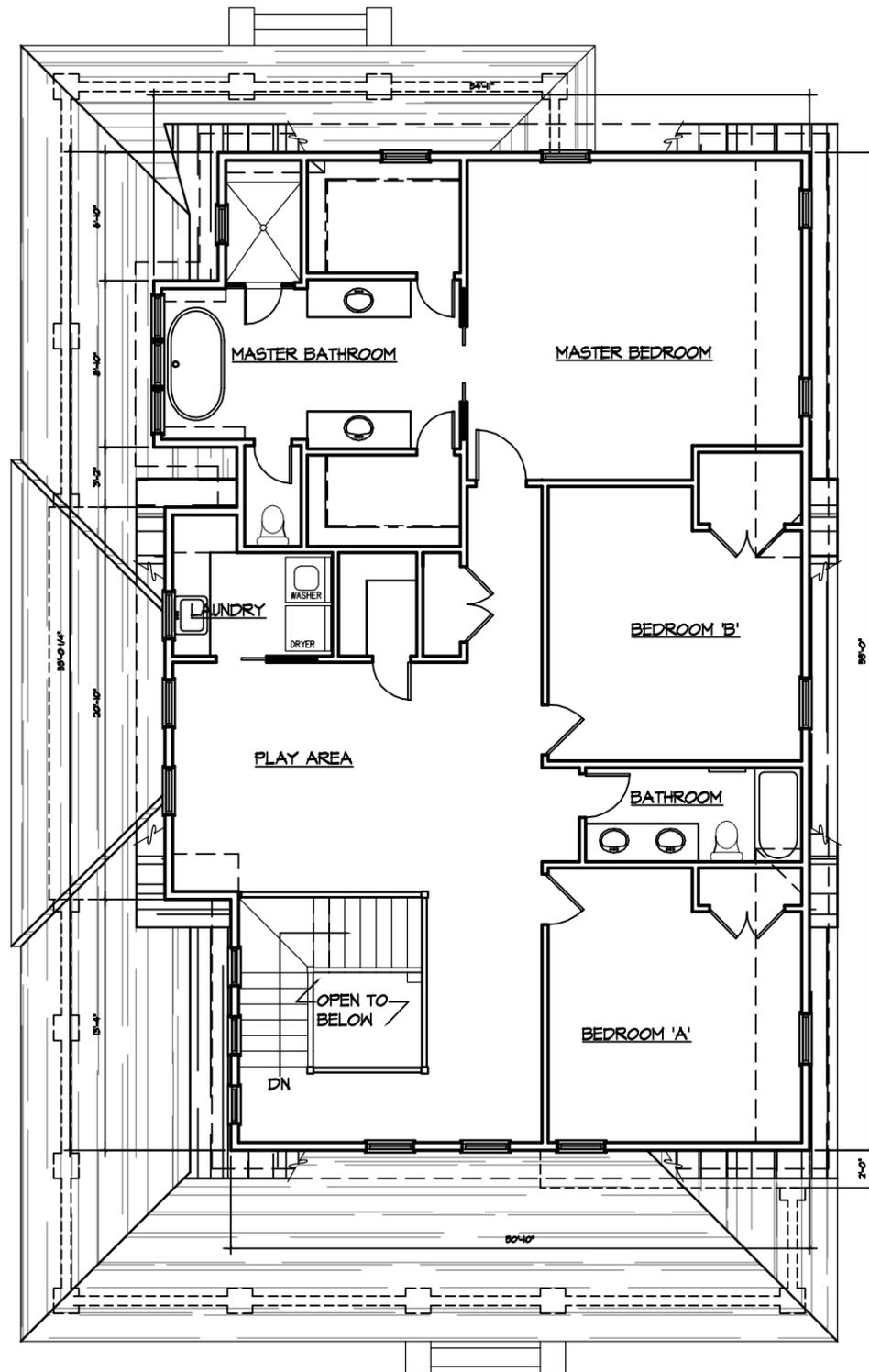
A-3

OF THIRTEEN



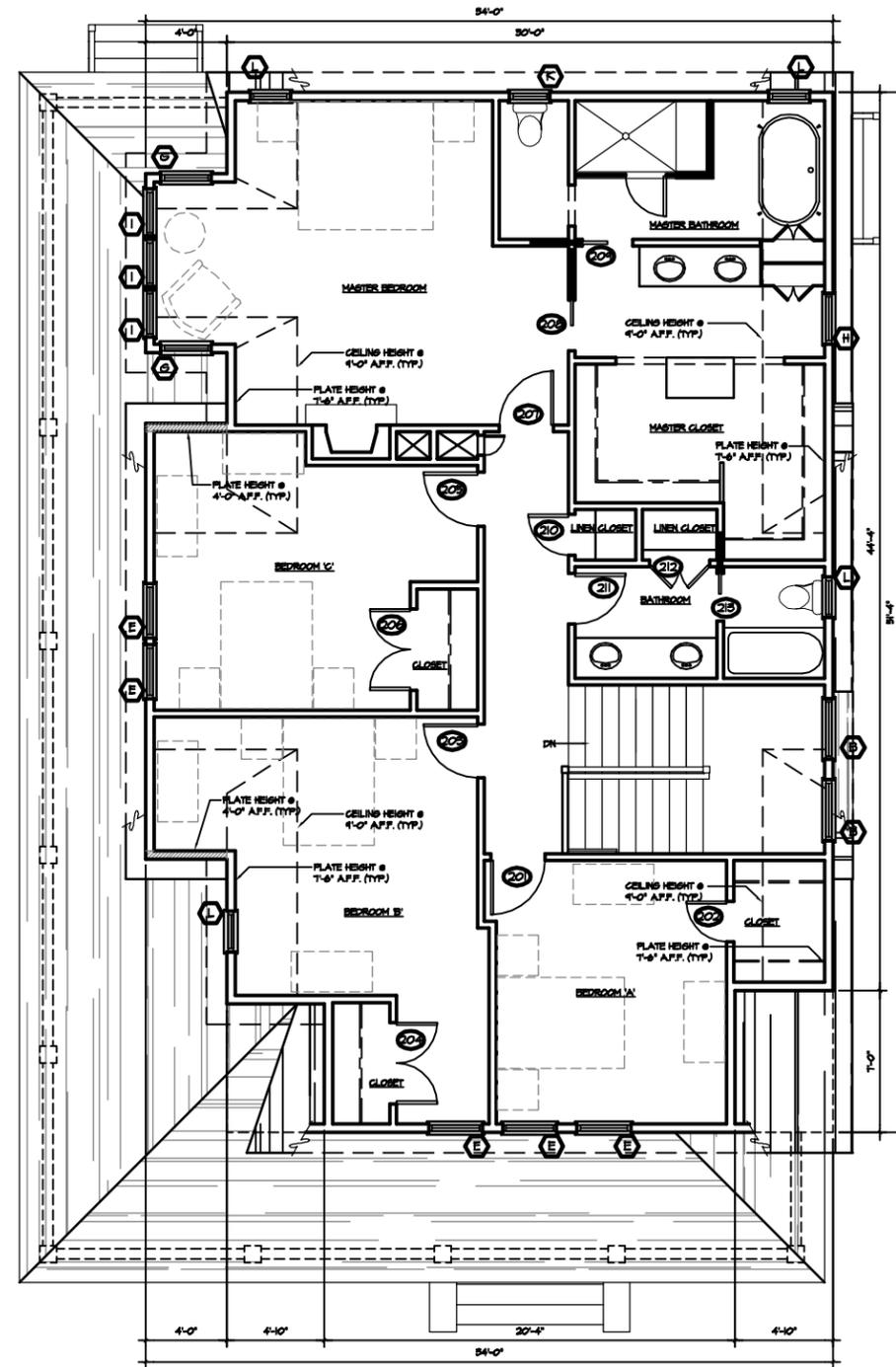
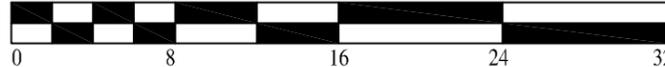
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② OCTOBER SECOND FLOOR PLAN
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



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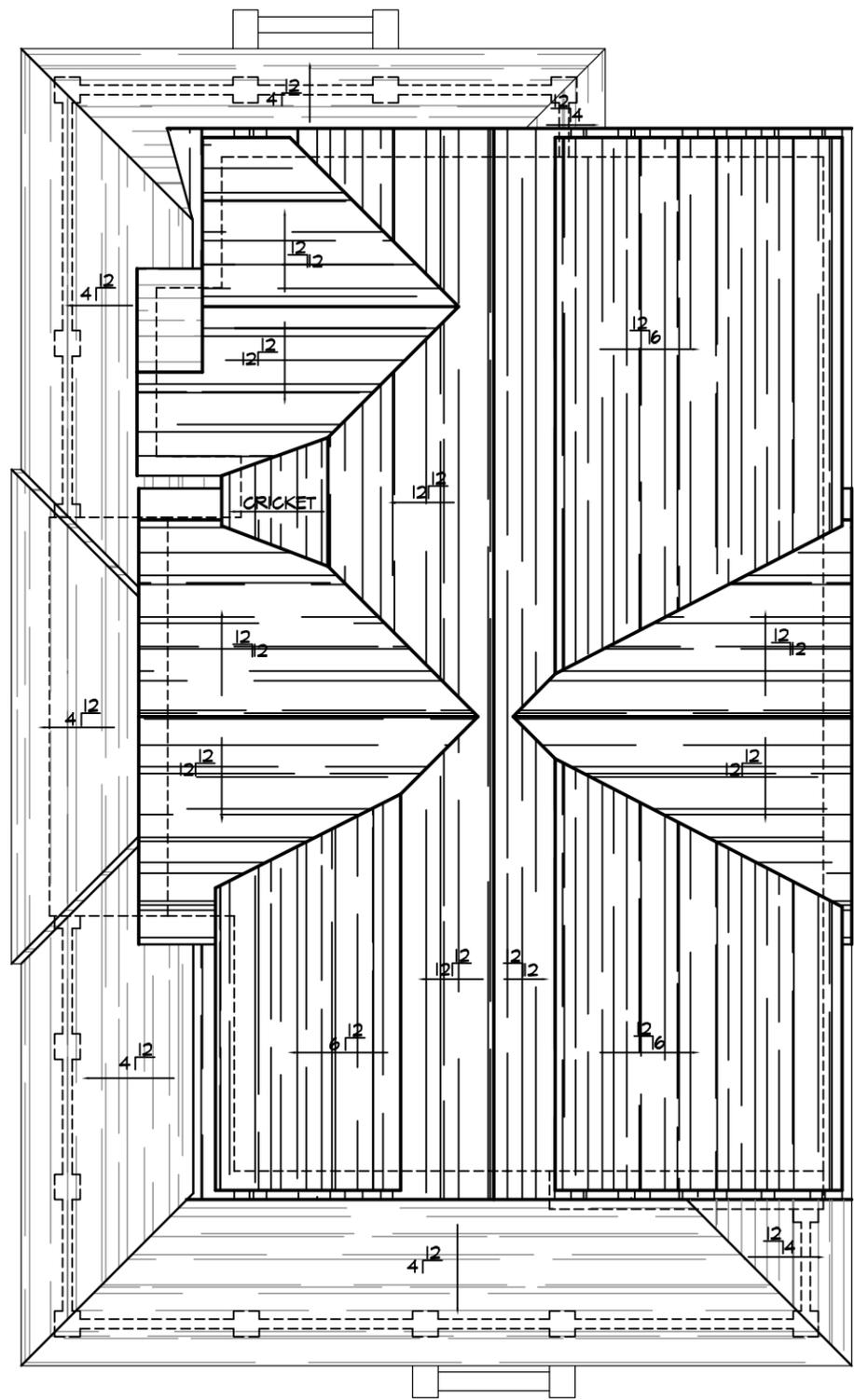
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PROPOSED SECOND FLOOR PLAN

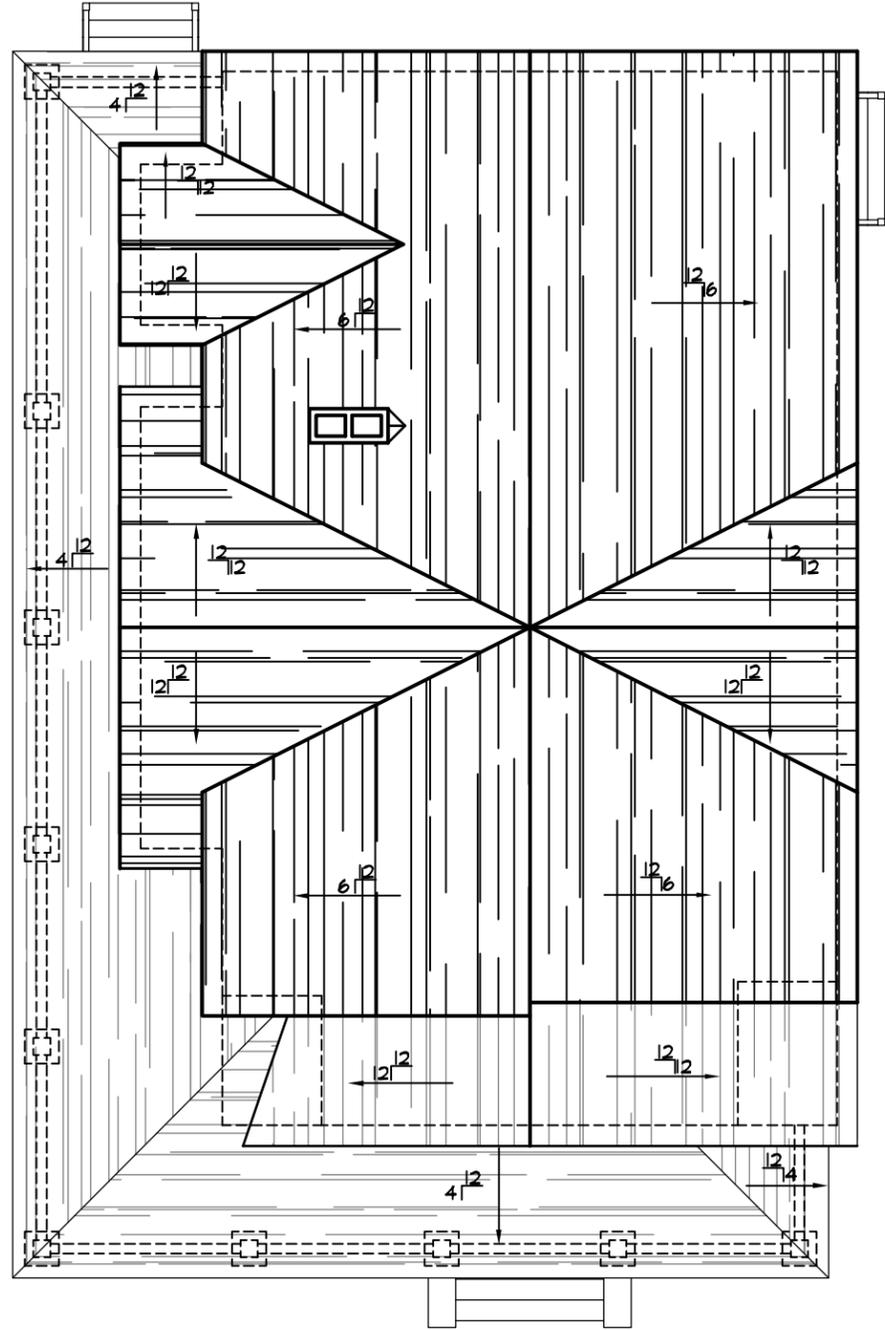
A-5

OF THIRTEEN

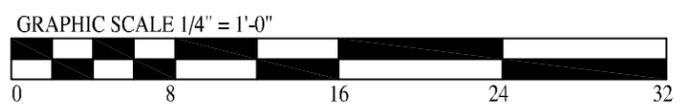
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② OCTOBER ROOF PLAN
1/4" = 1'-0"



① PROPOSED ROOF PLAN
1/4" = 1'-0"



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PROPOSED ROOF FLOOR PLAN

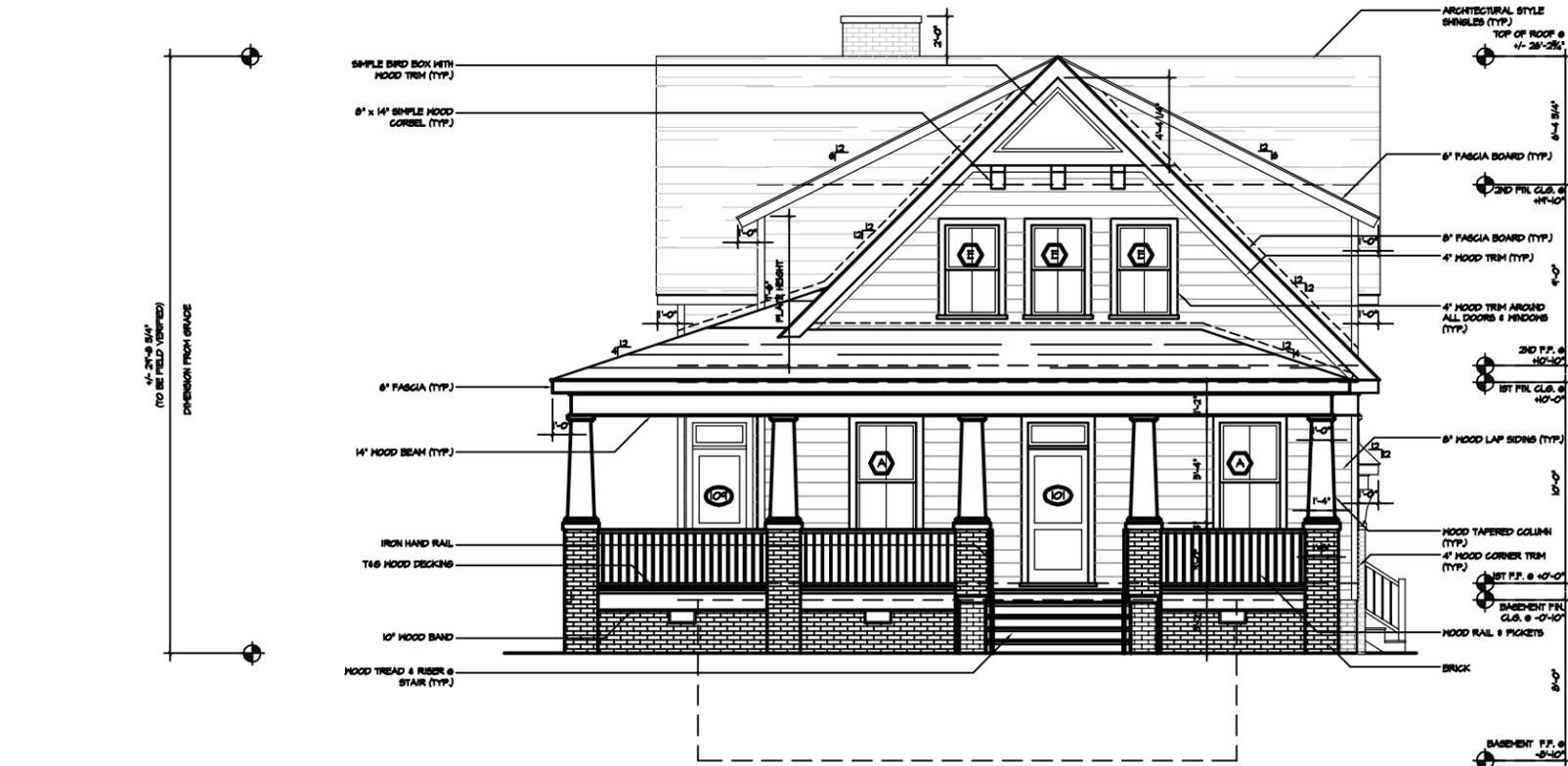
A-6

OF THIRTEEN

OCTOBER 2013 SUBMISSION



② OCTOBER FRONT ELEVATION
1/4" = 1'-0"

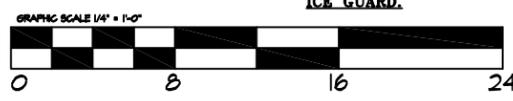


① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	5'-0" X 6'-0"	6'-0"	DOUBLE HANG
B	5'-0" X 9'-0"	15'-0"	DOUBLE HANG
C	5'-0" X 11'-6"	7'-0"	CASEMENT
D	2'-8" X 5'-0"	7'-0"	DOUBLE HANG
E	2'-8" X 4'-8"	7'-0"	DOUBLE HANG
F	2'-8" X 4'-8"	6'-0"	DOUBLE HANG
G	2'-8" X 4'-8"	6'-0"	CASEMENT
H	2'-8" X 4'-0"	6'-0"	DOUBLE HANG
I	2'-4" X 4'-8"	6'-0"	CASEMENT
J	2'-0" X 4'-8"	6'-0"	DOUBLE HANG
K	2'-0" X 4'-0"	7'-0"	DOUBLE HANG
L	2'-0" X 5'-0"	7'-0" SEE ELEV. 6'-0" SEE ELEV.	DOUBLE HANG

NOTE:
 * MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM & FINISHES.
 * PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
 * SEE ELEVATIONS FOR MANTH PATTERN. VERIFY ANY REQUIREMENTS FOR BRASS OR TEMPERED GLASS.
 NOTE: ALL WINDOWS WITH 4" S.P. OF GLASS OR MORE & LESS THAN 16" A.P.C. MUST BE TEMPERED PER CODE (TYP.)

- NOTE:
1. ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
 2. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
 3. PORCH FOUNDATIONS TO BE PIER & CURTAIN.
 4. FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
 5. HARDWOOD FLOORS THROUGHOUT HOME U.N.O.
 6. PORCHES TO BE WOOD DECKING.
 7. BEAD BOARD FINISH ON PORCH CEILINGS.
 8. PORCH COLUMNS TO BE SQUARE TAPERED COLUMNS - SEE ELEVATIONS FOR DIMENSIONS.
 9. MAIN ROOF PITCH TO BE 12:12
 10. DORMER ROOF PITCH TO BE 6:12
 11. PORCH ROOF PITCH TO BE 4:12
 12. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.



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PROPOSED FRONT ELEVATION

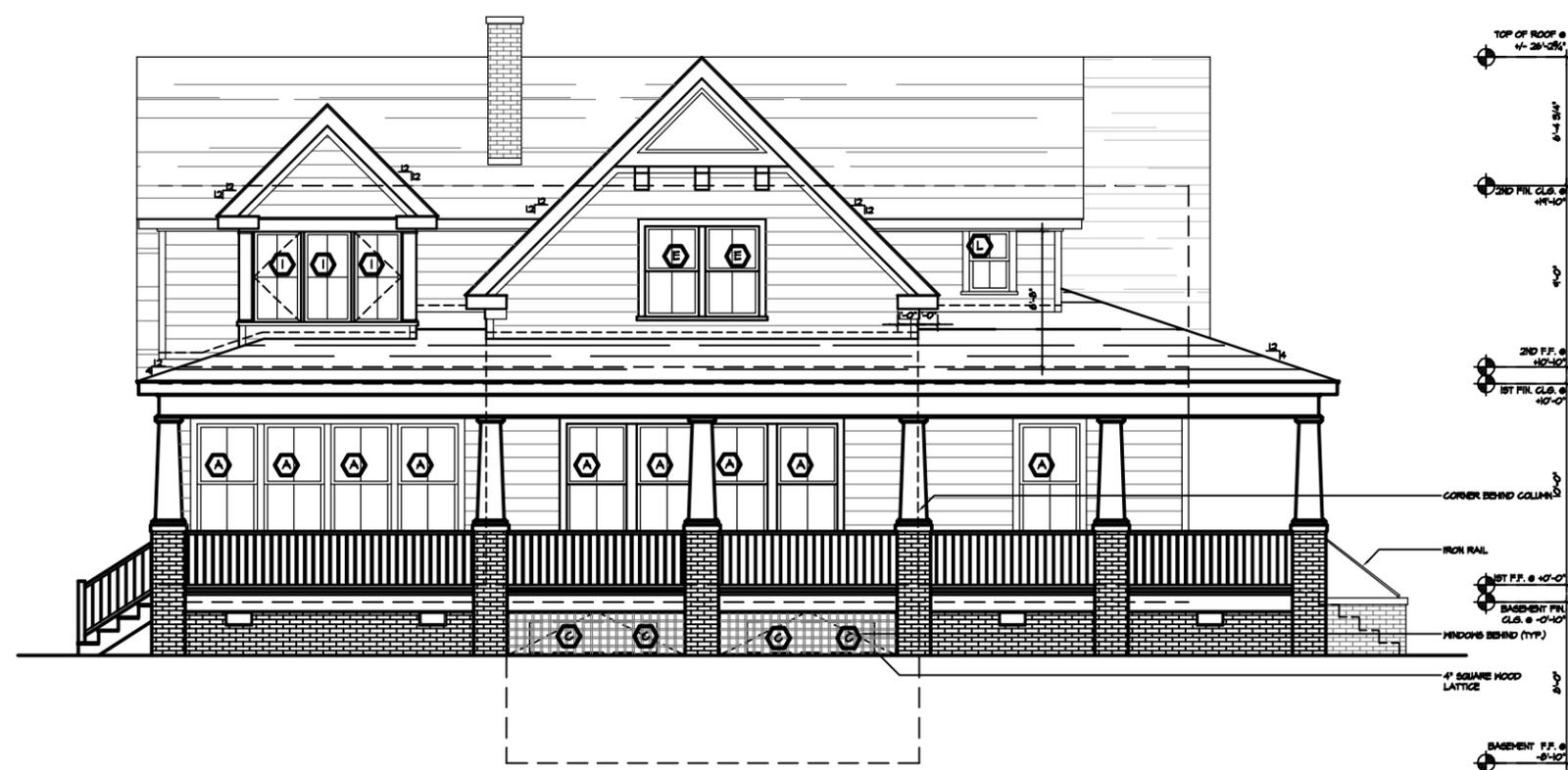
A-7

OF THIRTEEN

OCTOBER 2013 SUBMISSION



② OCTOBER LEFT ELEVATION
1/4" = 1'-0"



① PROPOSED LEFT ELEVATION
1/4" = 1'-0"

- TOP OF ROOF @ +/- 29'-5 3/4"
- BIRD BOX WITH WOOD TRIM
- 9'-1 3/4"
- SIMPLE WOOD CORBEL
- 8" TRIM BOARD
- 8" BARGE RAFTER
- 2ND FIN. CLG. @ +19'-10"
- 4" WOOD TRIM (TYP.)
- 8" WOOD TRIM TO SIMULATE COLUMN
- 9'-0"
- 2ND F.F. @ +10'-10"
- 1ST FIN. CLG. @ +10'-0"
- WOOD BEAM (TYP.)
- WOOD TRIM TO MATCH BEAM (TYP.)
- DECORATIVE PANELS
- 10" WOOD BAND (TYP.)
- 1ST F.F. @ +0'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	5'-0" X 6'-0"	6'-0"	DOUBLE HANG
B	5'-0" X 9'-0"	15'-0"	DOUBLE HANG
C	5'-0" X 11'-6"	7'-0"	CASEMENT
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L	2'-0" X 5'-0"	7'-0" SEE ELEV. 6'-0" SEE ELEV.	DOUBLE HANG

NOTE:
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 • SEE ELEVATIONS FOR MANTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EXPRESS OR TEMPERED GLASS.
 NOTE: ALL WINDOWS WITH 4" S.P. OF GLASS OR MORE & LESS THAN 16" A.P.C. MUST BE TEMPERED PER CODE (TYP.)

- NOTE:
- ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
 - COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
 - PORCH FOUNDATIONS TO BE PIER & CURTAIN.
 - FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
 - HARDWOOD FLOORS THROUGHOUT HOME U.N.O.
 - PORCHES TO BE WOOD DECKING.
 - BEAD BOARD FINISH ON PORCH CEILINGS.
 - PORCH COLUMNS TO BE SQUARE TAPERED COLUMNS - SEE ELEVATIONS FOR DIMENSIONS.
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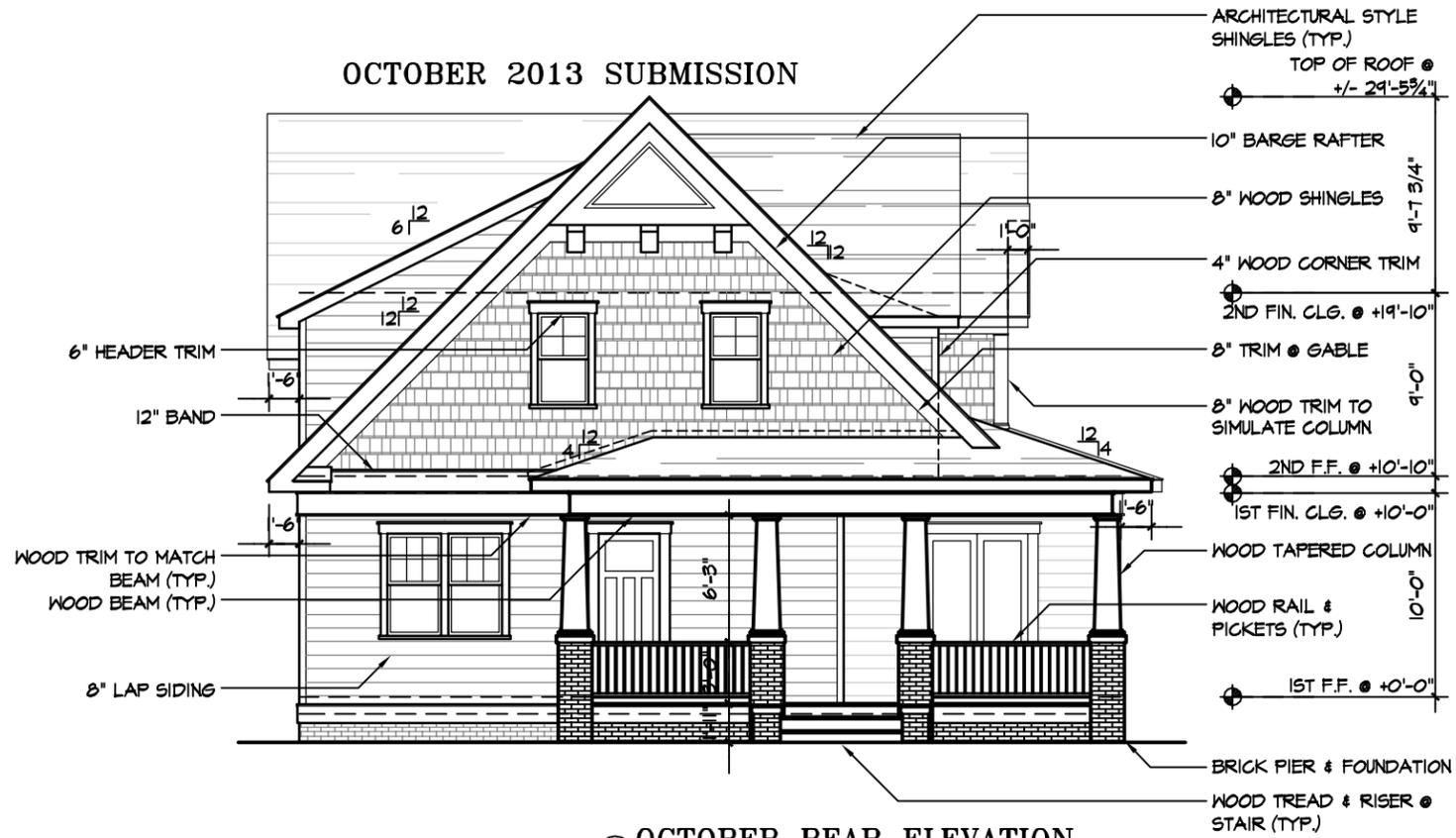


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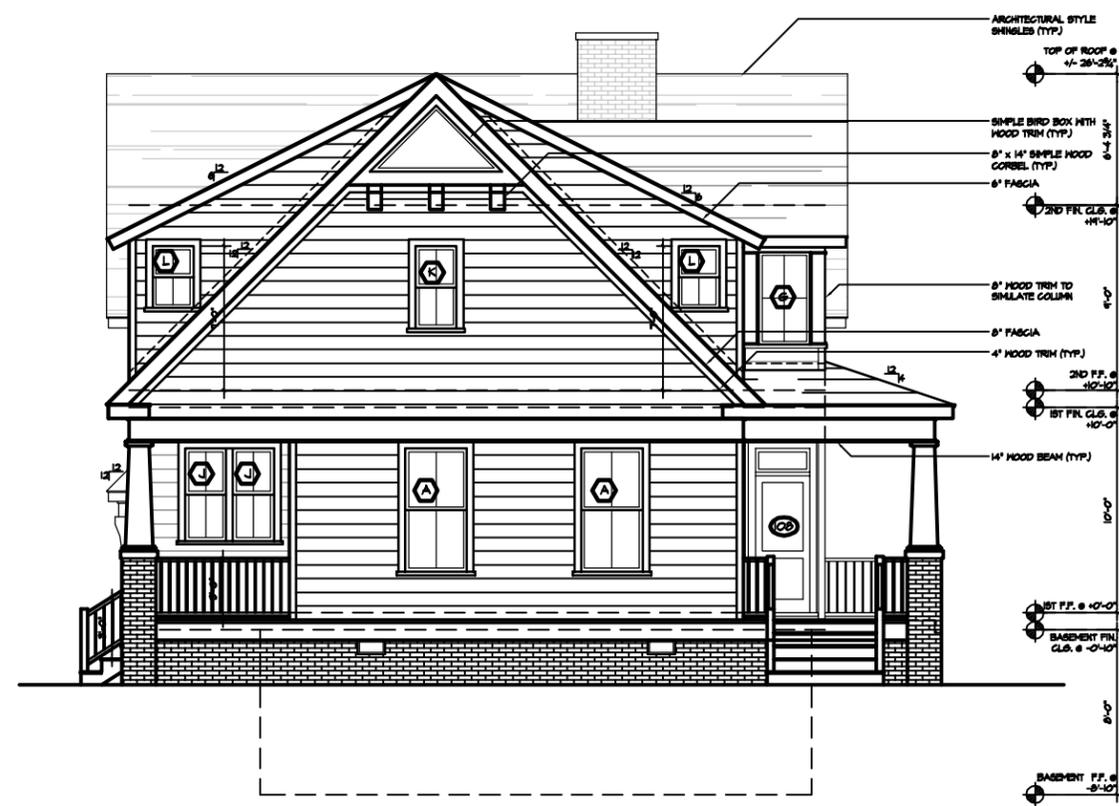
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PROPOSED FRONT ELEVATION
A-8
 OF THIRTEEN

OCTOBER 2013 SUBMISSION



② OCTOBER REAR ELEVATION
1/4" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	5'-0" X 6'-0"	6'-0"	DOUBLE HANG
B	5'-0" X 5'-0"	5'-0"	DOUBLE HANG
C	5'-0" X 11'-6"	7'-0"	CASEMENT
D	2'-6" X 5'-0"	7'-0"	DOUBLE HANG
E	2'-6" X 4'-6"	7'-0"	DOUBLE HANG
F	2'-6" X 4'-6"	6'-0"	DOUBLE HANG
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H	2'-6" X 4'-0"	6'-0"	DOUBLE HANG
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J	2'-0" X 4'-6"	6'-0"	DOUBLE HANG
K	2'-0" X 4'-0"	7'-0"	DOUBLE HANG
L	2'-0" X 5'-0"	7'-0" SEE ELEV. 6'-6" SEE ELEV.	DOUBLE HANG

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 * SEE ELEVATIONS FOR MANTIN PATTERNS. VERIFY ANY REQUIREMENTS FOR BRASS OR TEMPERED GLASS.
 NOTE: ALL WINDOWS WITH 4" SLIP OF GLASS OR MORE & LESS THAN 1/4" A.P.C. MUST BE TEMPERED PIR GLASS (TYP.)

- NOTE:
1. ALL FOUNDATION DIMENSIONS ARE TO FACE OF BLOCK.
 2. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
 3. PORCH FOUNDATIONS TO BE PIER & CURTAIN.
 4. FACE OF STUD TO ALIGN WITH FACE OF BRICK U.N.O.
 5. HARDWOOD FLOORS THROUGHOUT HOME U.N.O.
 6. PORCHES TO BE WOOD DECKING.
 7. BEAD BOARD FINISH ON PORCH CEILINGS.
 8. PORCH COLUMNS TO BE SQUARE TAPERED COLUMNS - SEE ELEVATIONS FOR DIMENSIONS.
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PROPOSED FRONT ELEVATION

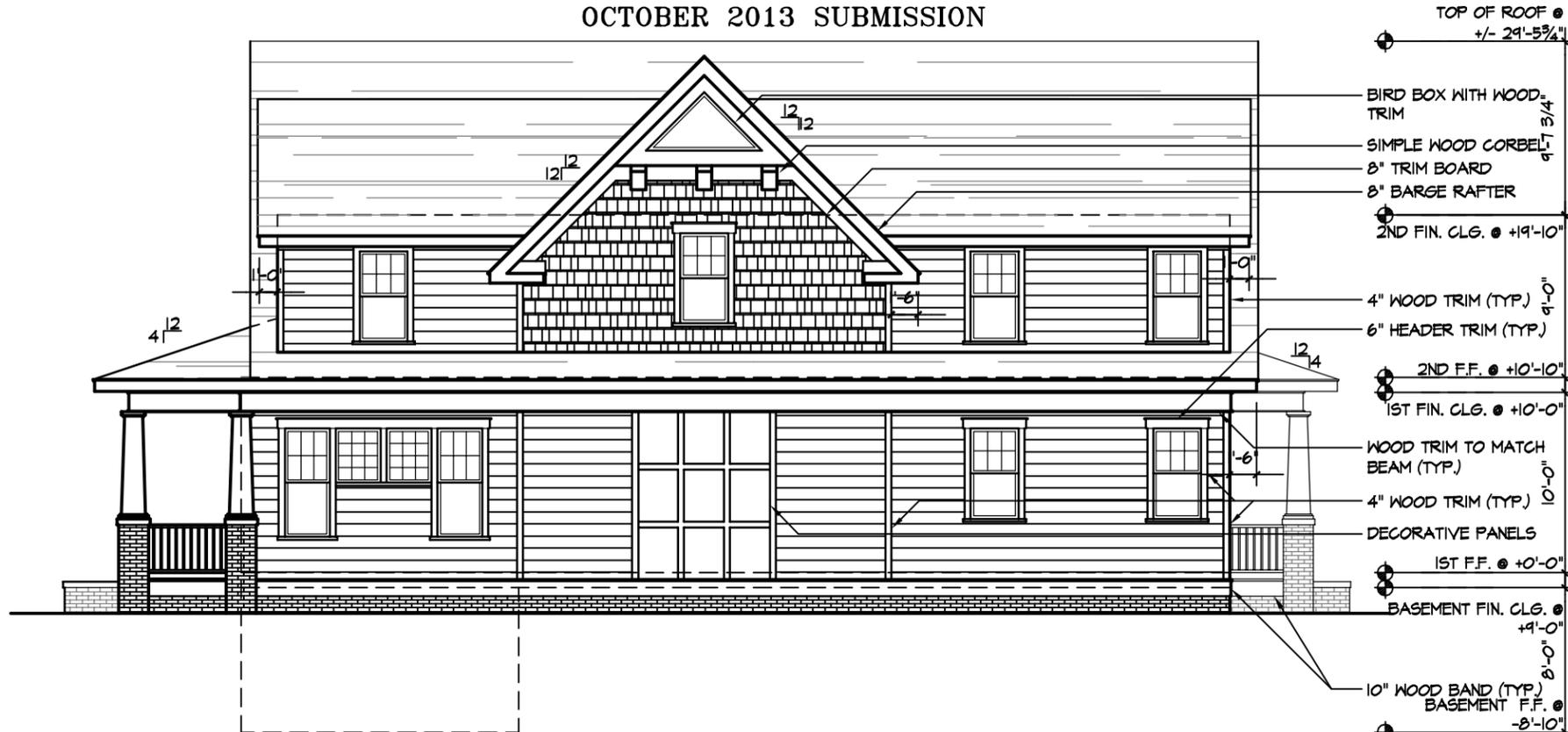
A-9

OF THIRTEEN

OCTOBER 2013 SUBMISSION



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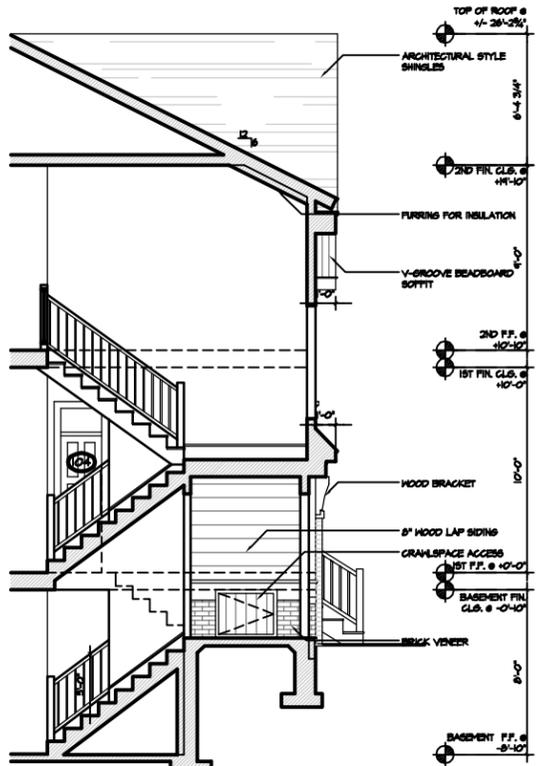


② OCTOBER RIGHT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	5'-0" X 6'-0"	6'-0"	DOUBLE HANG
B	5'-0" X 9'-0"	15'-0"	DOUBLE HANG
C	5'-0" X 11'-6"	7'-0"	CASEMENT
D	2'-8" X 5'-0"	7'-0"	DOUBLE HANG
E	2'-8" X 4'-8"	7'-0"	DOUBLE HANG
F	2'-8" X 4'-8"	8'-0"	DOUBLE HANG
G	2'-8" X 4'-8"	6'-8"	CASEMENT
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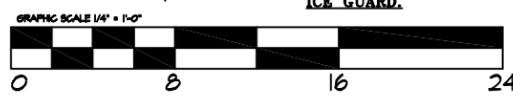
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③ SECTION @ STAIR
1/4" = 1'-0"



① PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



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PROPOSED FRONT ELEVATION

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OF THIRTEEN

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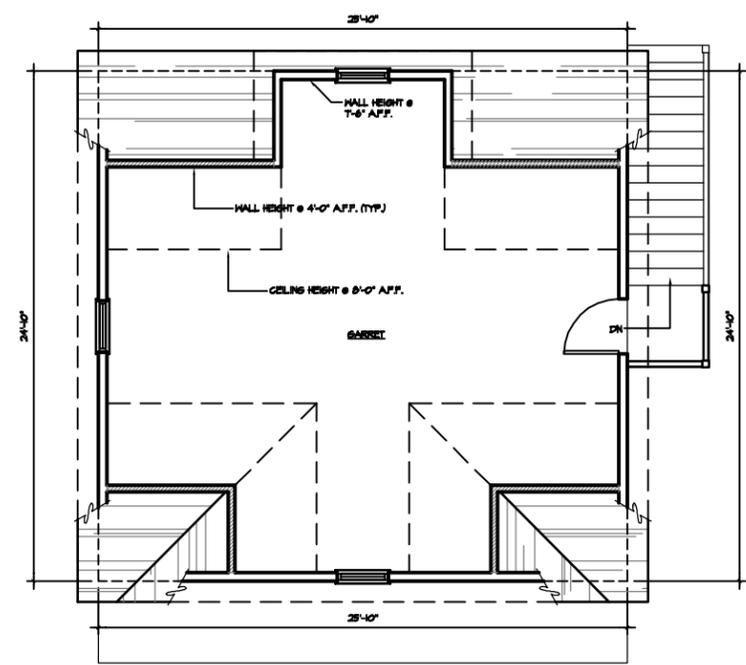
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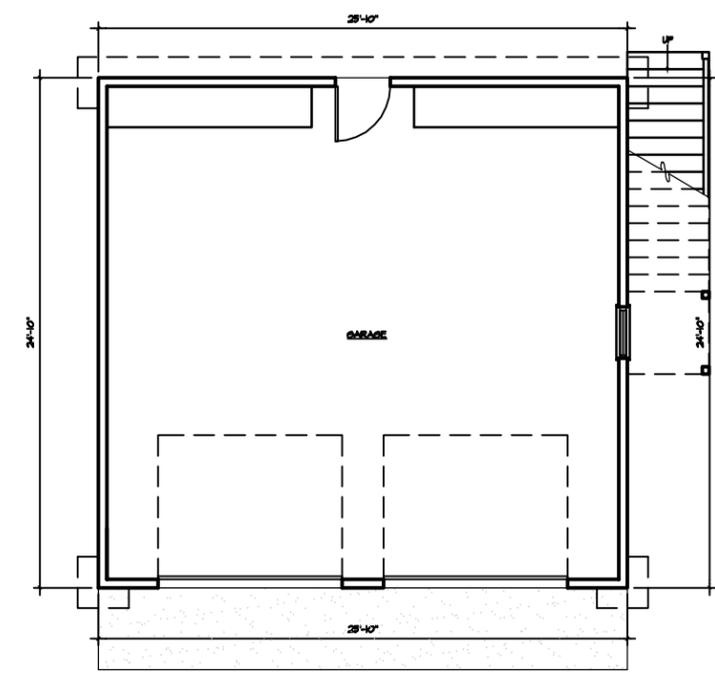
PROPOSED GARAGE PLANS

A-11

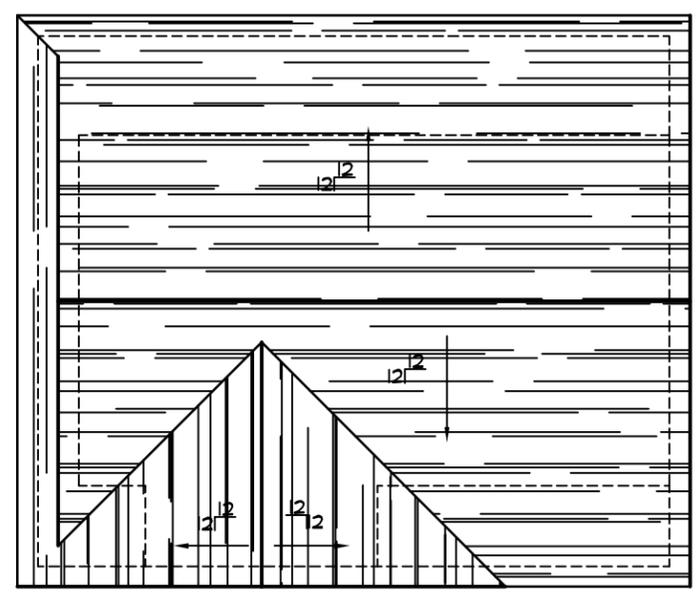
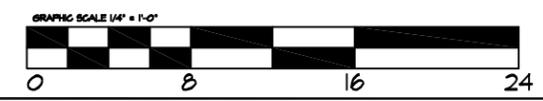
OF THIRTEEN



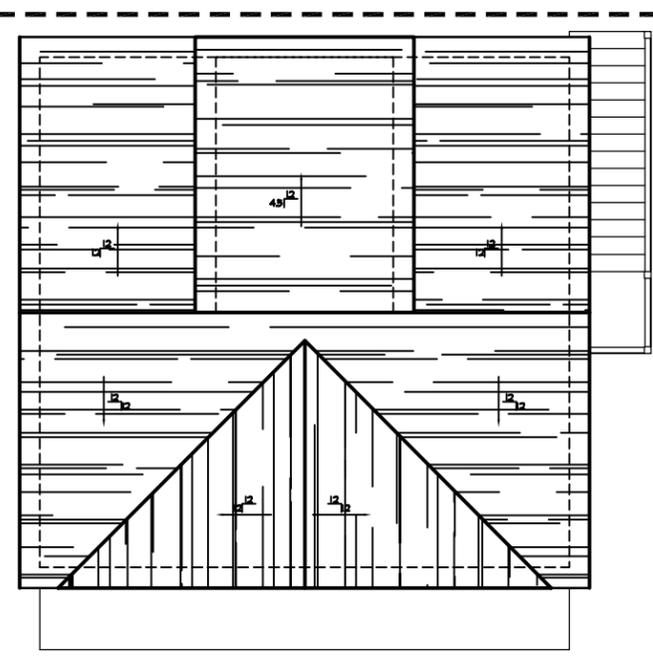
② PROPOSED GARAGE SECOND FLOOR PLAN
1/4" = 1'-0"



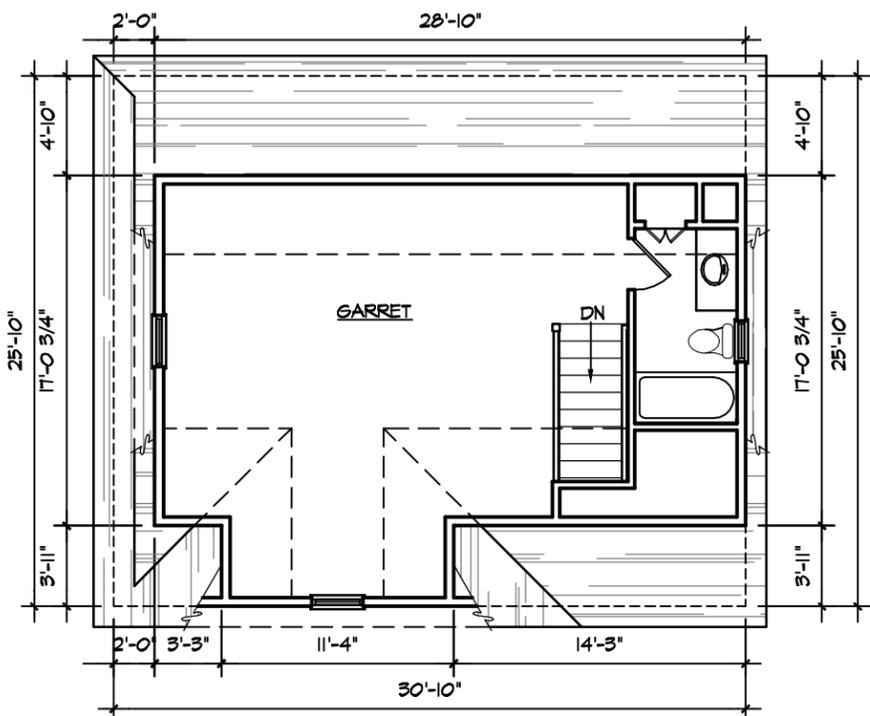
① PROPOSED GARAGE FIRST FLOOR PLAN
1/4" = 1'-0"



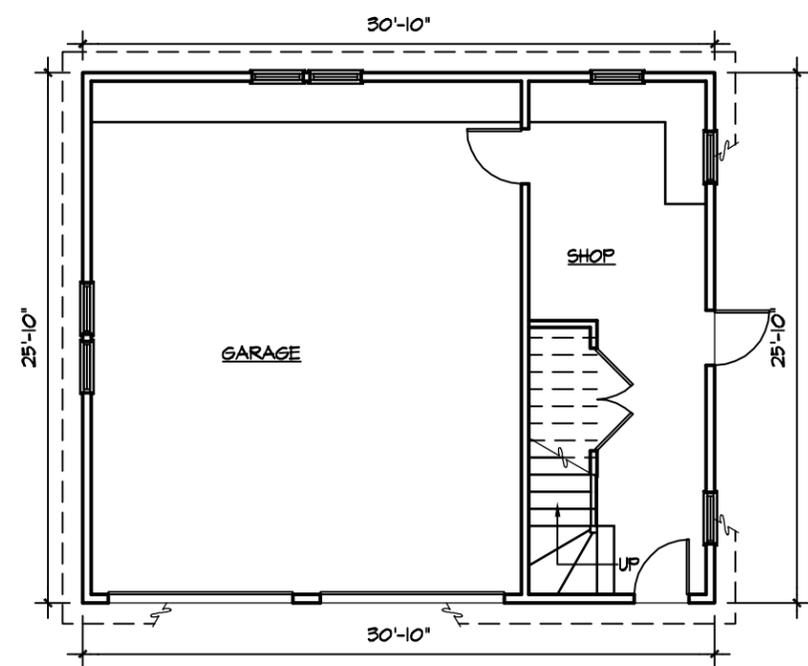
④ OCTOBER GARAGE ROOF PLAN
1/4" = 1'-0"



③ PROPOSED GARAGE ROOF PLAN
1/4" = 1'-0"



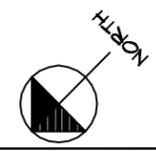
⑥ OCTOBER GARAGE SECOND FLOOR PLAN
1/4" = 1'-0"



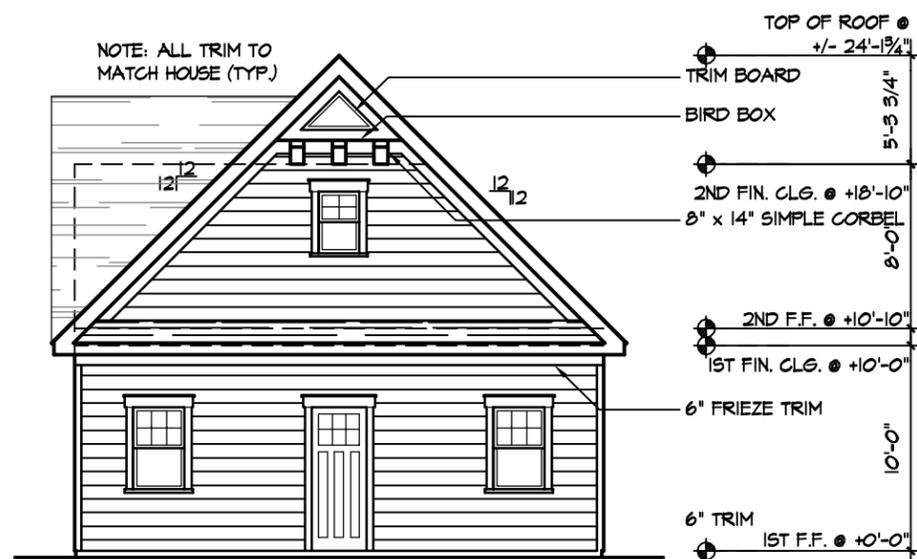
⑤ OCTOBER GARAGE FIRST FLOOR PLAN
1/4" = 1'-0"

OCTOBER 2013 SUBMISSION

OCTOBER 2013 SUBMISSION



OCTOBER 2013 SUBMISSION



④ OCTOBER WORTHINGTON ELEVATION
1/4" = 1'-0"



② PROPOSED WORTHINGTON ELEVATION
1/4" = 1'-0"

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PROPOSED GARAGE ELEVATIONS

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OF THIRTEEN



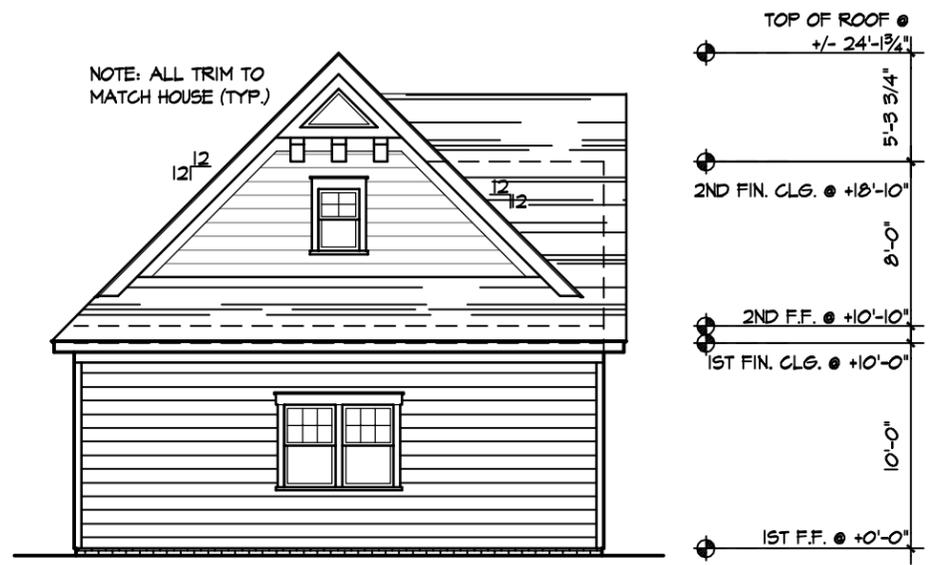
③ OCTOBER EUCLID ELEVATION
1/4" = 1'-0"



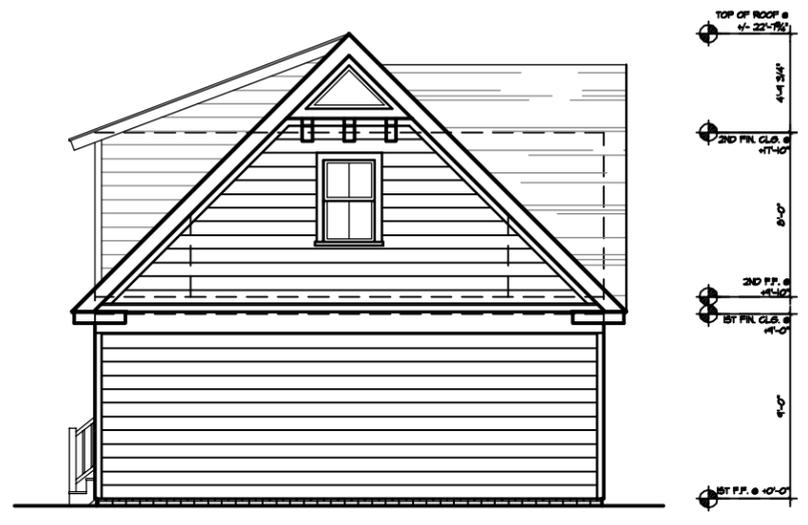
① PROPOSED EUCLID ELEVATION
1/4" = 1'-0"



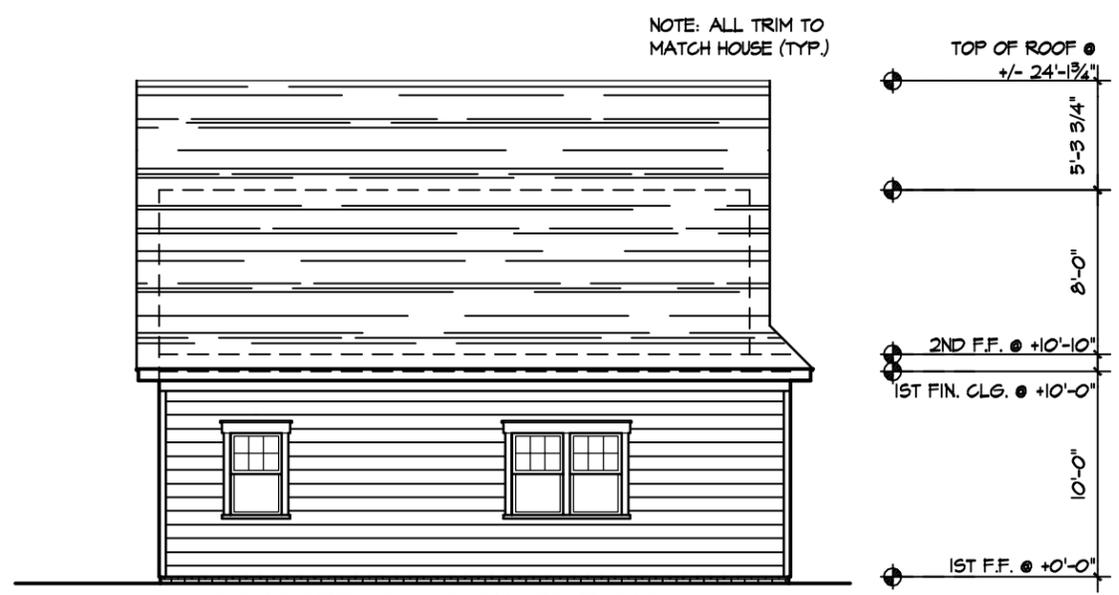
OCTOBER 2013 SUBMISSION



④ OCTOBER LEFT ELEVATION
1/4" = 1'-0"



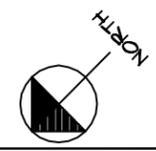
② PROPOSED LEFT ELEVATION
1/4" = 1'-0"



③ OCTOBER REAR ELEVATION
1/4" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"



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PROPOSED GARAGE ELEVATIONS

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